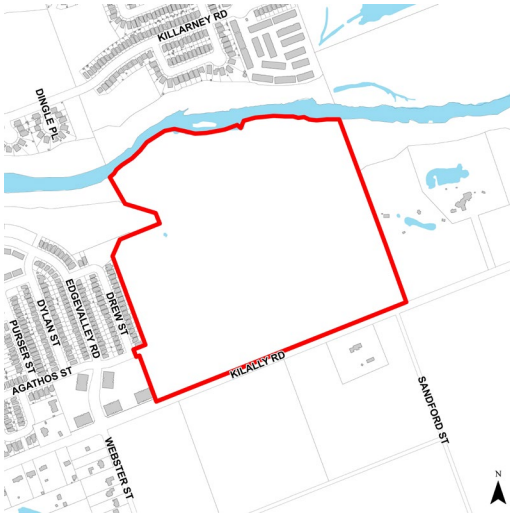


NOTICE OF PLANNING APPLICATION & PUBLIC MEETING

Official Plan and Zoning By-law Amendment and Draft Plan of Subdivision

1782 Kilally Road (Edgevalley Phase 2)



File: OZ-9811/39T-24506

Applicant: Drewlo Holdings Inc.

What is Proposed?

Official Plan and Zoning amendment to:

- Redesignate a portion from Neighbourhoods to Green space, and another portion from Environmental Review to Neighbourhoods Place Type and Green Space.

Draft Plan of Subdivision consisting of:

- 225 single detached dwellings, 3 medium density residential blocks, 1 park block, 3 walkway blocks, and 1 open space block all served by 4 new streets and an extension to Agathos Street.

Further information can be found at london.ca/planapps

LEARN MORE & PROVIDE INPUT

You are invited to provide comments for consideration by Council, and/or attend a public meeting of the Planning and Environment Committee at which Council will consider this application, to be held:

Meeting Date and Time: Wednesday, February 19, 2025, no earlier than 1:00 p.m.

Please monitor the City's website closer to the meeting date to find a more precise meeting start time:
<https://london.ca/government/council-civic-administration/council-committee-meetings>

Meeting Location: The Planning and Environment Committee Meetings are hosted in City Hall, Council Chambers; virtual participation is also available, please see City of London website for details or contact pec@london.ca.

Please provide any comments by **December 22, 2024**

For more information and/or to provide comments, please contact the planner for the applications:

Michael Clark
mclark@london.ca
519-661-CITY (2489) ext. 4586
Planning & Development, City of London
London ON PO Box 5035 N6A 4L9
File: OZ-9811/39T-24506

You may also discuss any concerns you have with your Ward Councillor:

Councillor Peter Cuddy
pcuddy@london.ca
519-661-CITY (2489) ext. 4003

To learn more about the applications please search for the property address at:

london.ca/planapps

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Application Details

Requested London Plan Amendment

Possible amendment to the London Plan to adjust the limit of the Neighbourhoods Place Type, and redesignate the portion of the subject lands within the Environmental Review Place Type to the Green Space and Neighbourhoods Place Type. The adjustment to the limit of the Neighbourhoods Place Type would expand the Green Space Place Type to include the proposed ecological buffer to the Environmentally Sensitive Area.

Requested Zoning By-law Amendment

To change the zoning from a FROM an Urban Reserve (UR4) Zone and Open Space (OS5) Zone TO a Residential R1 (R1-13) Zone, a Residential R8 (R8-4(_)) Zone with special provisions, Open Space (OS1) Zone, and Open Space (OS5) Zone to implement the proposed development and recognize the extent of natural heritage features. The R1-13 Zone would permit single detached dwellings and the R8-4(_) Zone would permit medium density residential uses including townhouses, stacked townhouses, and apartment buildings up to 22 metres if height and a density of 100 units per hectare within medium density blocks along Kilally Road. The OS1 Zone is proposed for the parkland block, and the OS5 Zone is proposed for the Environmentally Sensitive Area and its associated buffer.

The City may also contemplate alternative zoning such as a different base zone, additional permitted uses, additional special provisions (i.e. height and/or density), and/or the use of holding provisions.

The London Plan and the Zoning By-law are available for review at london.ca.

Requested Draft Plan of Subdivision

Consideration of a Draft Plan of Subdivision consisting of 225 lots for single detached dwellings, three (3) medium residential density blocks, one (1) park block, three (3) walkway blocks, one (1) open space block, road widening and reserve blocks, served by the extension of Agathos Street, and four (4) new streets (Streets A through D).

At this time there are no other applications, under the Planning Act, R.S.O. 1990, c. P.13, as amended, pertaining to the subject lands.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the Planning Act. The ways you can participate in the City's planning review and decision-making process are summarized below.

See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at london.ca/planapps
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the City's Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend This Public Participation Meeting

The Planning and Environment Committee will consider the requested official plan and zoning changes at this meeting, which is required by the Planning Act. You will be invited to provide your comments at this public participation meeting. A neighbourhood or community association may exist in your area. If it reflects your views on this application, you may wish to select a representative of the association to speak on your behalf at the public participation meeting. Neighbourhood Associations are listed on the Neighbourgood website. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Clerk of the Committee.

Right to Appeal to the Ontario Land Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the proposed official plan (or official plan amendment) is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If a person or public body would otherwise have the ability to appeal the decision of the Council of the Corporation of the City of London but does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body is not entitled to appeal the decision to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting, if one is held, or make written submissions to the City of London in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

For more information go to <https://olt.gov.on.ca/appeals-process/forms/>.

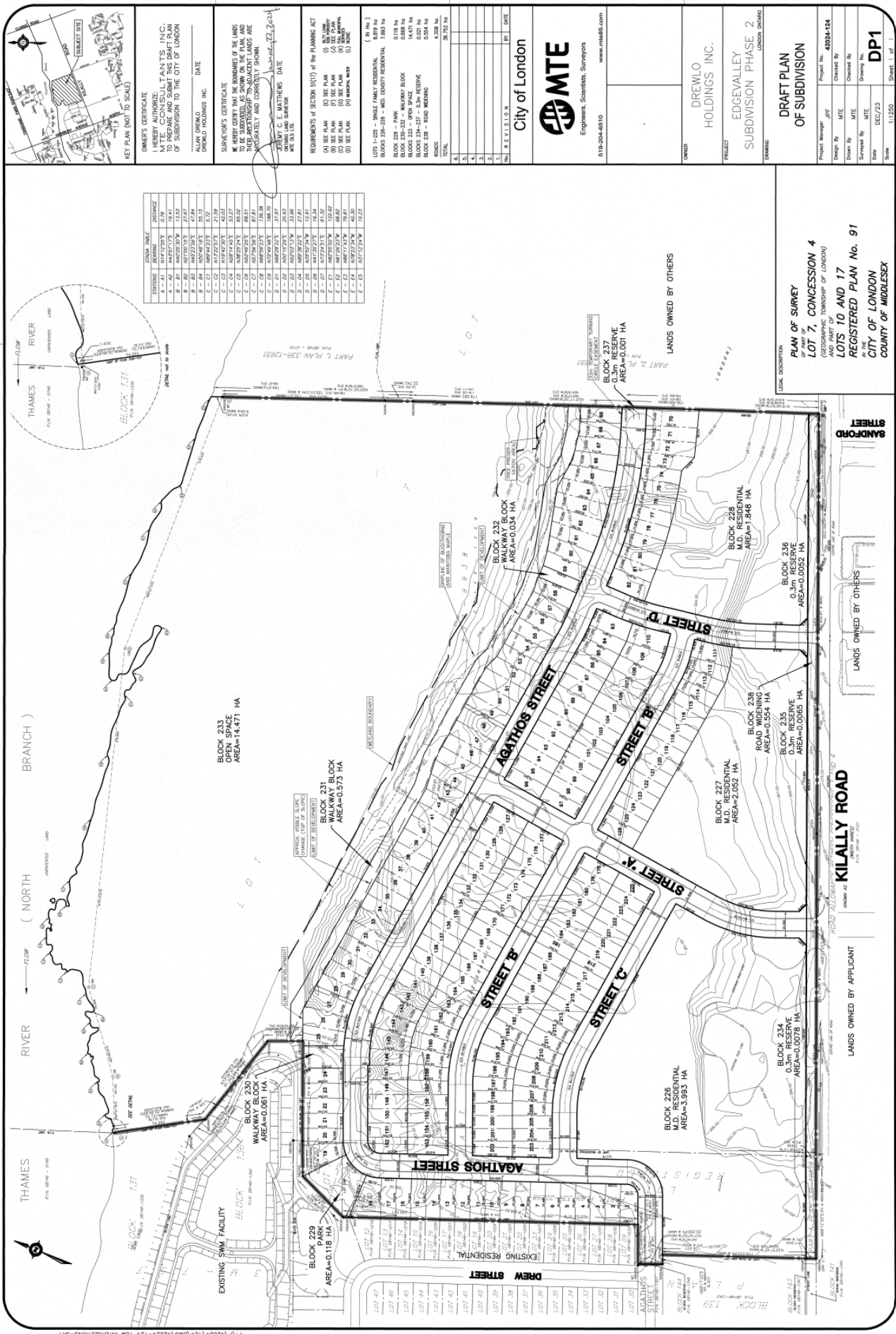
Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

Accessibility

The City of London is committed to providing accessible programs and services for supportive and accessible meetings. We can provide you with American Sign Language (ASL) interpretation, live captioning, magnifiers and/or hearing assistive (t coil) technology. Please contact us at plandev@london.ca by February 1, 2024 to request any of these services.

Draft Plan of Subdivision



The above image represents the applicant's proposal as submitted and may change.

