



KEY PLAN
N.T.S.



LIST OF DRAWINGS

SHEET SP1	SITE PLAN & ZONING CHART
SHEET SP2	LEGEND & DETAILS

LEGAL INFORMATION

PART OF
LOT 11, CONCESSION 2
AND ALL OF
LOT 305, PLAN 924
(GEOGRAPHIC TOWNSHIP OF LONDON)
NOW IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

PERMITTED USES

- R8-4(119) ZONE
- APARTMENT BUILDINGS;
 - HANDICAPPED PERSON'S APARTMENT BUILDING;
 - LODGING HOUSE CLASS 2;
 - STACKED TOWNHOUSING;
 - SENIOR CITIZEN APARTMENT BUILDING;
 - EMERGENCY CARE ESTABLISHMENT;
 - CONTINUUM-OF-CARE FACILITIES;

WASTE REMOVAL

GARBAGE TO BE STORED INTERNALLY AND OWNER/BUILDING MANAGEMENT TO PLACE IN DESIGNATED LOCATION FOR PRIVATE PICK-UP COORDINATION OF PICK-UP BY OWNER

BUILDING CLASS.

RESIDENTIAL - GROUP C OCCUPANCY, PART 3 OF THE ONTARIO BUILDING CODE

CANADA POST

MAIL DELIVERY TO BE DETERMINED BY CANADA POST. INTERNAL MAIL BOXES PROVIDED FOR RESIDENTIAL UNITS.

SITE BENCHMARK:

MONUMENT TYPE:

LOCATION:

GEODETIC ELEVATION:

(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

REFERENCE DOCUMENTS:

1. LEGAL & TOPOGRAPHIC INFO OBTAINED FROM CAD FILE BY SBM GEOMATICS FILE NO: G250009, PLAN NO. G250009 RP01, DATED: NOVEMBER 3, 2026
2. BUILDING INFO OBTAINED FROM BUILDING PLANS & ELEVATIONS PROVIDED BY SBM LTD. FILE NO: S250313, DATED: JUNE 19, 2026

LEGEND:

- FR-2 PROPOSED SIGN, TYPE OF SIGN
- PROPOSED BARRIER FREE ROUTE
- PROPOSED FIRE ROUTE (6.0m WIDE, 12.0m RADIUS)
- PROPOSED SNOW STORAGE
- PROPOSED RAMP (SEE DETAIL ON SP2)
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PRINCIPAL BARRIER FREE ENTRANCE & FIRE FIGHTER ACCESS ENTRANCE
- BUILDING ENTRANCE
- OVERHEAD DOOR
- DRIVETHRU WINDOW
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
- EXISTING BUILDING
- PROPOSED BUILDING
- LIMITS OF SUBJECT PROPERTY
- DECIDUOUS/CONIFEROUS TREE
- BH 3 BOREHOLE LOCATIONS, SEE GEOTECHNICAL INVESTIGATION
- LIGHTS, DESIGN BY OTHERS

ZONING DATA CHART

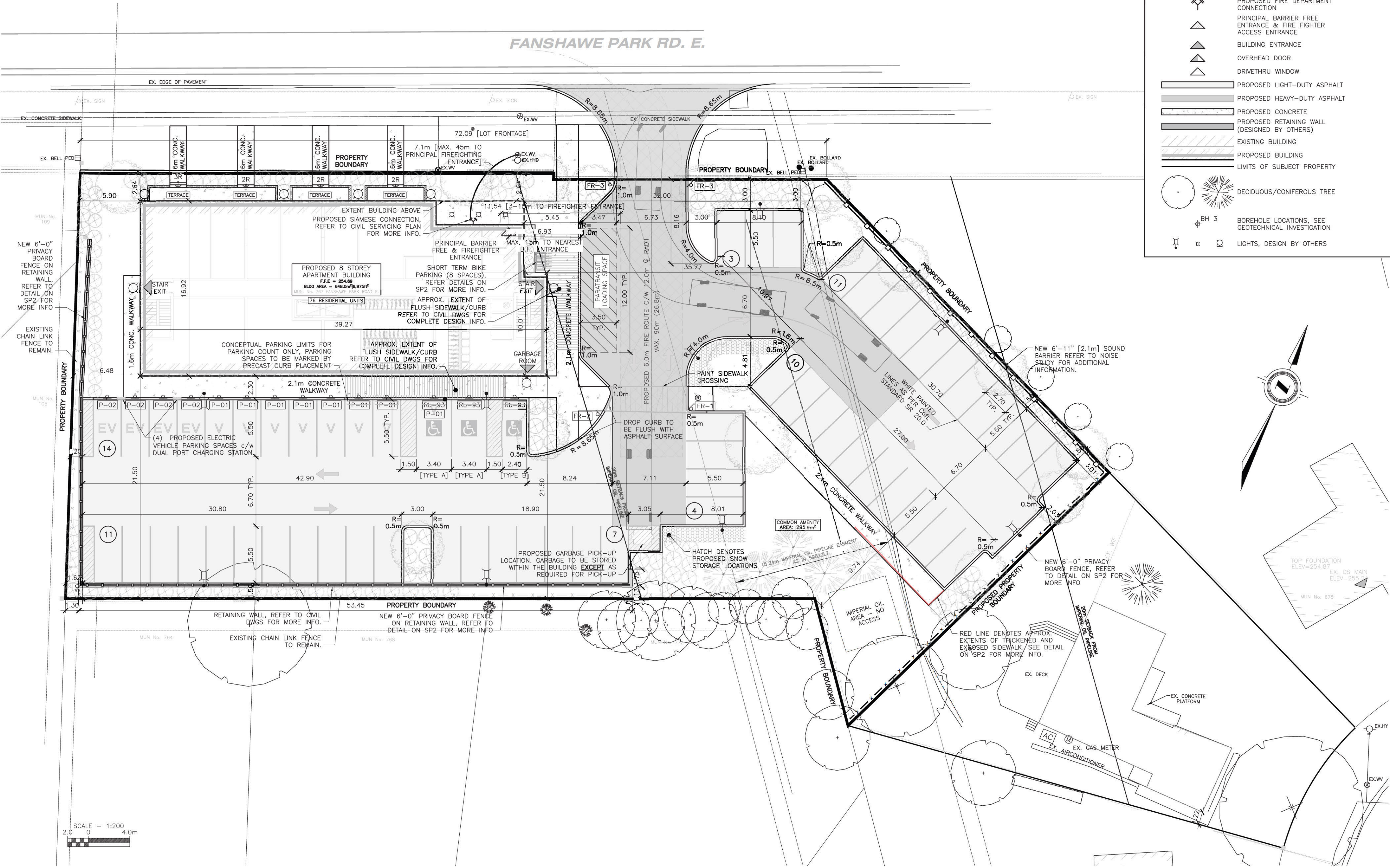
GROSS LOT AREA:	3713.2m²	BUILDING AREA:	648.0m²
ASPHALT:	1,858.8m²	LANDSCAPE AREA:	1,206.4m²
ITEM R8-4(119)	REQUIRED	PROVIDED	
1 PERMITTED USES	SEE PERMITTED USE NOTE ON SHEET SP1	SEE PERMITTED USE NOTE ON SHEET SP1	
2 LOT AREA (m² MIN.)	1,000	3713.2	
3 LOT FRONTAGE (m MIN.)	30.0	72.08	
4 LOT DEPTH (m MIN.)	N/A	VARIES	
5 FRONT YARD SETBACK (m MAX.)	3.0	2.8**	
6 EXTERIOR SIDE YARD SETBACK (m MAX.)	9.0	N/A	
7 INTERIOR SIDE YARD SETBACK (m MIN.)	WEST: 6.5 EAST: 10.8	WEST: 5.9** EAST: 31.26	
8 REAR YARD SETBACK (m MIN.)	10.8	21.50	
9 LOT COVERAGE (% MAX.)	40.0	17.5	
10 LANDSCAPED OPEN SPACE (% MIN.)	30.0	32.5	
11 HEIGHT	28.0	28.0	
12 DENSITY (UNITS PER HECTARE)	207	207	

*ZONING DEFICIENCY
**AS-OF-RIGHT COMPLIANCE; SETBACKS WITHIN 10% OF PRESCRIBED
ZONING REGULATIONS ALLOWABLE UNDER O.REG 257/25

PARKING DATA CHART

OFF-STREET VEHICLE PARKING			
No.	ITEM	REQUIREMENT	PROPOSED
1	RESIDENTIAL (APARTMENT)	0.5/UNIT (76 UNITS)	38 SPACES
2	TOTAL	SEE ABOVE	60 SPACES
3	B.F. PARKING	4% OF TOTAL PARKING SPACES (60 SPACES)	3 SPACES (2 TYPE A, 1 TYPE B)
4	VISITOR PARKING	1/10 UNITS	8 SPACES
BICYCLE PARKING			
No.	ITEM	REQUIREMENT	PROPOSED
1	RESIDENTIAL (SHORT TERM)	0.1/UNIT (76 UNITS)	8 SPACES
2	RESIDENTIAL (LONG TERM)	0.9/UNIT (76 UNITS)	71 SPACES (INTERNAL TO BLDG)

*ZONING DEFICIENCY



#	ISSUED FOR	DATE
3	ISSUED FOR CLIENT REVIEW	2025-08-10
4	ISSUED FOR CLIENT REVIEW	2025-10-16
5	ISSUED FOR ZBA	2025-11-07
6	ISSUED FOR ZBA	2025-11-21
7	ISSUED FOR CLIENT REVIEW	2026-02-04
8	ISSUED FOR CLIENT REVIEW	2026-04-02
9	ISSUED FOR SPA	2026-04-08
10	ISSUED FOR SPA	2026-05-22
11	ISSUED FOR SPA2	2026-06-15

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK. DRAWINGS REMAIN PROPERTY OF PTDARCHITECT.

PROJECT:
8 STOREY (68 UNIT)
APARTMENT BUILDING
767 FANSHAWE PARK RD. E.
LONDON ON

CLIENT:
*TENDER INQUIRES CONTACT

Northbound Development Corporation
83 De La Roche Ave., Vaughn, ON

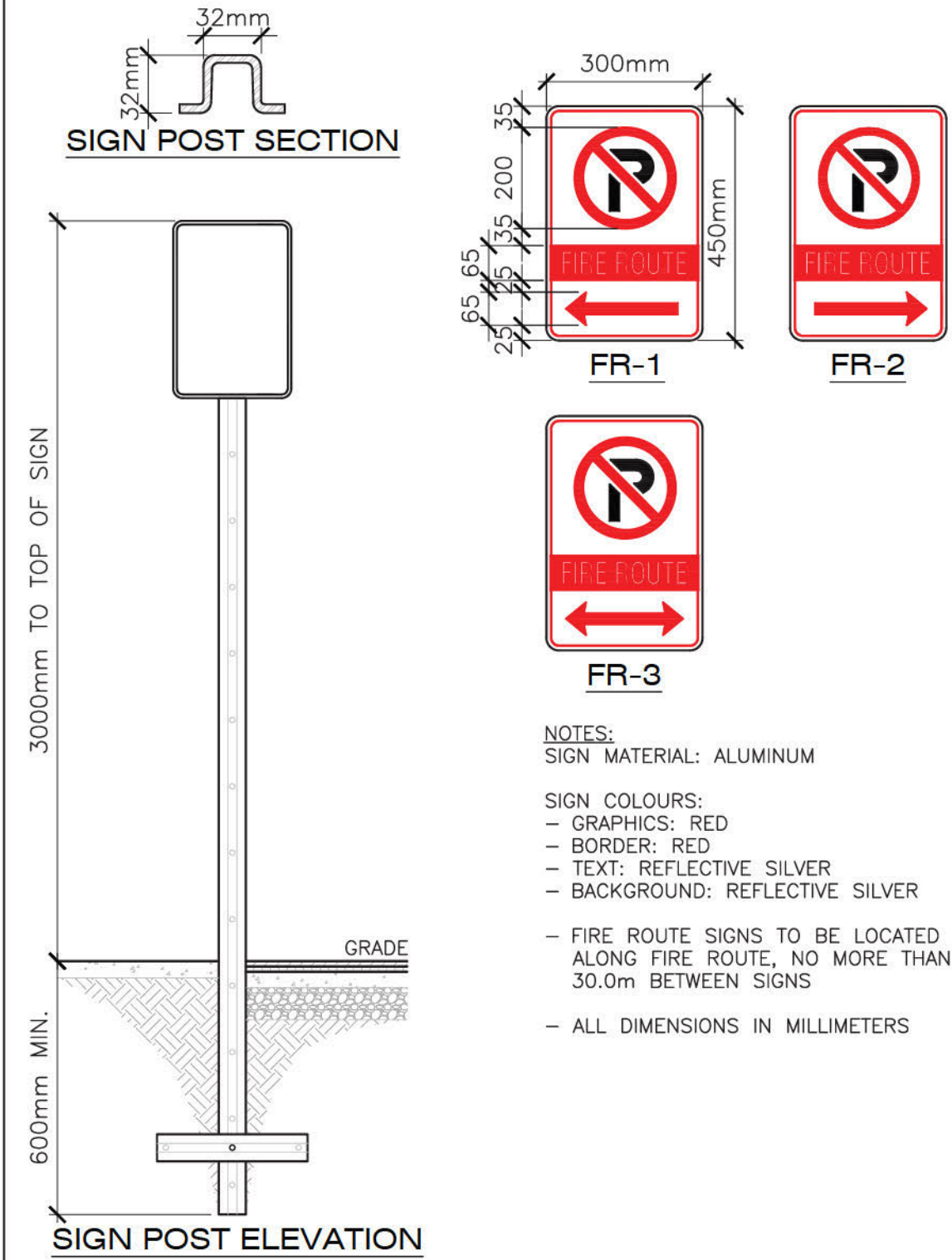
PATRICK DAVID TROTTER
ARCHITECT



DRAWING DESCRIPTION
SITE PLAN & ZONING CHART

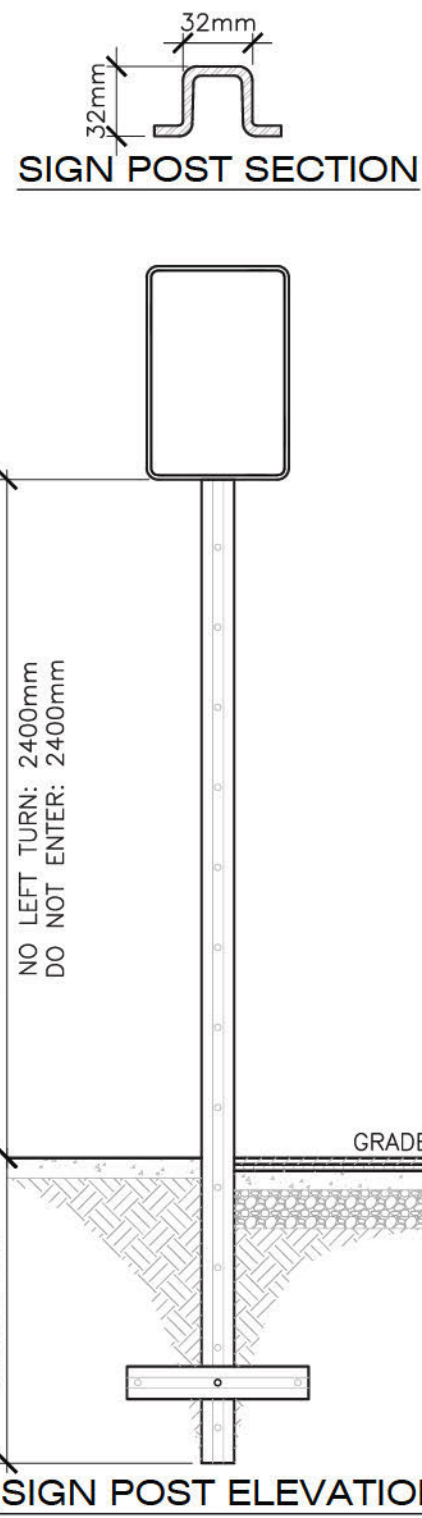
PROJECT #25-22 POTA
S250313
SCALE: AS INDICATED
REVIEWED: POTA
DRAWN: OMP

DWG #
SP1



FIRE ROUTE SIGN DETAILS

N.T.S.

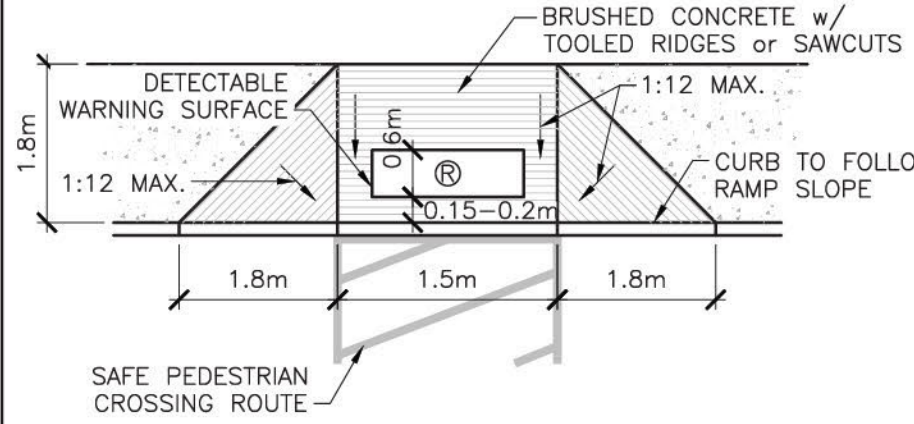


REFERENCE:
ONTARIO TRAFFIC MANUAL BOOK 5/6 – CURRENT EDITION

SIGNAGE DETAILS

N.T.S.

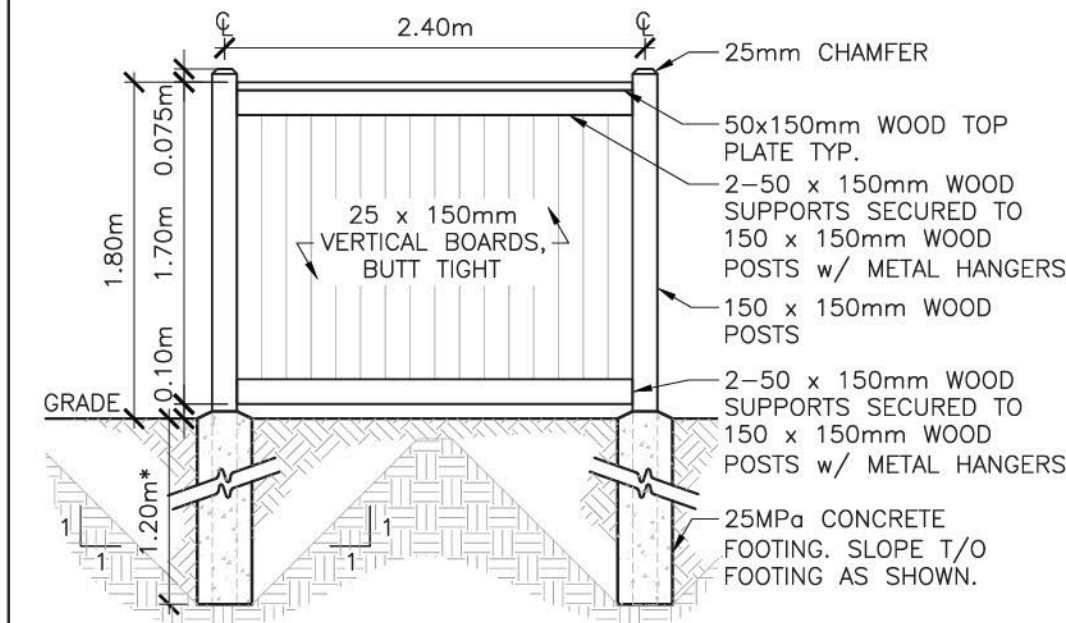
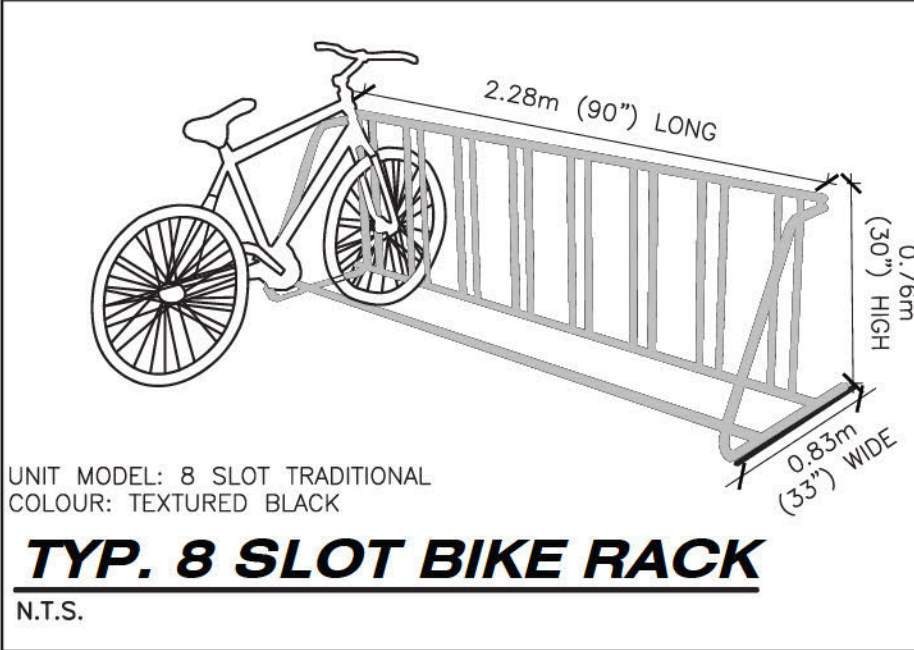
DIAGRAM MARK	DESCRIPTION
Rb-93: 30cm x 45cm	NOTES: SIGN MATERIAL: ALUMINUM SIGN COLOURS: - BORDER: BLACK REFLECTIVE - GRAPHICS: BLUE REFLECTIVE - BACKGROUND: WHITE REFLECTIVE - TEXT: BLACK REFLECTIVE
Rb-55: 30cm x 30cm Rb-155: 60cm x 60cm	NOTES: SIGN MATERIAL: ALUMINUM SIGN COLOURS: - INTERDICTIONARY SYMBOL: RED REFLECTIVE - BORDER: BLACK - LEGEND: BLACK - BACKGROUND: WHITE REFLECTIVE - SIGNAGE IS NOT TO BE MOUNTED ON BUILDINGS.
P-01: 30cm x 45cm	NOTES: SIGN MATERIAL: ALUMINUM SIGN COLOURS: - BORDER: GREEN REFLECTIVE - BACKGROUND: WHITE REFLECTIVE - TEXT: REFLECTIVE GREEN
P-02: 30cm x 45cm	NOTES: SIGN MATERIAL: ALUMINUM SIGN COLOURS: - BORDER: TBD REFLECTIVE - GRAPHICS: TBD REFLECTIVE - BACKGROUND: WHITE REFLECTIVE - TEXT: TBD REFLECTIVE



REFERENCE:
2012 ONTARIO BUILDING CODE '3.8.3.2(3), BARRIER FREE SIDEWALK CURB RAMP'
*TACTILE ATTENTION INDICATOR CONFORMING TO 2012 OBC 3.8.3.18.

BARRIER FREE S/W ACCESS CURB RAMP

N.T.S.

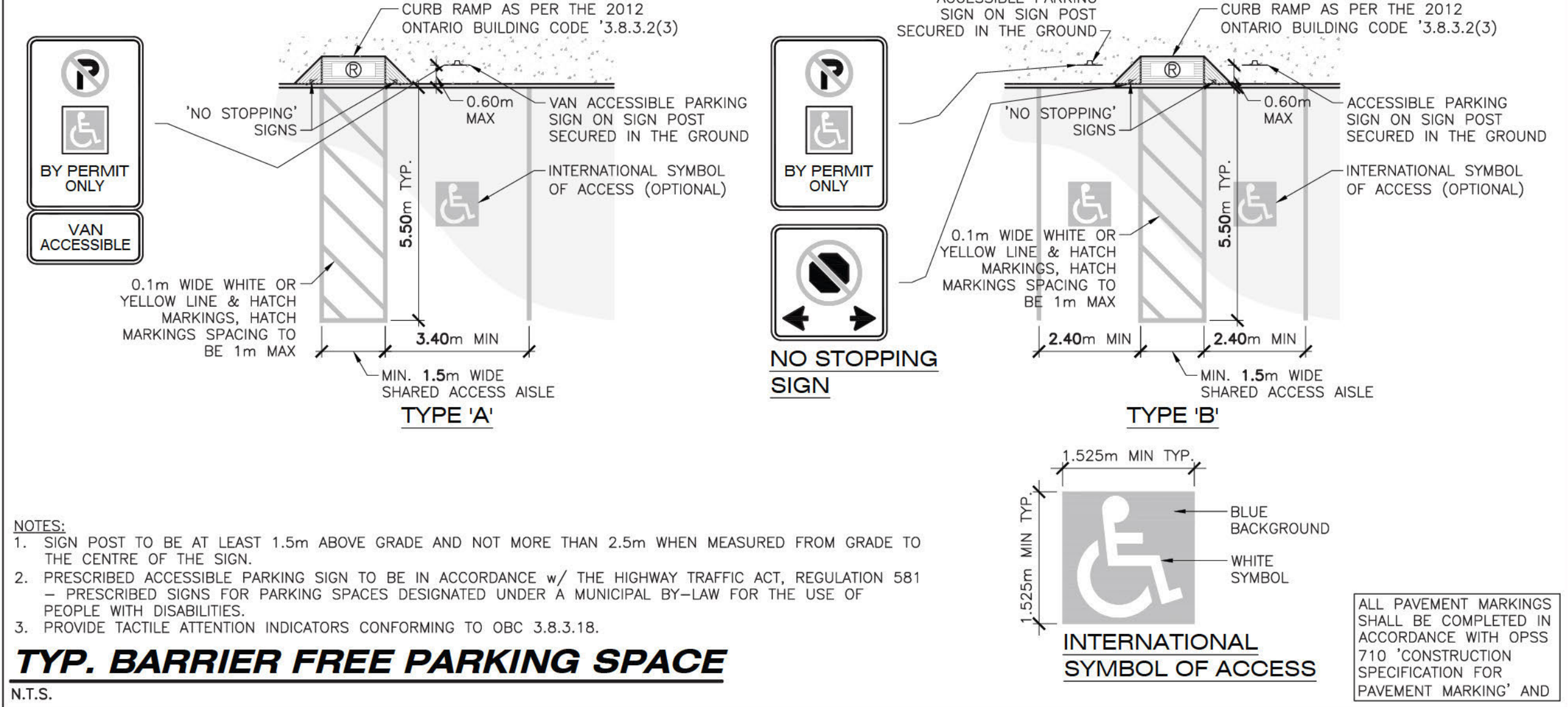


NOTES:

- ALL WOOD (BOARDS, POSTS, ETC.) SHALL BE PRESSURE TREATED, FREE FROM CRACKS, WARPS AND SPLITS.
- ALL FASTENERS (INCLUDING HANGERS) TO BE HOT DIPPED GALVANIZED.
- FROST DEPTH PER GEOTECHNICAL REPORT OR ELSE BY OPSD 3090.101 OR OPSD 3090.100.

TYP. BOARD FENCE DETAIL

N.T.S.

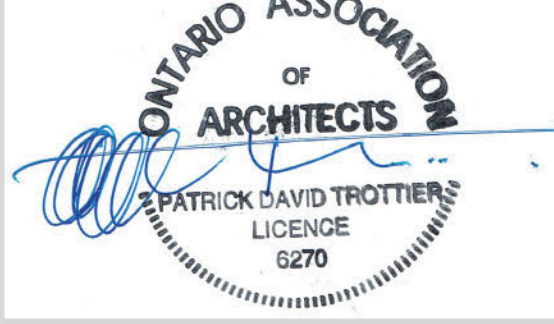


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7	ISSUED FOR CLIENT REVIEW	2026-02-04
8	ISSUED FOR CLIENT REVIEW	2026-04-02
9	ISSUED FOR SPA	2026-04-08
10	ISSUED FOR SPA	2026-05-22
11	ISSUED FOR SPA2	2026-06-15

PROJECT:
**8 STOREY (68 UNIT)
APARTMENT BUILDING
767 FANSHAW PARK RD. E.
LONDON ON**

CLIENT:
***TENDER INQUIRES CONTACT**

**Northbound Development Corporation
83 De La Roche Ave., Vaughn, ON**



DRAWING DESCRIPTION
SITE PLAN & ZONING CHART

PROJECT #25-22 POTA
SCALE: AS INDICATED
REVIEWED: PDTA
DRAWN: OMP

SP2

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK. DRAWINGS REMAIN PROPERTY OF PTDARCHITECT.

266 DUFFERIN AVE. BRANTFORD, ON N3T 4S2 (226) 208-1543c patrick@pdarch.ca

MATERIAL LEGEND			
TAG	DESCRIPTION	COLOUR	HATCH
F1	PRE-FINISHED METAL CAP FLASHING	TO MATCH ADJACENT MATERIAL	
BR1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	BLACK C/W BRICK FORM LINER	
SD1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	KHAKI BROWN C/W HORIZONTAL REVEAL FORM LINER	
PP1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	LIGHT GREY	
PP2	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	WHITE	
PB1	PRECAST SILL/BANDING (SHOULDICE 424 SLOPED SILL OR EQUAL)	PRECAST GREY	
PP1	EXPOSED CONCRETE FOUNDATION (FINISH SMOOTH)	GREY	
GL1	GLAZING	GLAZING	



NORTH ELEVATION (FANSHAWE PARK RD. E.)
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

No.	Issued/Revision	Date
5	ISSUED FOR CLIENT REVIEW	2026-04-02
6	ISSUED FOR SPA	2026-04-08
7	ISSUED FOR SPA	2026-05-22
8	ISSUED FOR CLIENT REVIEW	2026-05-27
9	ISSUED FOR SPA	2026-06-15

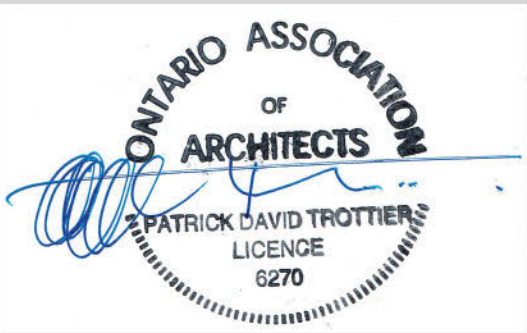
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PROJECT:
**8 STOREY (75 UNIT)
APARTMENT BUILDING
767 FANSHAWE PARK RD.
E. LONDON ON**

CLIENT:
*TENDER INQUIRES CONTACT

Northbound Developement Corporation
83 De La Roche Ave. Vaughn ON, L4H 5A3

266 DUFFERIN AVE. BRANTFORD, ON N3T 4S2 (226) 208-1543c patrick@pdarch.ca



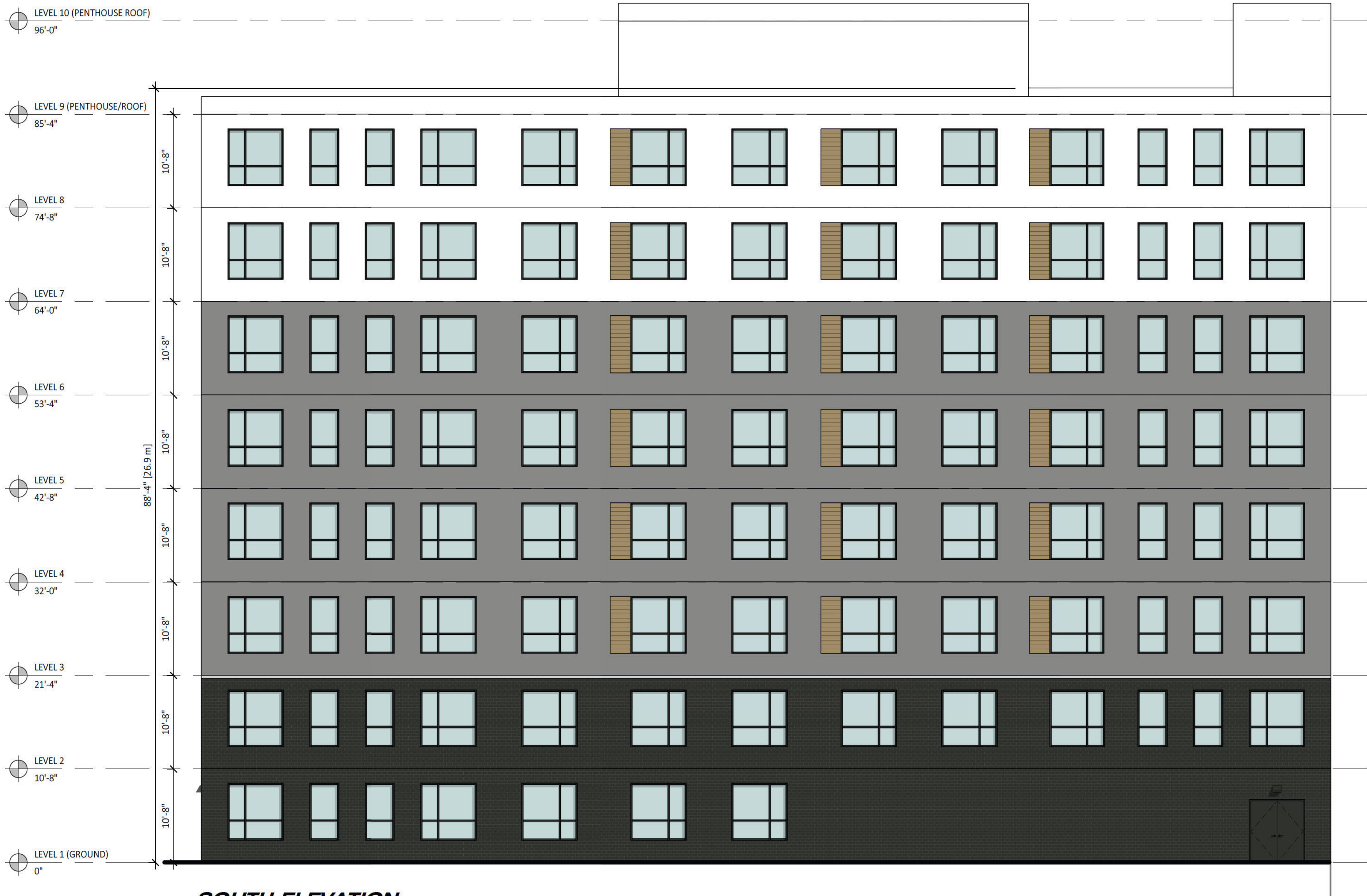
DRAWING DESCRIPTION:

ELEVATIONS

PROJ. NO. #25-22 POTA
S250313
SCALE AS INDICATED
REVIEWED POTA
DRAWN OMP

DWG #

A400



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			
TAG	DESCRIPTION	COLOUR	HATCH
F1	PRE-FINISHED METAL CAP FLASHING	TO MATCH ADJACENT MATERIAL	
BR1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	BLACK C/W BRICK FORM LINER	
SD1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	KHAKI BROWN C/W HORIZONTAL REVEAL FORM LINER	
PP1	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	LIGHT GREY	
PP2	PAINTED CONCRETE FINISH: MODIFIED ACRYLIC WATERPROOF PAINT COATING (BASF MASTER-PROTECT HB 300SB)	WHITE	
PB1	PRECAST SILL/BANDING (SHOULDLICE 424 SLOPED SILL OR EQUAL)	PRECAST GREY	
PP1	EXPOSED CONCRETE FOUNDATION (FINISH SMOOTH)	GREY	
GL1	GLAZING	GLAZING	

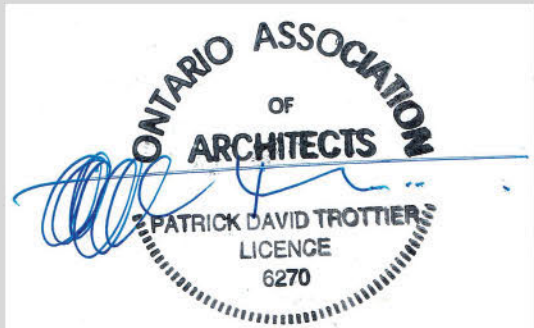
No.	Issued/Revision	Date
5	ISSUED FOR CLIENT REVIEW	2026-04-02
6	ISSUED FOR SPA	2026-04-08
7	ISSUED FOR SPA	2026-05-22
8	ISSUED FOR CLIENT REVIEW	2026-05-27
9	ISSUED FOR SPA	2026-06-15

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PROJECT:
**8 STOREY (75 UNIT)
APARTMENT BUILDING
767 FANSHAWE PARK RD.
E. LONDON ON**

CLIENT:
***TENDER INQUIRES CONTACT**

Northbound Developement Corporation
83 De La Roche Ave. Vaughn ON, L4H 5A3



DRAWING DESCRIPTION:

ELEVATIONS

PROJ. NO. #25-22 POTA
S250313
SCALE AS INDICATED
REVIEWED POTA
DRAWN OMP

DWG #

A401