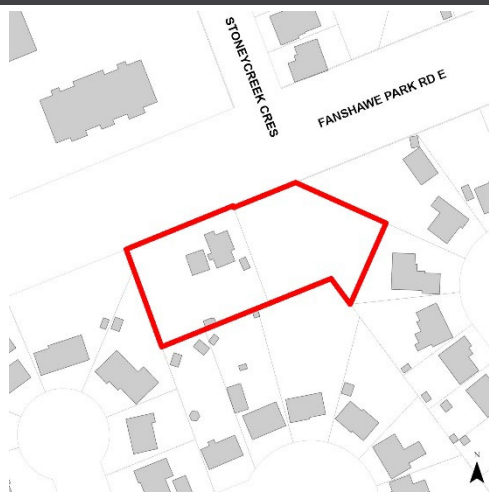




PUBLIC MEETING NOTICE

Site Plan Control Application

767 Fanshawe Park Road E & 679 Dunboyne Crescent



What is Proposed?

Site Plan Approval to allow for the:

- Development of the subject lands, as shown on the attached plan.
- The Site Plan, as proposed, would result in 76 residential units
- 60 vehicular parking spaces (0.78 spaces per unit)

Further information regarding this application can be found at london.ca/planapps

LEARN MORE & PROVIDE INPUT

You are invited to provide comments for consideration by Council, and/or attend a public meeting of the Planning and Environment Committee at which Council will consider this application, to be held:

Meeting Date and Time: Wednesday, September 9, 2026, no earlier than 1:00 p.m.

Please monitor the City's website closer to the meeting date to find a more precise meeting start time:
<https://london.ca/government/council-civic-administration/council-committee-meetings>

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details or contact pec@london.ca.

For consideration by Council, comments must be provided by **August 18, 2026**

For more information and/or to provide comments:

Brent House

bhouse@london.ca

519-661-CITY (2489) ext. 4078

Planning & Development, City of London

London ON PO Box 5035 N6A 4L9

File: SPA-26030

You may also discuss any concerns you have with your Ward Councillor:

Councillor Jerry Pribil

jpribil@london.ca

519-661-CITY (2489) ext. 4005

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested Site Plan Approval Application

The Delegated Authority for the City of London intends to consider a Site Plan Control application to permit an 8-storey apartment building containing a total of 76 residential units. The current zoning was approved as a Holding Residential R8 Special Provision (h-8*R8-4(119)) Zone which permits the proposed apartment building.

The London Plan and the Zoning By-law are available for review at london.ca.

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca.

Right to Appeal to the Ontario Land Tribunal*

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

*Please see the *Planning Act* for updated appeal requirements.

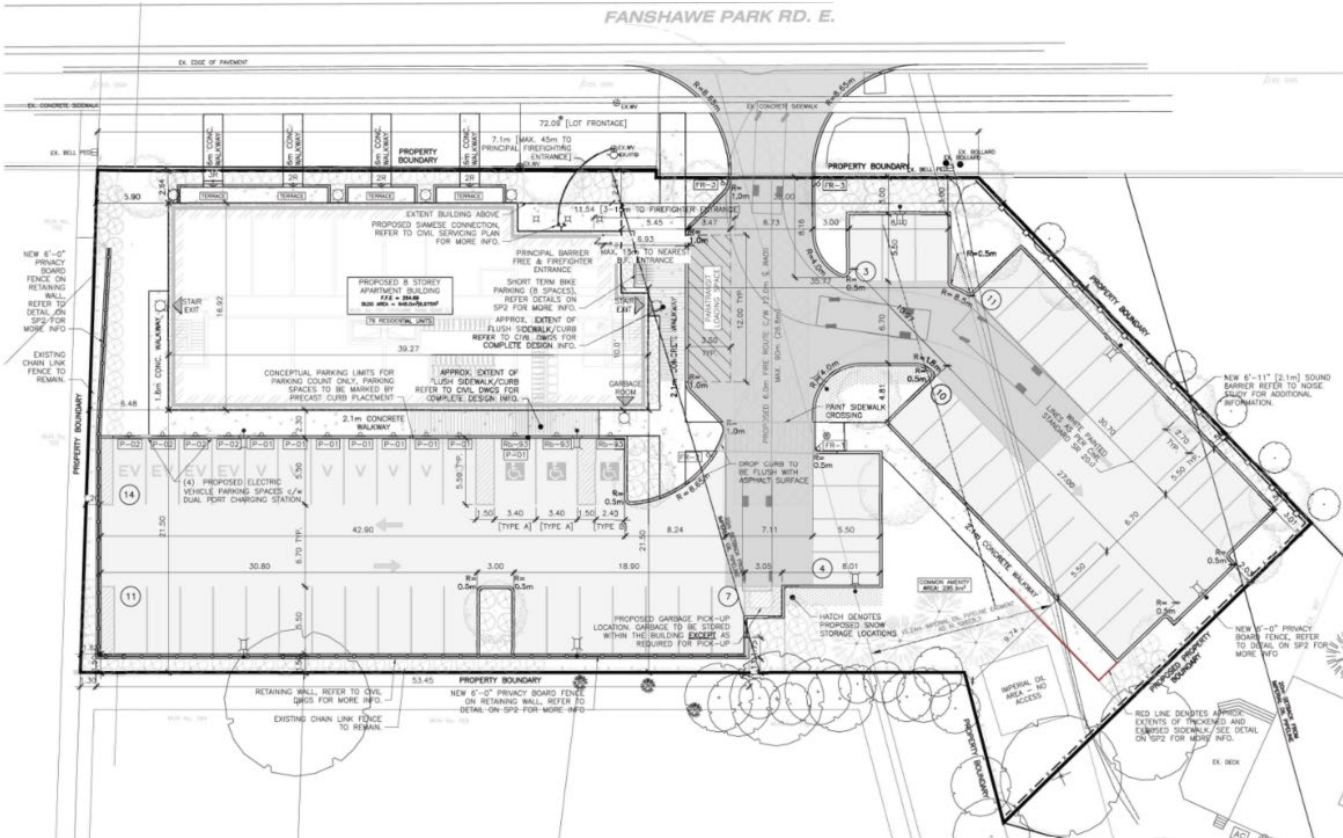
Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to the Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by Wednesday September 2, 2026 to request any of these services.

Site Plan



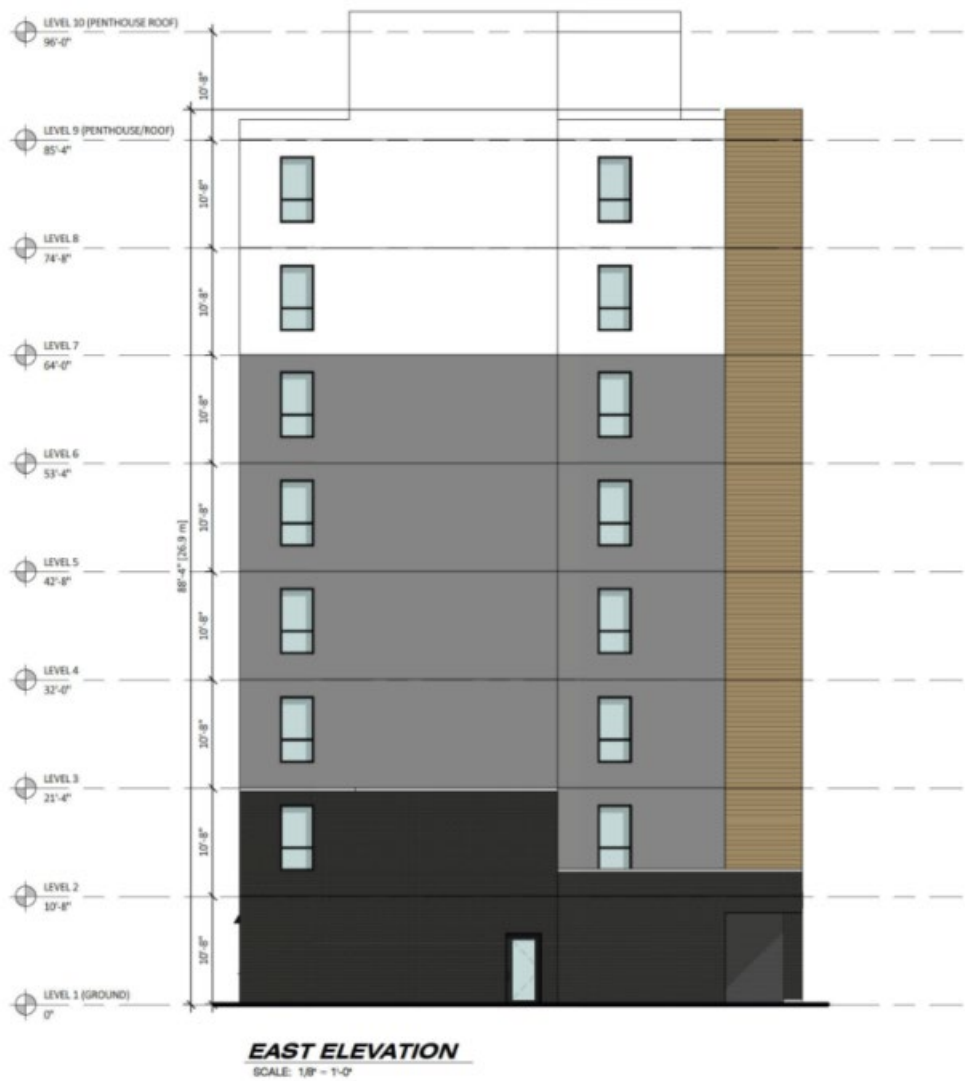
Site Concept Plan for 767 Fanshawe Park Road E & 679 Dunboyne Crescent

The above image represents the applicant's proposal as submitted and may change.

Building Elevations



Conceptual North Elevation along Fanshawe Park Road E



Conceptual East Elevation



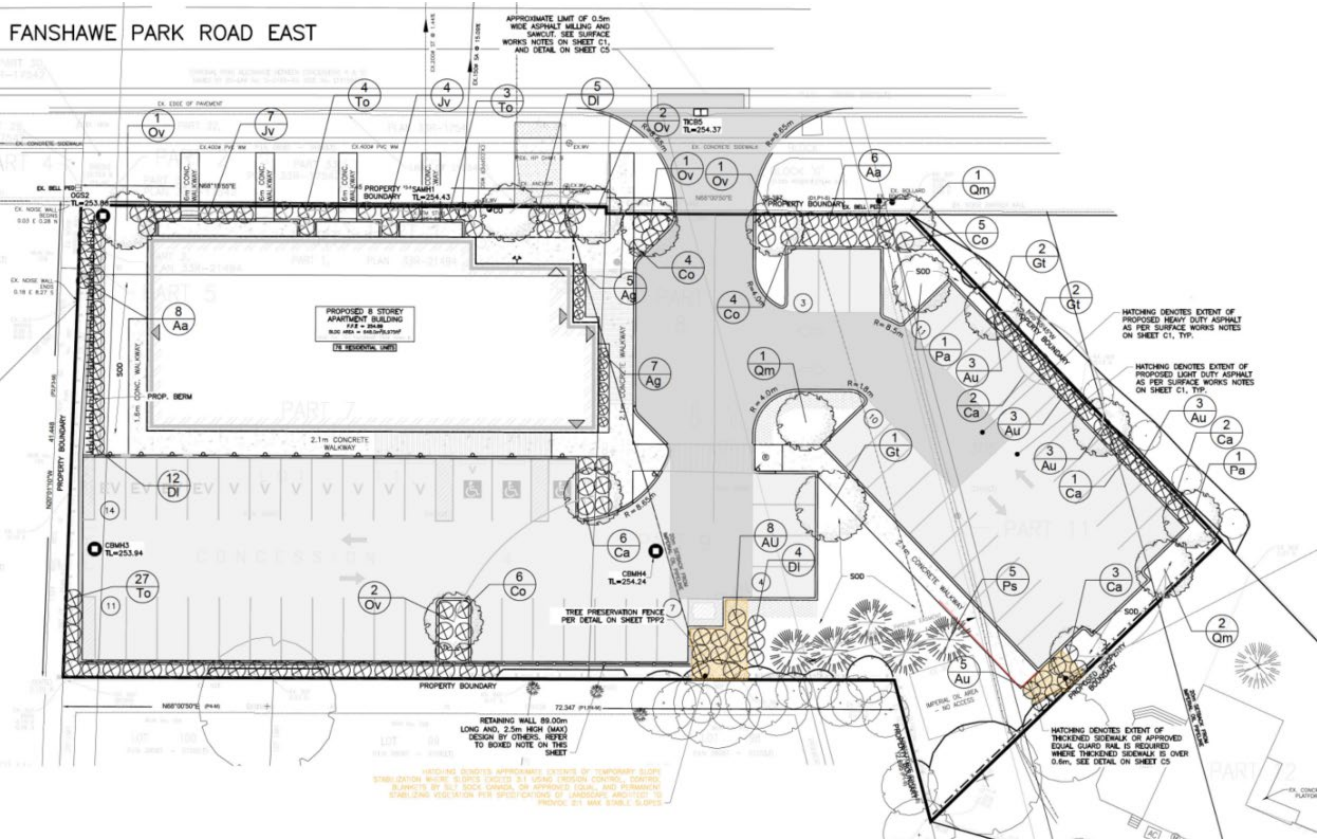
Conceptual South Elevation



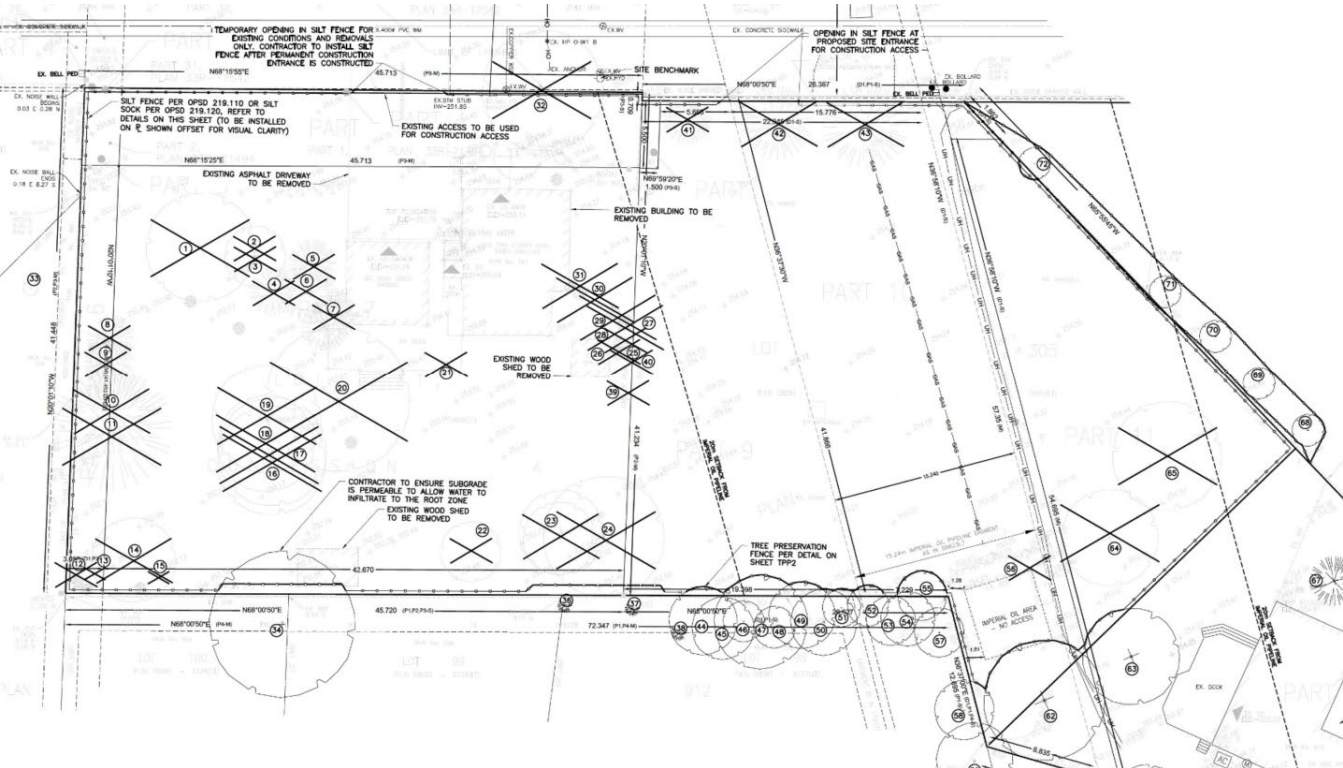
Conceptual West Elevation

The above images represent the applicant’s proposal as submitted and may change.

Landscape Plan & Tree Preservation Plan



Conceptual Landscape Plan



Conceptual Tree Preservation Plan