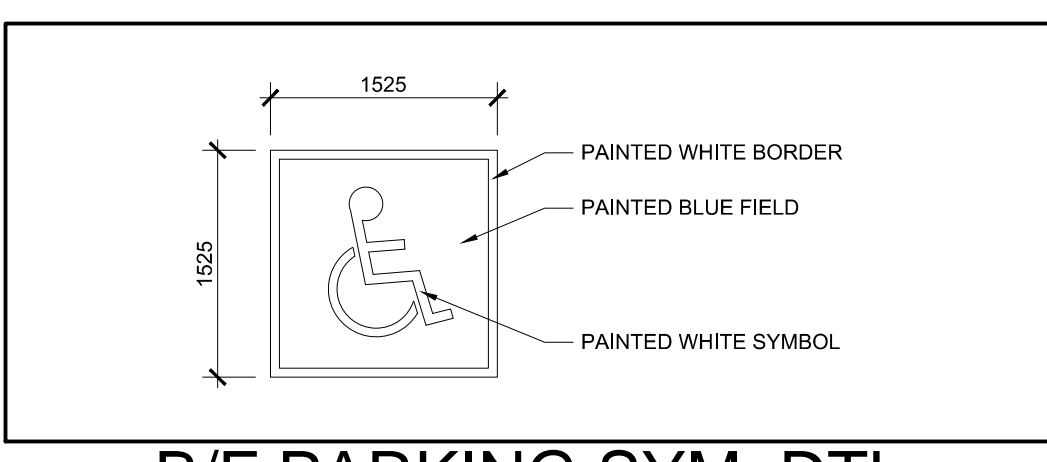
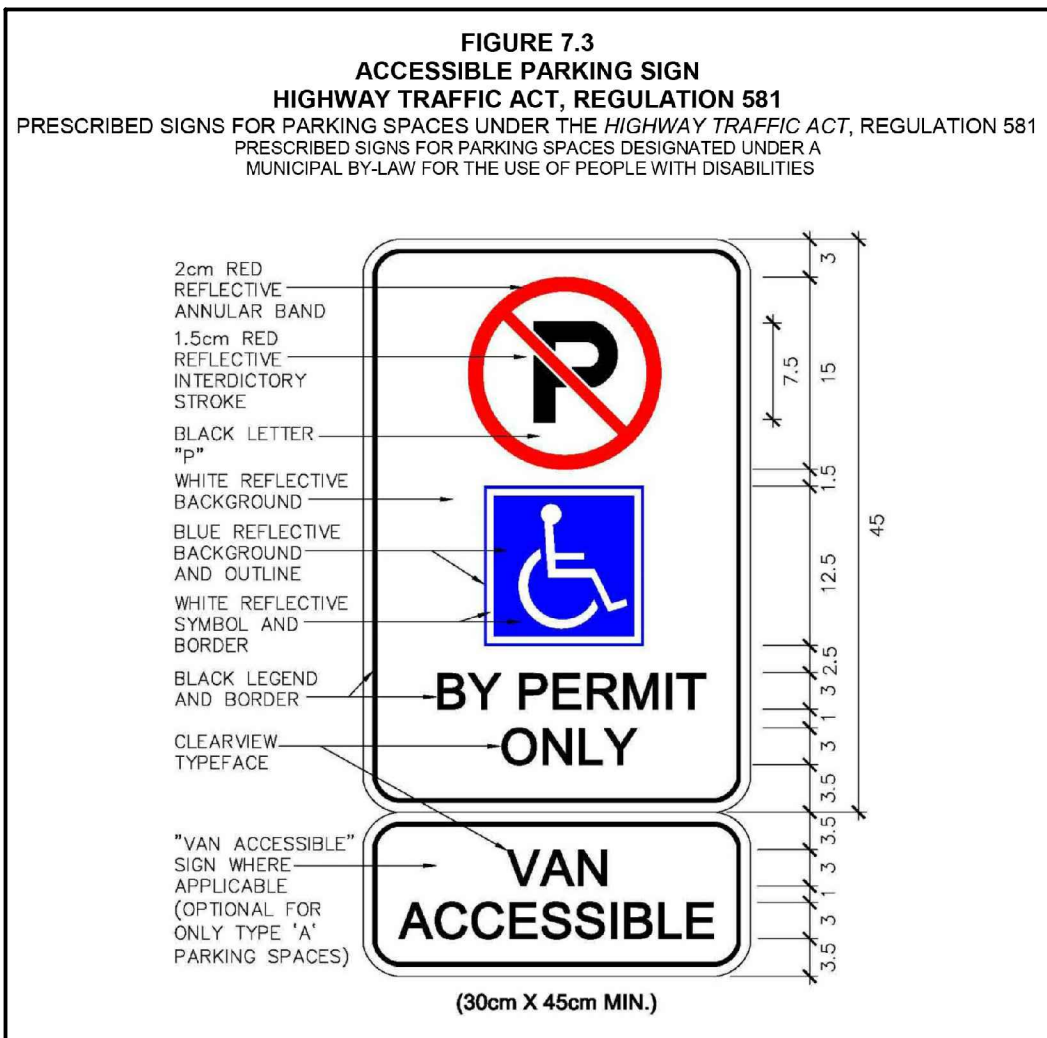


	PROPOSED BUILDING		MULCH / GARDEN REFER TO LANDSCAPE DRAWINGS		EX. / EXIST.		EXISTING		TOPOGRAPHIC LINE		FIRE HYDRANT		COMMUNICATION SERVICE		MAN HOLE		EXISTING TREE / PLANTING TO REMAIN
	CONCRETE SIDEWALK - BRUSHED FINISH		GRASS / SOD REFER TO LANDSCAPE DRAWINGS		PROPERTY LINE		BUILDING SETBACK LINE		GEOTECHNICAL BOREHOLE LOCATION		FIRE DEPARTMENT CONNECTION		HYDRO SERVICE - OVERHEAD WIRES		CATCH BASIN		EXISTING TREE / PLANTING TO BE DEMOLISHED & REMOVED
	CONCRETE SIDEWALK - SMOOTH FINISH		QUALITY SEED WET MEADOWS MIX REFER TO LANDSCAPE DRAWINGS		LANDSCAPING SETBACK LINE		DIRECTION OF TRAFFIC		BARRIER-FREE PARKING SYMBOL PAINTED ON ASPHALT REFER TO DETAILS ON A1.2.		LIGHT STANDARD - 1 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.		SANITARY SERVICE		GAS METRE		PROPOSED TREE / PLANTING. REFER TO LANDSCAPE DWGS
	B/F PATH OF TRAVEL OW WIRE TINE FN. & COLOURED CONC.		QUALITY SEED PRO LOW MAINTENANCE ECOGRASS. REFER TO LANDSCAPE DRAWINGS		PROPERTY EASEMENT LINE		TACTILE WARNING TILE, CAST-IN-PLACE, FLUSH W/ SIDEWALK		LIGHT STANDARD - 2 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.		STORM SERVICE		GAS SERVICE		WATER VALVE		TREE PROTECTION FENCING REFER TO LANDSCAPE DWGS
	B/F ACCESS AISLE OW PAINTED HATCH		QUALITY SEED RTE ENVIRONMENTURF REFER TO LANDSCAPE DRAWINGS		CENTRE LINE OF ROAD		BICYCLE RACK		LIGHT STANDARD - 3 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.		EXISTING FENCE		PROPOSED FENCE		CCTV CAMERA		
	PROPOSED BUILDING		QUALITY SEED RTE ENVIRONMENTURF REFER TO LANDSCAPE DRAWINGS		FIRE ROUTE		BARRIER-FREE PARKING STORAGE. REFER TO DETAILS ON A1.2.		LIGHT STANDARD - 4 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.		HYDRO POLE		EV CHARGING STATION				

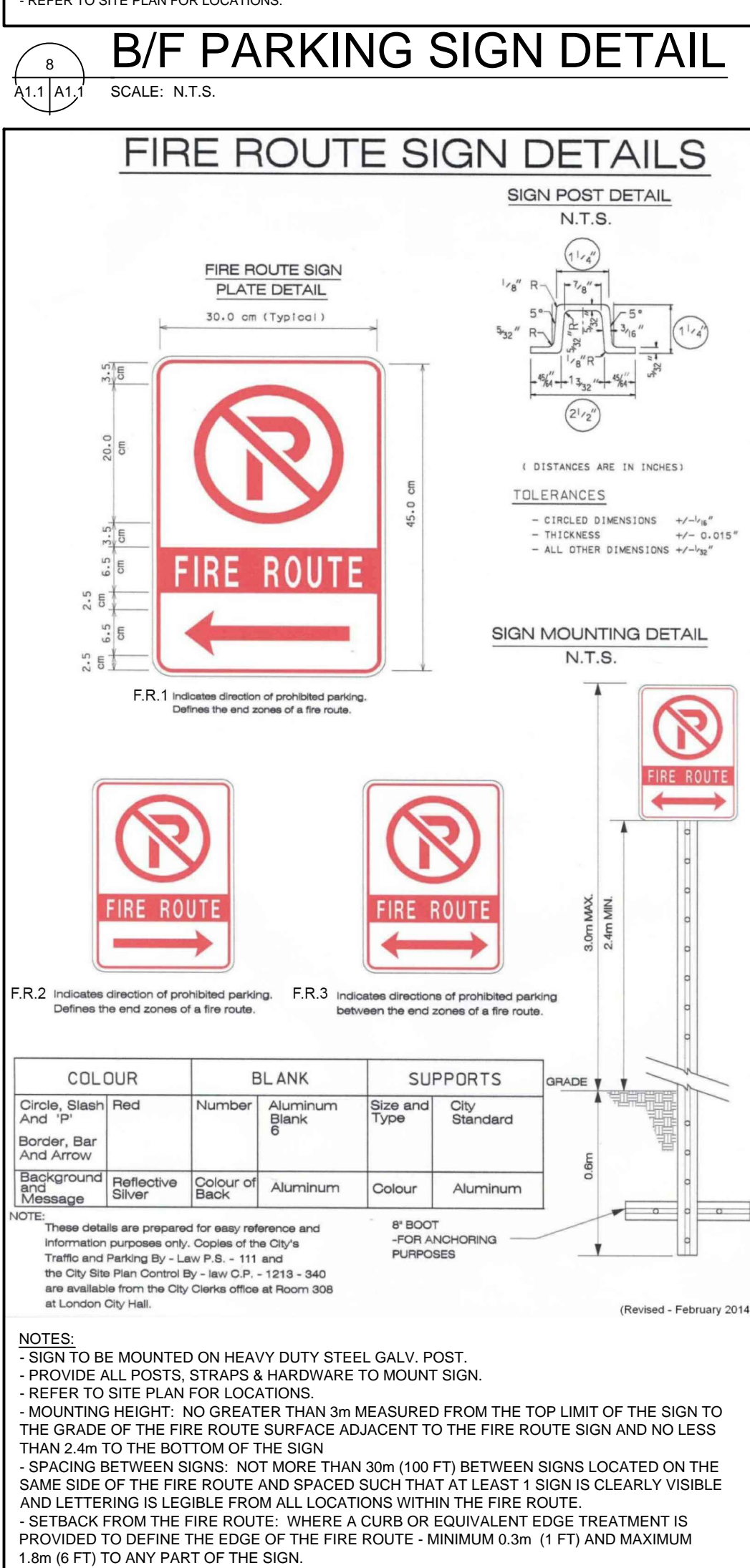
LEGEND
SCALE: N.T.S.



B/F PARKING SYM. DTL.
SCALE: N.T.S.



B/F PARKING SIGN DETAIL
SCALE: N.T.S.



FIRE ROUTE SIGN TYP. DTL.
SCALE: 1:100



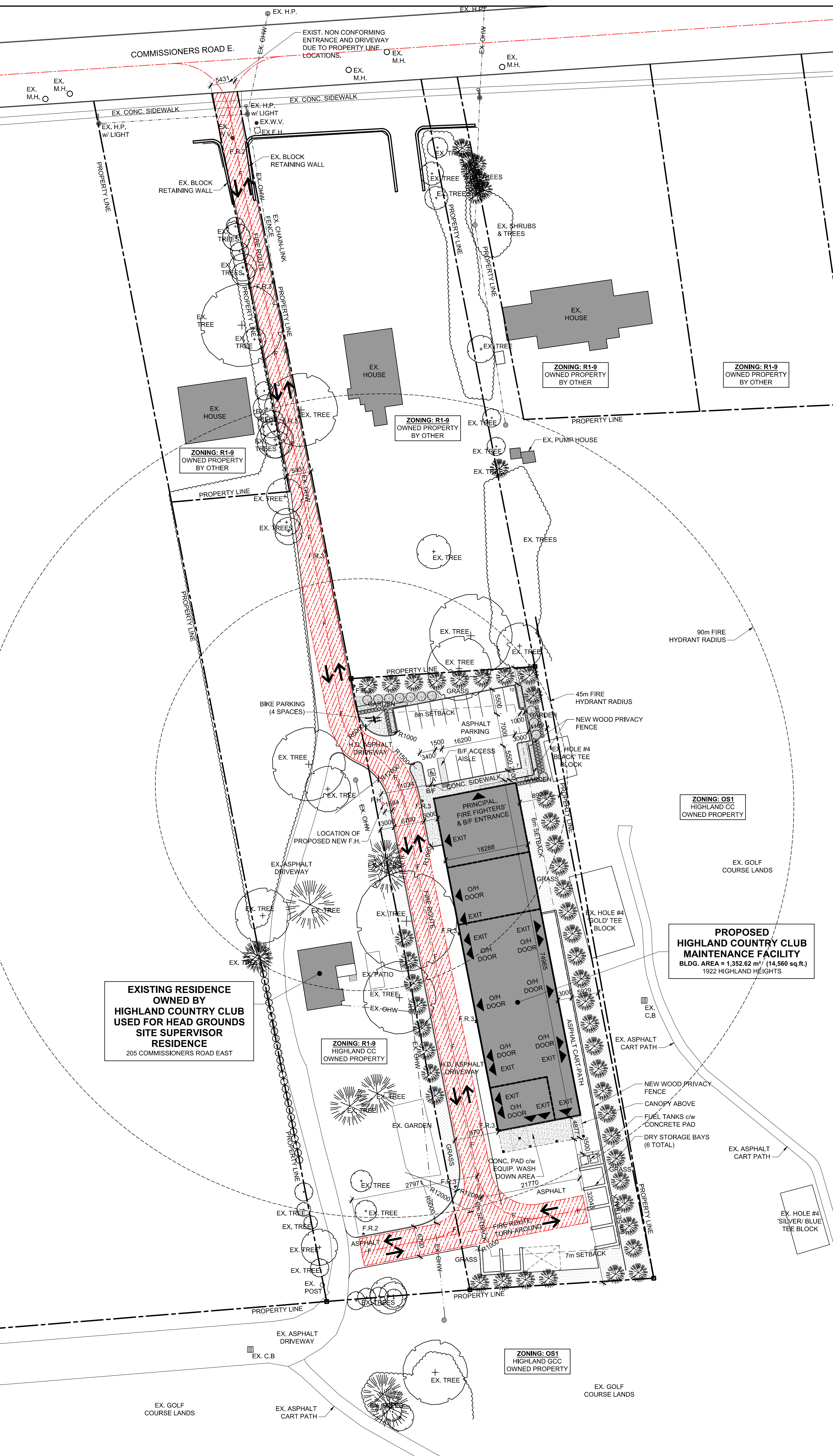
SITE KEY PLAN
SCALE: N.T.S.

SURVEY INFO - REFER TO SURVEY FOR MORE INFORMATION	OBC SUMMARY - FOR FULL MATRIX, REFER TO COVER PAGE
INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED BY MTE ONTARIO LAND SURVEYORS LTD. - 2022-05-16	PROJECT TYPE: NEW CONSTRUCTION (PRE-ENG METAL BUILDING, WITH PEAKED METAL ROOF & METAL SIDING)
	OCCUPANCY CLASSIFICATION: D - OFFICE
	BUILDING CLASSIFICATION: 3.2.2.93 - GROUP D, UP TO 3 STOREYS
	3.2.2.70A - GROUP F, DIVISION 2, UP TO 4 STOREYS
	3.2.2.80 - GROUP F, DIVISION 3, 1 STOREY
	BUILDING HEIGHT: 7.62m
	FACING STREETS: FACING 1 STREET
	SPRINKLER SYSTEM: NOT REQUIRED.
	FIRE ALARM: NOT REQUIRED.

SURVEY INFO SCALE: N.T.S. **OBC SUMMARY** SCALE: N.T.S.

SITE & ZONING ANALYSIS	
PROJECT: HIGHLAND GOLF & COUNTRY CLUB MAINTENANCE FACILITY	
PROJECT ADDRESS: 1922 HIGHLAND HEIGHTS, LONDON, ON N6C 2T4	
EXISTING ZONING: ZONE OS (1) - OPEN SPACE	
EXISTING PERMITTED USE: GOLF COURSE - NO CHANGE	
ROAD TYPE: ARTERIAL ROAD - COMMISSIONERS RD.	
REQUIRED	PROPOSED
LOT AREA (m ²) (min.): 4,000.0 m ² min.	546,694.8 m ² (125 acres) - EXISTING
LOT FRONTAGE (m) (min.): 15.0 m min.	> 15.0 m - EXISTING
SITE SETBACKS:	
FRONT YARD AND EXTERIOR SIDE YARD DEPTH (m) (min.): 8.0 m	FRONT YARD SETBACK: 24.4 m
REAR YARD AND INTERIOR SIDE YARD DEPTH (m) (min.): 8.0 m	EXTERIOR YARD SETBACK: -
REAR YARD AND INTERIOR SIDE YARD DEPTH (m) (min.): 7.0 m min.	INTERIOR YARD SETBACK: 6.0 m
ADJUTING A NON-RESIDENTIAL ZONE:	REAR YARD SETBACK: 12.7 m
	REAR YARD SETBACK: 33.0 m
COVERAGE (%) (max.): 10.0 %	0.31 %
LANDSCAPED OPEN SPACE (%) (min.): 20.0 %	> 20.0 %
BUILDING HEIGHT (m) (max.): 12.0 m	7.62 m
NUMBER OF FLOORS: N/A	1 FLOOR
OPEN STORAGE (%) (max.): N/A	N/A
GROSS FLOOR AREA (m ²):	
D OCCUPANCY - OFFICE: 281 m ² (3,030 sq.ft)	
F2 OCCUPANCY - REPAIR GARAGE: 232 m ² (2,500 sq.ft)	
F3 OCCUPANCY - STORAGE: 838 m ² (9,030 sq.ft)	
F2 OCCUPANCY - OPEN MEZZANINE: 88 m ² (950 sq.ft)	
GFA TOTAL: 1,440 m ² (15,510 sq.ft.)	
BUILDING AREA (m ²):	
D OCCUPANCY - OFFICE: 281 m ² (3,030 sq.ft)	
F2 OCCUPANCY - REPAIR GARAGE: 232 m ² (2,500 sq.ft)	
F3 OCCUPANCY - STORAGE: 838 m ² (9,030 sq.ft)	
BA TOTAL: 1,352.62 m ² (14,560 sq.ft.)	
PARKING:	
STANDARD STALL: 2.7 m x 5.5 m	PARKING - EXISTING: STANDARD SPACES REQUIRED: 170
STANDARD DRIVEWAY WIDTH: 6.7 m	STANDARD STALLS PROVIDED: 187 EXISTING
ACCESSIBLE PARKING: 3.4 m x 5.5 m	BARRIER-FREE STALLS PROVIDED: 6
B/F TYPE 'A' STALL SIZE (min.): 2.4 m x 5.5 m	PARKING - MAINTENANCE BUILDING - REQUIRED: STANDARD SPACES REQUIRED: 13
B/F ACCESS AISLE (min.): 1.5 m x 1.5 m	OFFICE SPACE: 1 SPACE PER 40 m ² - 282m ² / 40m ² = 7
	WAREHOUSE: 1 SPACE PER 200 m ² - 1071m ² / 200m ² = 5
	TOTAL = 13 REQUIRED
	STANDARD SPACES PROVIDED: 13
	PARKING - MAINTENANCE BUILDING - PROPOSED: STANDARD SPACES REQUIRED: 13
	OFFICE SPACE: 1 SPACE PER 40 m ² - 282m ² / 40m ² = 7
	WAREHOUSE: 1 SPACE PER 200 m ² - 1071m ² / 200m ² = 5
	TOTAL = 13 REQUIRED
	STANDARD SPACES PROVIDED: 13
	BARRIER-FREE SPACES PROVIDED: 1 PROPOSED - TYPE A
	BICYCLE SPACES PROVIDED: 4 SPACES FOR THE MAINTENANCE BUILDING

SITE & ZONING ANALYSIS SCALE: N.T.S.



PROPOSED SITE PLAN SCALE: 1:500

Set No.

NOTES:

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
- USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
- THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
- AREA CALCULATIONS ARE APPROXIMATE.
- DATE FORMAT: YYYY-MM-DD

ISSUE & REVISION DESIGNATION

LETTER (A) = ISSUE, No. (1) = REVISION

No.	Date	Issued For / Revisions
A	2022-03-17	ISSUED FOR CLIENT REVIEW
B	2022-04-14	I.F. SITE PLAN CONSULTATION
C	2023-03-01	ISSUED FOR CLASS D COSTING
D	2024-09-20	ISSUED FOR ZONING AMENDMENT

Ontario Association of Architects

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Highland Country Club Maintenance Facility
1922 Highland Heights, London, ON N6C 2T4

Site Plan, Key Plan, Legend, Site & Zoning Analysis, OBC Summary & Survey Info

Drawn by: CW Job Captain: MH Project No.: 2139A
Scale: AS SHOWN
Date: 2024-09-20 Sheet No.: A1.1
Current Issue: D Current Revision: -