



**415 - 465 BOLER ROAD, BYRON**  
**PROPOSED 6 STOREY RENTAL APARTMENT BUILDING SPA ARCH SUBMISSION SET 2024.11.18**

**CORNER PERSPECTIVE**  
**BOLER ROAD & BYRON BASELINE ROAD**





**415 - 465 BOLER ROAD, BYRON  
PROPOSED 6 STOREY RENTAL APARTMENT BUILDING SPA ARCH SUBMISSION SET 2024.11.18**

**CORNER PERSPECTIVE  
BYRON BASELINE ROAD SITE ENTRY**





415 - 465 BOLER ROAD, BYRON  
PROPOSED 6 STOREY RENTAL APARTMENT BUILDING SPA ARCH SUBMISSION SET 2024.11.18

BIRDSEYE PERSPECTIVE  
STREET CORNER PERSPECTIVE





415 - 465 BOLER ROAD, BYRON  
PROPOSED 6 STOREY RENTAL APARTMENT BUILDING SPA ARCH SUBMISSION SET 2024.11.18

BIRDSEYE PERSPECTIVE  
NORTH/WEST CORNER PERSPECTIVE

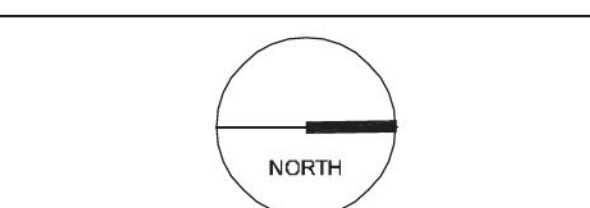


**GENERAL NOTES**

1. ALL CONSTRUCTION TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.) AND MUNICIPAL BY-LAWS.
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**REVISIONS**

NO.	DATE	DESCRIPTION	BY
01	2024.05.31	CONCEPT DESIGN REVIEW	PDTA
02	2024.07.03	CONCEPT DESIGN REVIEW PRE-SPA SUBMIT	PDTA



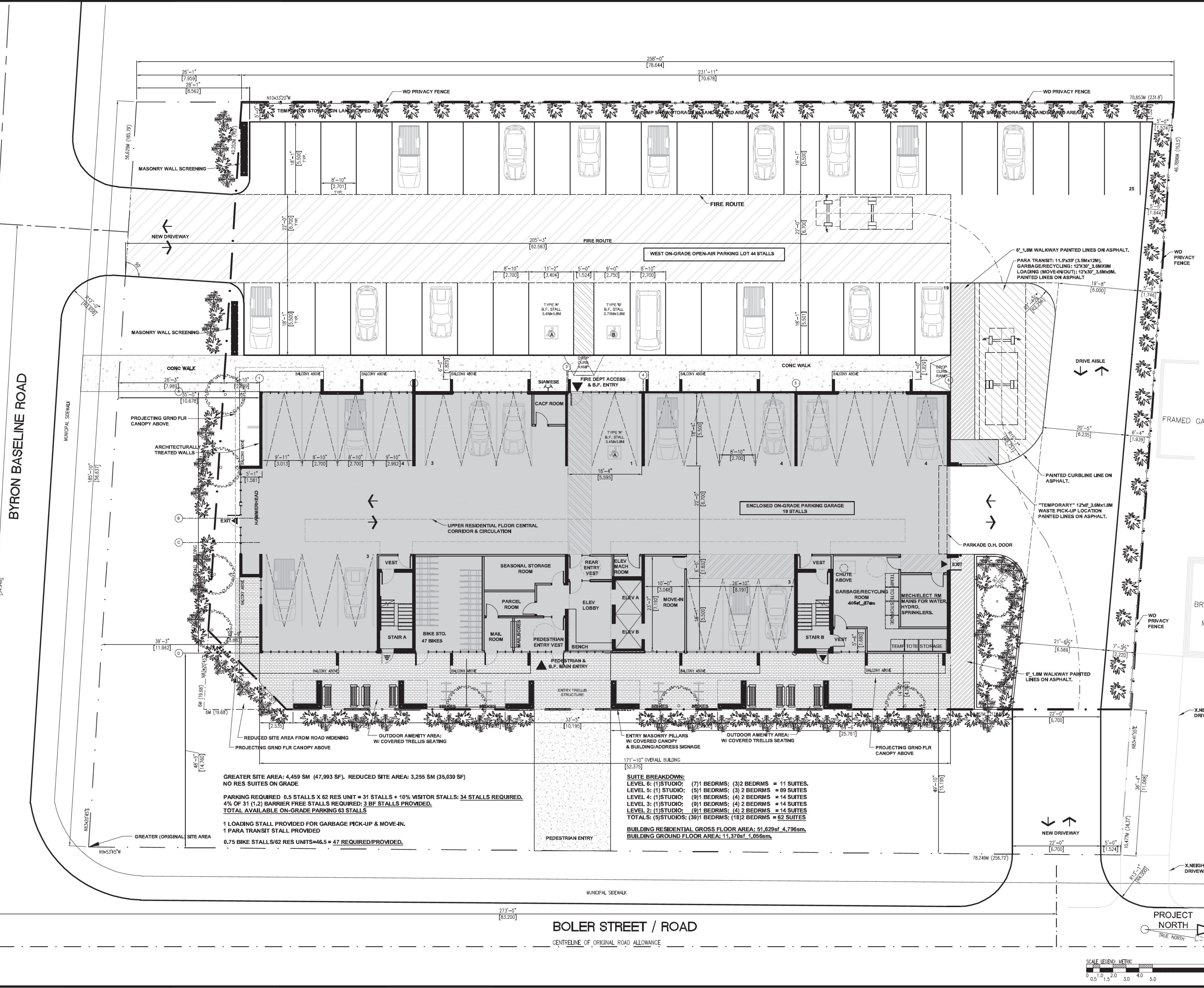
PROJECT: Proposed  
**6 STOREY APARTMENT BLDG**  
 415-465 BOLER ROAD  
 BYRON, ON

CLIENT: 1822056 ONTARIO INC.  
 SPRINGBANK DR, LONDON

DRAWING TITLE:  
**OPTION 1 ON-GRADE PARKING + BASEMENT**  
**PROPOSED SITE PLAN**

FILE	24-13	DATE	MAY 31, 2024
SCALE	3/32"=1'	DRAWN	PDTA
CHECKED	PDTA	DRAWING NO.	

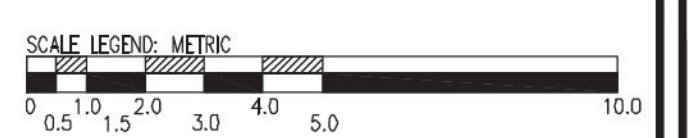
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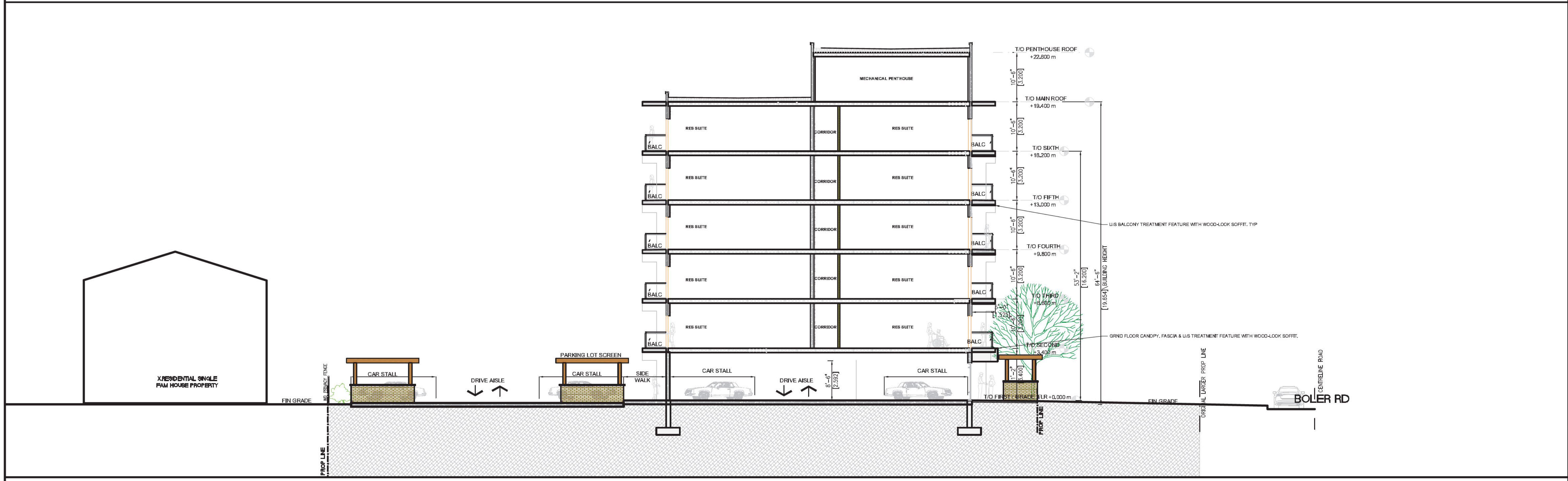
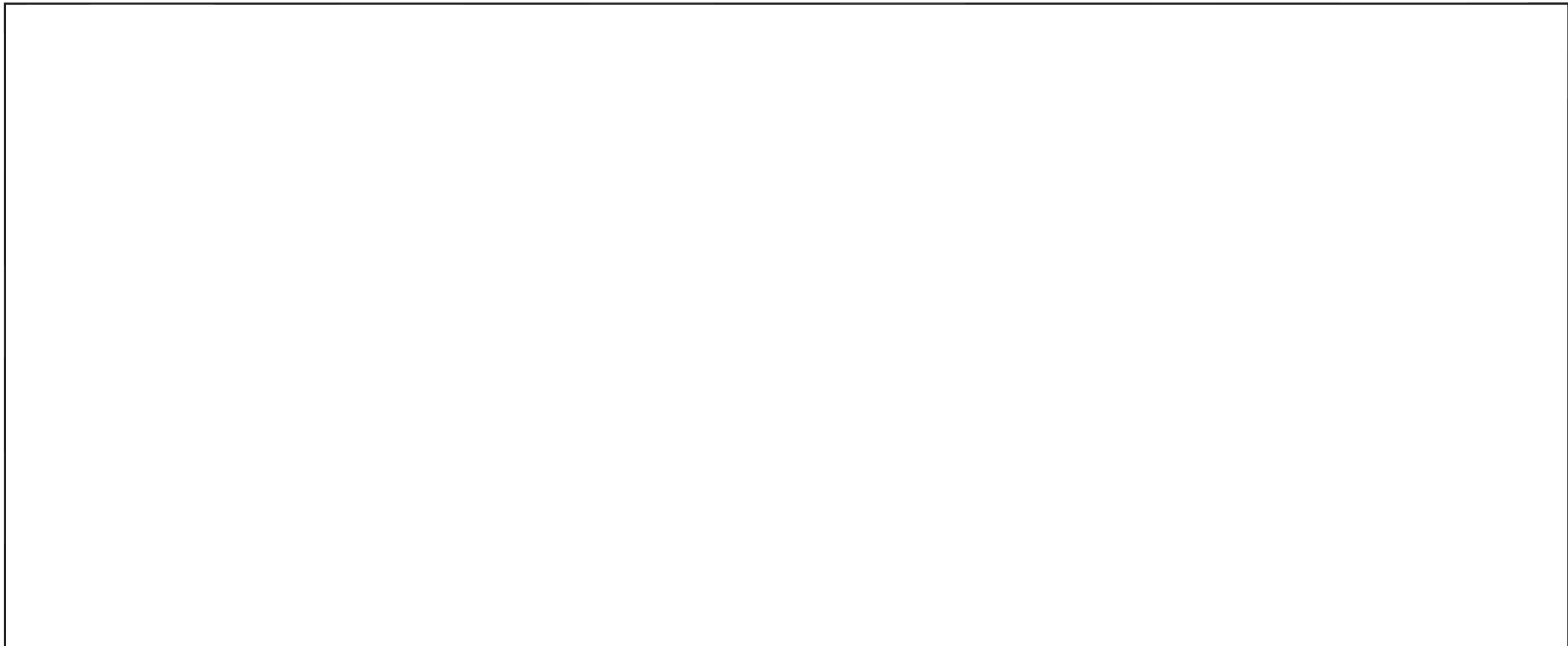


GREATER SITE AREA: 4,459 SM (47,993 SF). REDUCED SITE AREA: 3,255 SM (35,039 SF)  
 NO RES SUITES ON GRADE  
 PARKING REQUIRED: 0.5 STALLS X 62 RES UNIT = 31 STALLS + 10% VISITOR STALLS: 34 STALLS REQUIRED.  
 4% OF 31 (1.2) BARRIER FREE STALLS REQUIRED; 3 BF STALLS PROVIDED.  
**TOTAL AVAILABLE ON-GRADE PARKING 63 STALLS**  
 1 LOADING STALL PROVIDED FOR GARBAGE PICK-UP & MOVE-IN.  
 1 PARA TRANSIT STALL PROVIDED  
 0.75 BIKE STALLS/62 RES UNITS=46.5 = 47 REQUIRED/PROVIDED.

**SUITE BREAKDOWN:**  
 LEVEL 6: (1)STUDIO; (7)1 BEDRMS; (3)2 BEDRMS = 11 SUITES.  
 LEVEL 5: (1) STUDIO; (5)1 BEDRMS; (3) 2 BEDRMS = 09 SUITES  
 LEVEL 4: (1)STUDIO; (9)1 BEDRMS; (4) 2 BEDRMS = 14 SUITES  
 LEVEL 3: (1)STUDIO; (9)1 BEDRMS; (4) 2 BEDRMS = 14 SUITES  
 LEVEL 2: (1)STUDIO; (9)1 BEDRMS; (4) 2 BEDRMS = 14 SUITES  
**TOTALS: (5)STUDIOS; (39)1 BEDRMS; (18)2 BEDRMS = 62 SUITES**  
**BUILDING RESIDENTIAL GROSS FLOOR AREA: 51,629sf 4,796sm.**  
**BUILDING GROUND FLOOR AREA: 11,379sf 1,056sm.**

**BOLER STREET / ROAD**  
 CENTRELINE OF ORIGINAL ROAD ALLOWANCE





**BUILDING / SITE SECTION**

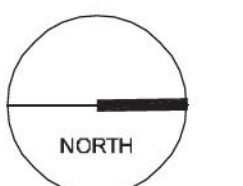
**GENERAL NOTES**

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**REVISIONS**

No.	DATE	DESCRIPTION	BY
01	2024.05.31	CONCEPT DESIGN REVIEW	PTA
02	2024.05.03	CONCEPT DESIGN REVIEW PRE-SPM SUBMIT	PTA

  
**PATRICK DAVID TROTTER**  
**ARCHITECT**  
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 226.208-1543 • pat@pktdtarch.ca • www.pktdtarch.ca



PROJECT  
 Proposed  
**6 STOREY  
 APARTMENT BLDG**

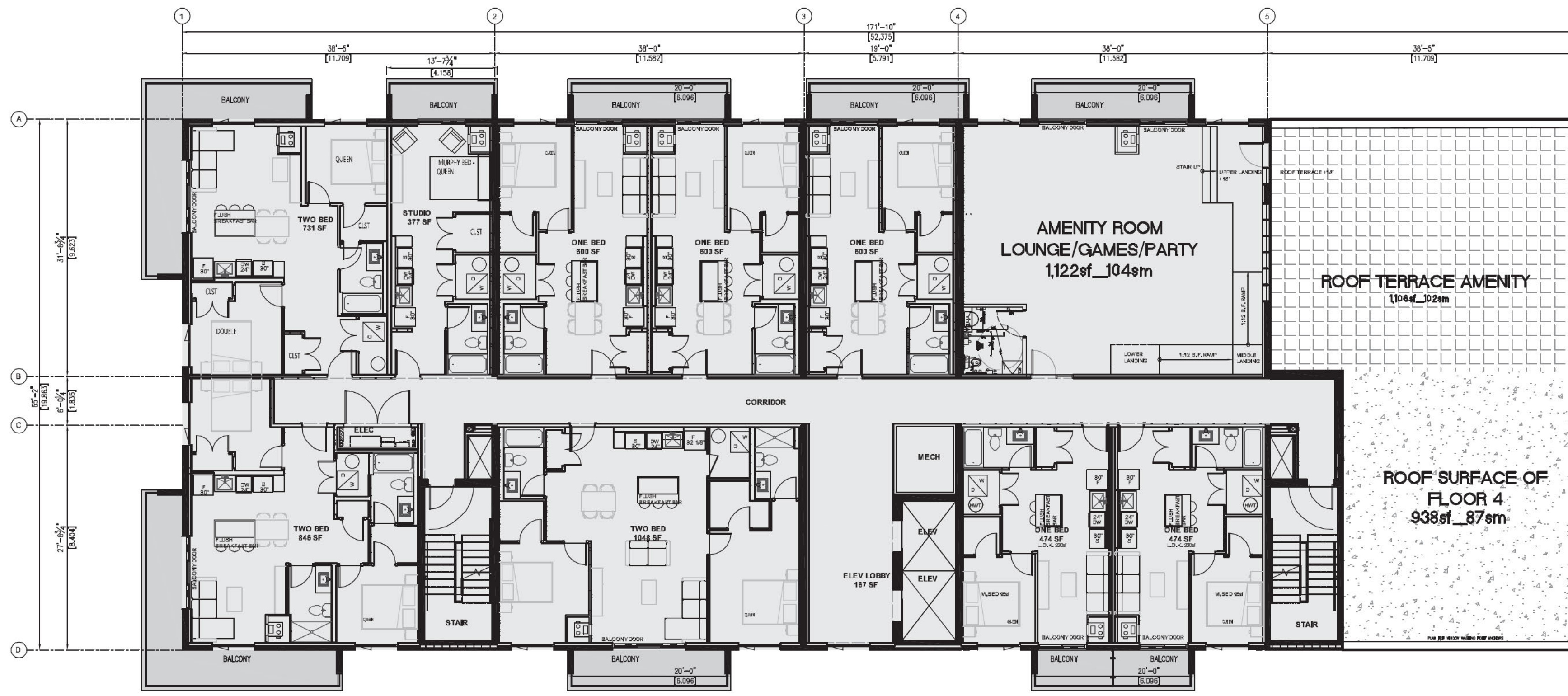
**415-465 BOLER ROAD  
 BYRON, ON**

CLIENT  
 1822056 ONTARIO INC.  
 SPRINGBANK DR, LONDON

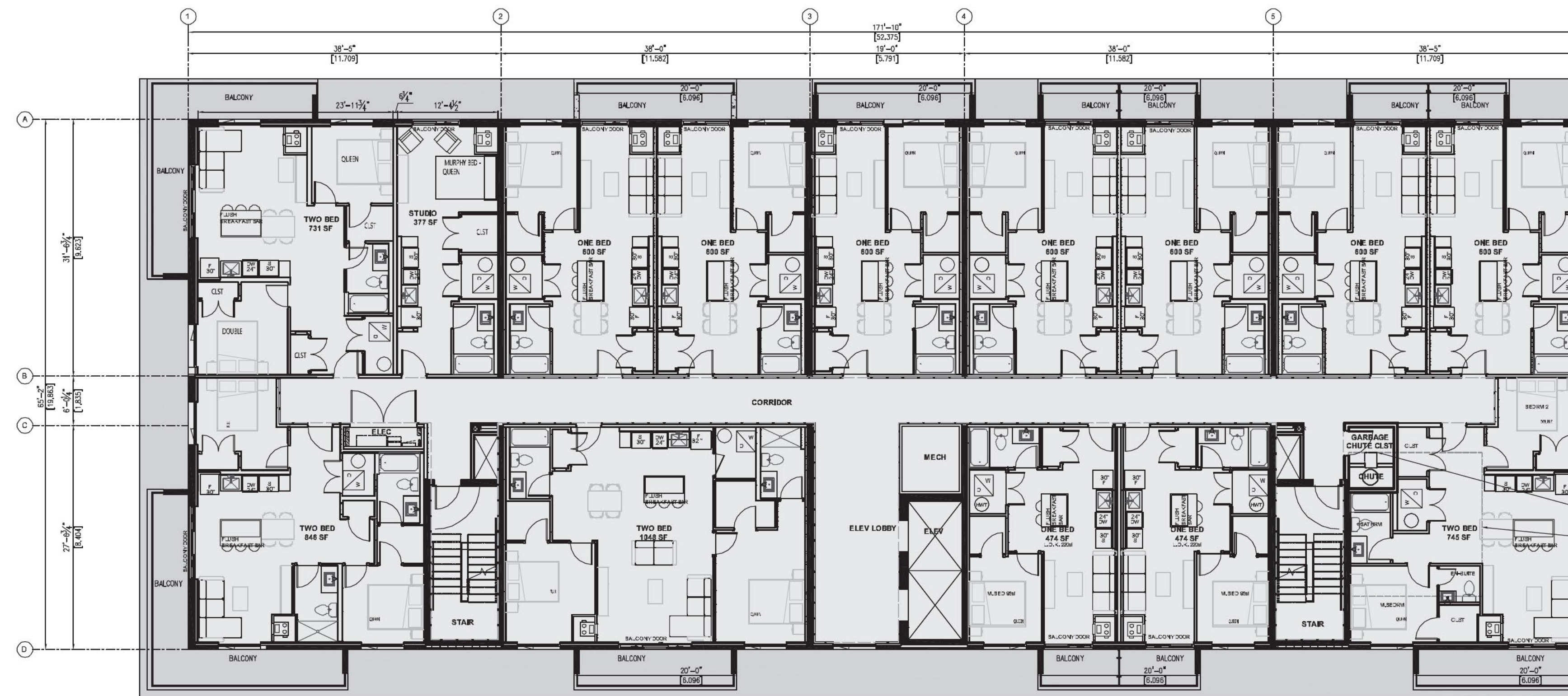
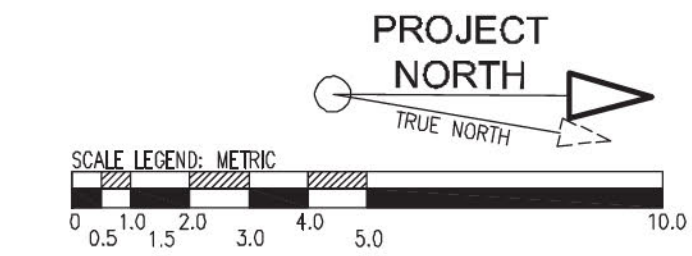
DRAWING TITLE  
**PROPOSED  
 BOLER ROAD  
 ELEVATION  
 SITE SECTION**

FILE	24-13	DATE	MAY 31, 2024
SCALE	3/32"=1"	DRAWN	PTA
CHECKED	PTA	DRAWING NO.	

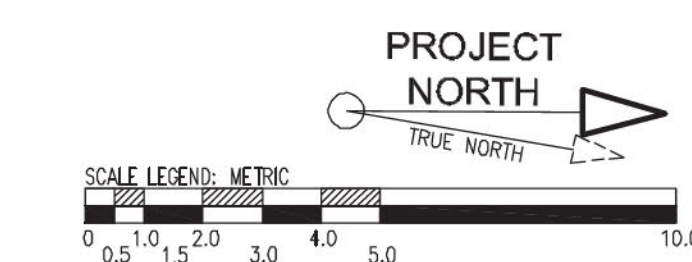
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FLOOR LEVEL 5



TYPICAL FLOORS 2-4

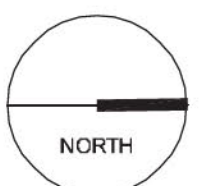


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REVISIONS

NO.	DATE	DESCRIPTION	BY
01	2024.03.21	CONCEPT DESIGN REVIEW	PD/A
02	2024.07.03	CONCEPT DESIGN REVIEW PRE-SPA SUBMIT	PD/A



PROJECT Proposed  
**6 STOREY APARTMENT BLDG**

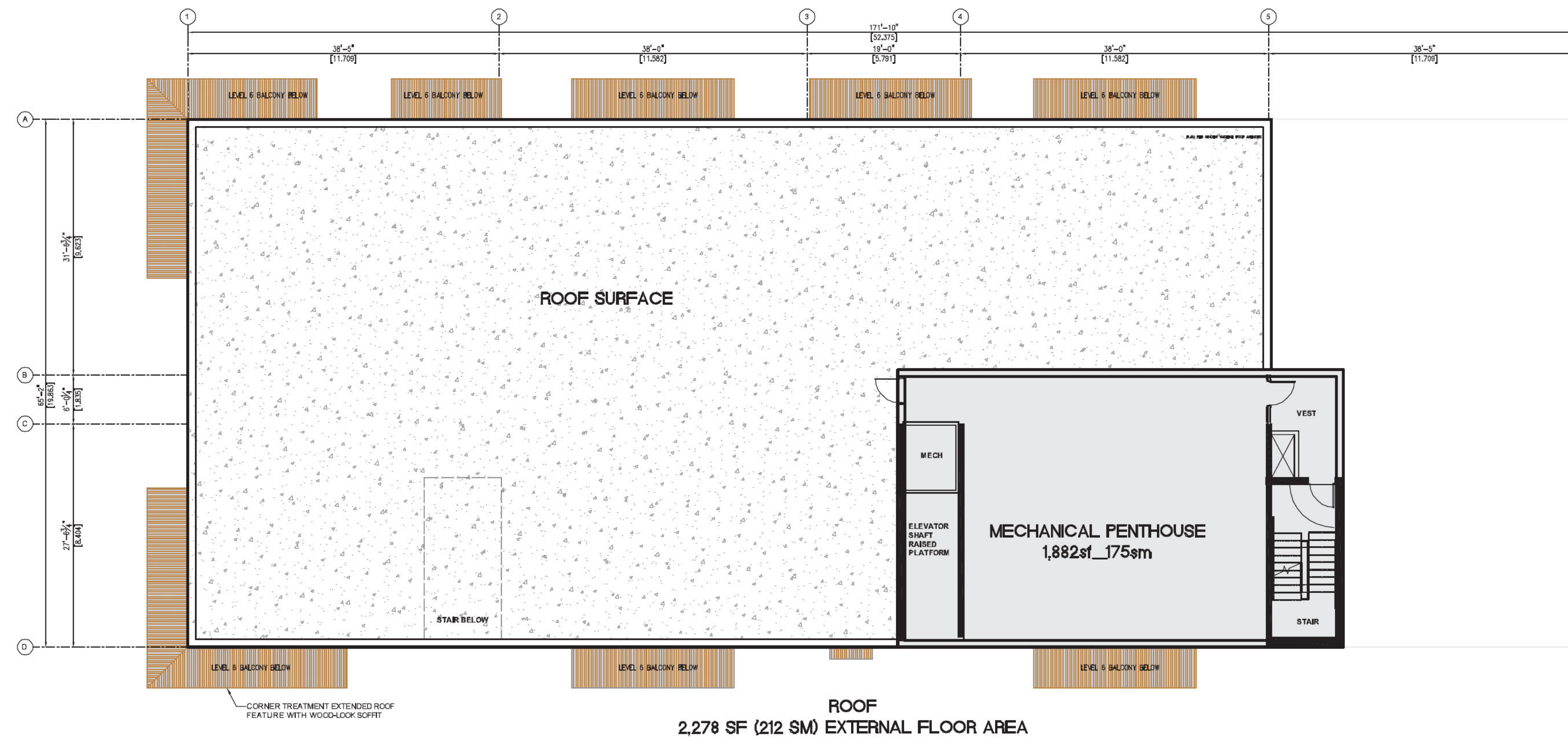
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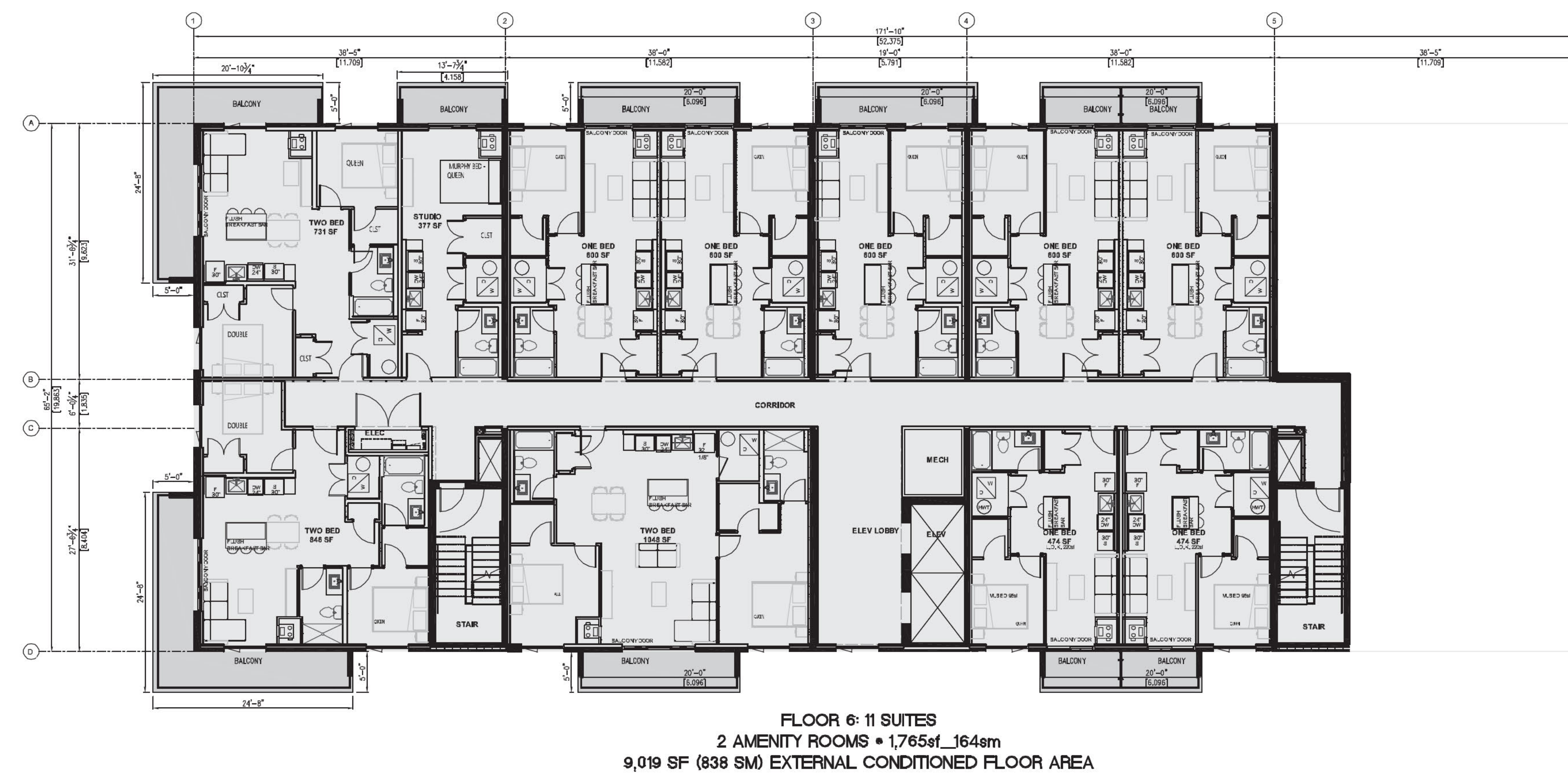
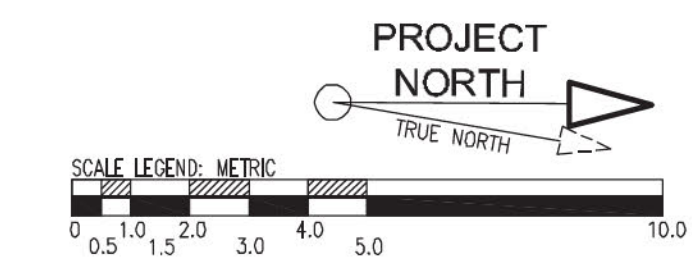
DRAWING TITLE  
**PROPOSED FLOOR LEVELS 2,3,4. FLOOR LEVEL 5**

FILE 24-13	DATE MAY 31, 2024
SCALE 3/32"=1'	DRAWN PD/A
CHECKED PD/A	DRAWING NO.

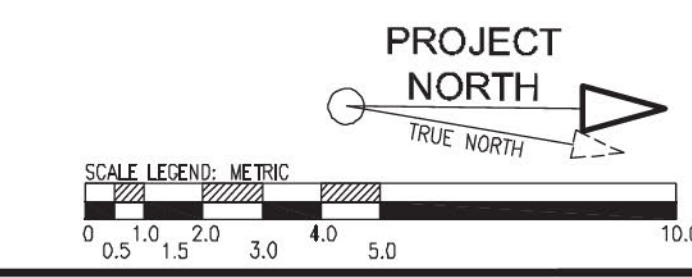
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ROOF PLAN



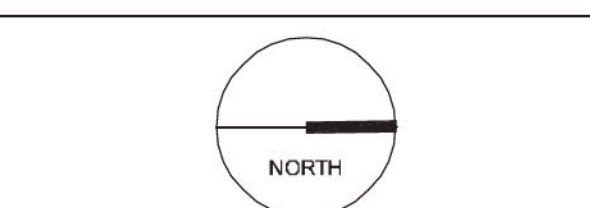
FLOOR LEVEL 6



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**6 STOREY APARTMENT BLDG**

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BYRON, ON

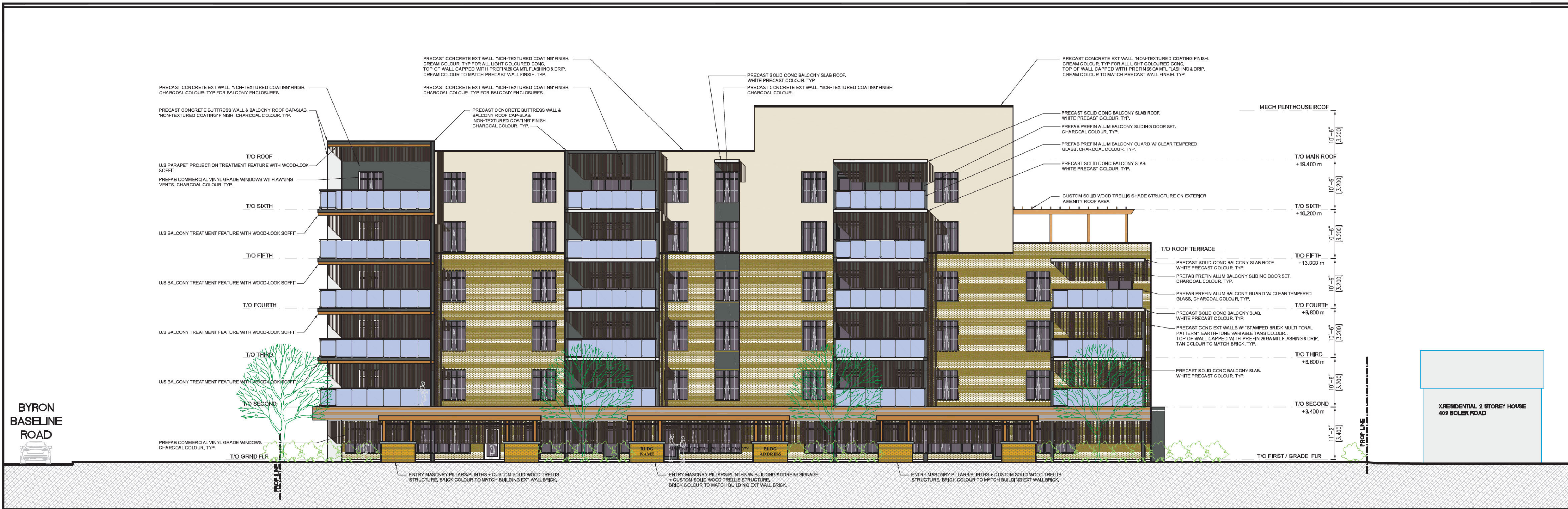
CLIENT 1822056 ONTARIO INC.  
SPRINGBANK DR, LONDON

DRAWING TITLE  
**PROPOSED FLOOR LEVEL 6 ROOF PLAN**

FILE	24-13	DATE	MAY 31, 2024
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**A1.1**





EAST ELEVATION - BOLER ROAD



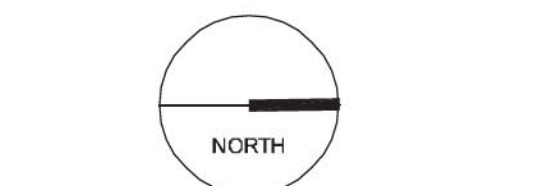
WEST ELEVATION - REAR PARKING LOT

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01	2024.03.22	CONCEPT DESIGN REVIEW	PDTA
02	2024.03.22	CONCEPT DESIGN REVIEW PRE-SP SHEET	PDTA



PROJECT  
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**6 STOREY APARTMENT BLDG**

**415-465 BOLER ROAD  
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1822056 ONTARIO INC.  
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DRAWING TITLE  
**PROPOSED EXTERIOR ELEVATIONS**

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**A1.2**



**NORTH ELEVATION**



**SOUTH ELEVATION - BYRON BASELINE ROAD**

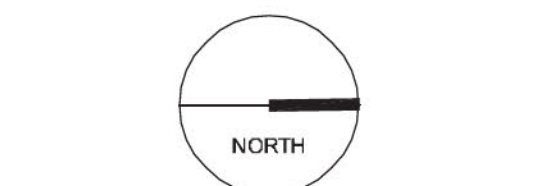
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**PATRICK DAVID TROTTER**  
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PROJECT Proposed  
**6 STOREY APARTMENT BLDG**

**415-465 BOLER ROAD BYRON, ON**

CLIENT 1822056 ONTARIO INC.  
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DRAWING TITLE  
**PROPOSED EXTERIOR ELEVATIONS**

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**A1.3**