	PROPOSED BUILDING	and the standard sector of the	MULCH / GARDEN	EX. / EXIST.	EXISTING	-11	TOPOGRAPHIC LINE	$\dot{\frown}$	FIRE HYDRANT	— · СӨ М М — · — · —	COMMUNICATION SERVICE	\bigcirc	MAN HOLE		EXISTING TREE / PLANTING
			REFER TO LANDSCAPE DRAWINGS		ENTRANCE / EXIT	×###.##	TOPOGRAPHIC ELEVATION	・ ・ ・ ・ ・ ・ ・ ・ ・ ・ ・ ・ ・ ・		HYDRO SERVICE - OVERHEAD WIRES	CATCH BASIN MAN HOLE	- CO + CO CO EXISTING TREE / PLANTING TO REMAIN			
	CONCRETE SIDEWALK - BRUSHED FINISH	* * * * * * * * * * * * * * * * * *	GRASS / SOD REFER TO LANDSCAPE DRAWINGS		- PROPERTY LINE	• • • • • • • • • • • • • • • • • • •	GEOTECHNICAL BOREHOLE LOCATION	€ <u></u>	FIRE ROUTE SIGNAGE. REFER TO DETAILS ON A1.2.		WATER SERVICE	■ ■	CATCH BASIN		EXISTING TREE / PLANTING.
4	<u> </u>	* * * * * * * * * * * * * * * * * *	Į/		- BUILDING SETBACK LINE	\rightarrow	DIRECTION OF TRAFFIC		LIGHT STANDARD - 1 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.	<u>—————————————————————————————————————</u>	SANITARY SERVICE	⊟ _{L.S.C.B}	LANDSCAPE CATCH BASIN	TO BE DEMOLISHED & REMOVED	
	CONCRETE SIDEWALK - SMOOTH FINISH		QUALITY SEED WET MEADOWS MIX REFER TO LANDSCAPE DRAWINGS		- LANDSCAPE SETBACK LINE		BARRIER-FREE PARKING SYMBOL PAINTED ON ASPHALT.	rr	LIGHT STANDARD - 2 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.	STM	STORM SERVICE	-© ₁	GAS METRE		PROPOSED TREE / PLANTING. REFER TO LANDSCAPE DWGS
			QUALITY SEED PRO LOW MAINTENANCE		- PROPERTY EASEMENT LINE		REFER TO DETAILS ON A1.2.		LIGHT STANDARD - 3 HEAD (w/ CUT-OFF).		GAS SERVICE	B _{B.PED.}	COMM. PEDESTAL		
	c/w WIRE TINE FIN. & COLOURED CONC.		ECOGRASS REFER TO LANDSCAPE DRAWINGS		- CENTRE LINE OF ROAD	TWT	TACTILE WARNING TILE, CAST-IN-PLACE, FLUSH w/ SIDEWALK		REFER TO ELEC. DWGS.			Φ _{w.v.}	WATER VALVE		TREE PROTECTION FENCING
777777777777777777777777777777777777777	B/F ACCESS AISLE		QUALITY SEED RTE ENVIROTURF REFER TO LANDSCAPE DRAWINGS	F	- FIRE ROUTE	- ≥+- ₫-	BICYCLE RACK		LIGHT STANDARD - 4 HEAD (w/ CUT-OFF). REFER TO ELEC. DWGS.	xxxxxxx	EXISTING FENCE		CCTV CAMERA		REFER TO LANDSCAPE DWGS
	c/w PAINTED HATCH					B/F	BARRIER FREE PARKING SIGNAGE. REFER TO DETAILS ON A1.2.	© _{H.P.}	HYDRO POLE	o	PROPOSED FENCE	[⊠] EV	EV CHARGING STATION		
	GEND														
A1.1 A1,1 SCALE:															

1525 - PAINTED WHITE BORDER PAINTED BLUE FIELD - PAINTED WHITE SYMBOL B/F PARKING SYM. DTL. 1.1 A1.1 SCALE: N.T.S. FIGURE 7.3 ACCESSIBLE PARKING SIGN HIGHWAY TRAFFIC ACT, REGULATION 581 PRESCRIBED SIGNS FOR PARKING SPACES UNDER THE HIGHWAY TRAFFIC ACT, REGULATION 581 PRESCRIBED SIGNS FOR PARKING SPACES DESIGNATED UNDER A MUNICIPAL BY-LAW FOR THE USE OF PEOPLE WITH DISABILITIES 2cm RED REFLECTIVE ANNULAR BAND BLACK LETTER -WHITE REFLECTIVE BACKGROUND -BLUE REFLECTIVE AND OUTLINE WHITE REFLECTIV SYMBOL AND -BORDER BLACK LEGEND AND BORDER — -BY PERMIT -ONLY CLEARVIEW____ TYPEFACE "VAN ACCESSIBL VAN SIGN WHERE APPLICABLE (OPTIONAL FOR ONLY TYPE 'A' ACCESSIBLE PARKING SPACES (30cm X 45cm MIN.) NOTES: - SIGN TO BE MOUNTED ON HEAVY DUTY STEEL GALV. POST AT HEIGHT OF 2.0m FROM FINISHED GRADE TO CENTRE OF SIGN. - PROVIDE ALL POSTS, STRAPS & HARDWARE TO MOUNT SIGN. - REFER TO SITE PLAN FOR LOCATIONS. **B/F PARKING SIGN DETAIL** A1.1 A1.1 SCALE: N.T.S. FIRE ROUTE SIGN DETAILS SIGN POST DETAIL N.T.S. 1/8" R- T'8"-FIRE ROUTE SIGN PLATE DETAIL 5° 5° 5° 5'32″ R 5° 5° 5'316″ 1'8'R 30.0 cm (Typical) (21/2") (DISTANCES ARE IN INCHES) TOLERANCES - CIRCLED DIMENSIONS +/-U16" - THICKNESS +/- 0.01 - THICKNESS +/- 0.015 - ALL OTHER DIMENSIONS +/-1/32" IRE ROU' SIGN MOUNTING DETAIL N.T.S. 5.5 F.R.1 indicates direction of prohibited parking. Defines the end zones of a fire route. \bigcirc FIRE ROUTE R R F.R.2 Indicates direction of prohibited parking. F.R.3 Indicates directions of prohibited parking Defines the end zones of a fire route. between the end zones of a fire route. COLOUR BLANK SUPPORTS GRADE V Circle, Slash Red And 'P' Size and City Type Sta Aluminun Standard Border, Bar And Arrow Background and Message Silver Colour of Aluminum Colour Aluminum

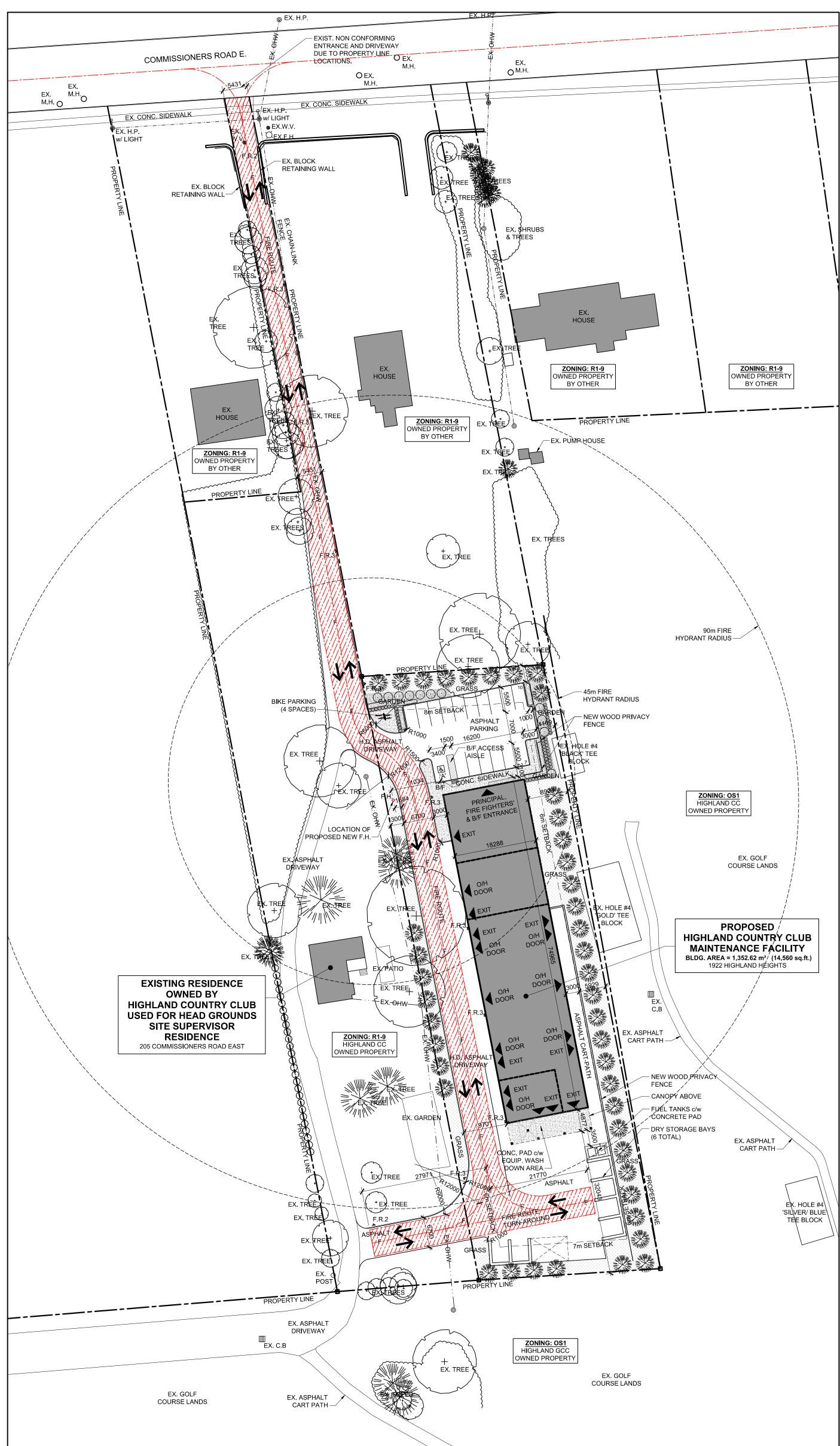
- 0 8" BOOT These details are prepared for easy reference and -FOR ANCHORING Information purposes only. Copies of the City's Traffic and Parking By - Law P.S. - 111 and the City Site Plan Control By - law C.P. - 1213 - 340 PURPOSES are available from the City Clerks office at Room 308 at London City Hall. (Revised - February 2014 NOTES: - SIGN TO BE MOUNTED ON HEAVY DUTY STEEL GALV. POST. - PROVIDE ALL POSTS, STRAPS & HARDWARE TO MOUNT SIGN. - REFER TO SITE PLAN FOR LOCATIONS. - MOUNTING HEIGHT: NO GREATER THAN 3m MEASURED FROM THE TOP LIMIT OF THE SIGN TO THE GRADE OF THE FIRE ROUTE SURFACE ADJACENT TO THE FIRE ROUTE SIGN AND NO LESS THAN 2.4m TO THE BOTTOM OF THE SIGN - SPACING BETWEEN SIGNS: NOT MORE THAN 30m (100 FT) BETWEEN SIGNS LOCATED ON THE SAME SIDE OF THE FIRE ROUTE AND SPACED SUCH THAT AT LEAST 1 SIGN IS CLEARLY VISIBLE AND LETTERING IS LEGIBLE FROM ALL LOCATIONS WITHIN THE FIRE ROUTE. - SETBACK FROM THE FIRE ROUTE: WHERE A CURB OR EQUIVALENT EDGE TREATMENT IS PROVIDED TO DEFINE THE EDGE OF THE FIRE ROUTE - MINIMUM 0.3m (1 FT) AND MAXIMUM

FIRE ROUTE SIGN TYP. DTL.

1.8m (6 FT) TO ANY PART OF THE SIGN.

A1.1 A1.1 SCALE: 1:100





5 A1.1 A1.1 SCALE: N.T.S.

SURVEY INFO - REFER TO SURVEY FOR MORE INFORMATION

INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED BY

MTE ONTARIO LAND SURVEYORS LTD. - 2022-09-16

<u>OBC SUMMARY - F</u>	OR FULL MATRIX, REFER TO COVER PAGE			
PROJECT TYPE:	NEW CONSTRUCTION (PRE-ENG METAL BUILDING, WITH PEAKED METAL ROC & METAL SIDING)			
OCCUPANCY CLASSIFICATION:	D - OFFICE F2 - MEDIUM HAZARD INDUSTRIAL F3 - LOW HAZARD INDUSTRIAL			
BUILDING CLASSIFICATION:	3.2.2.53 - GROUP D, UP TO 3 STOREYS 3.2.2.70A GROUP F, DIVISION 2, UP TO 4 STOREYS 3.2.2.80 - GROUP F, DIVISION 3, 1 STOREY			
BUILDING HEIGHT:	7.62m			
FACING STREETS:	FACING 1 STREET			
SPRINKLER SYSTEM:	NOT REQUIRED.			
FIRE ALARM:	NOT REQUIRED.			
OBC SUMMARY				

A1.1 A1.1 SCALE: N.T.S.

4 A1.1 A1.1 SCALE: N.T.S.

+		+					
	SITE & ZONING ANALY	<u>/SIS</u>					
PROJECT:	HIGHLAND GOLF & COUNTRY CLUB MAINTENANCE FACILITY						
PROJECT ADDRESS:	1922 HIGHLAND HEIGHTS, LONDON, ON N6C 2T4						
EXISTING ZONING:	ZONE OS (1) - OPEN SPACE						
EXISTING PERMITTED USE:	GOLF COURSE - NO CHANGE						
ROAD TYPE:	ARTERIAL ROAD - COMMISSIONERS RD.						
	REQUIRED	PROPOSED					
LOT AREA (m²) (min.):	4,000.0 m² min.	546,694.8 m² (135 acres) - EXISTING					
LOT FRONTAGE (m) (min.):	15.0 m min.	> 15.0 m - EXISTING					
SITE SETBACKS:							
FRONT YARD AND EXTERIOR SIDE YARD DEPTH (m) (min.):	8.0 m	FRONT YARD SETBACK: 24.4 m EXTERIOR YARD SETBACK: -					
REAR YARD AND INTERIOR SIDE YARD DEPTH (m) (min.):	INTERIOR YARD SETBACK: 6.0m mln REAR YARD SETBACK: 7.0m min.	INTERIOR YARD SETBACK: 8.9 m INTERIOR YARD SETBACK: 12.7 m REAR YARD SETBACK: 33.0 m					
ABUTTING A NON-RESIDENTIAL ZONE:							
COVERAGE (%) (max.):	10.0 %	0.31 %					
LANDSCAPED OPEN SPACE (%) (min.):	20.0 %	> 20.0 %					
BUILDING HEIGHT (m) (max.):	12.0 m	7.62 m					
NUMBER OF FLOORS:	N/A	1 FLOOR					
OPEN STORAGE (%) (max.):	N/A	N/A					
GROSS FLOOR AREA (m²):	D OCCUPANCY - OFFICE 281 m² (3,030 sq.ft) F2 OCCUPANCY - REPAIR GARAGE 232 m² (2,500 sq.ft) F3 OCCUPANCY - STORAGE 838 m² (9,030 sq.ft) F2 OCCUPANCY - OPEN MEZZANINE 88 m² (950 sq.ft) GFA TOTAL: 1,440 m² (15,510 sq.ft.)						
BUILDING AREA (m²):	D OCCUPANCY - OFFICE 281 m² (3,030 sq.ft) F2 OCCUPANCY - REPAIR GARAGE 232 m² (2,500 sq.ft) F3 OCCUPANCY - STORAGE 838 m² (9,030 sq.ft)						
	BA TOTAL: 1,352.62 m ² (14,560 sq.ft.)						
PARKING: STANDARD STALL: 2.7 m x 5.5 m STANDARD DRIVEWAY WIDTH: 6.7 m ACCESSIBLE PARKING: B/F TYPE 'A' STALL SIZE (min.): 3.4 m x 5.5 m	PARKING - EXISTING: STANDARD SPACES REQUIRED: GOLF COURSE: 8 SPACES PER GOLF TEE - 8 x 18 = 144 ASSEMBLY HALL: 1 SPACE PER 7 SEATS - 180 / 7 = 26 TOTAL = 170 REQUIRED STANDARD STALLS REQUIRED: 170 STANDARD STALLS PROVIDED: 187 EXISTING BARRIER-FREE STALLS PROVIDED: 6	BICYCLE PARKING - EXISTING: GOLF COURSE: 3 + (0.2 x 18 HOLES) = 7 SPACES REQUIRED. BICYCLE SPACE REQUIRED: 7 BICYCLE SPACES EXISTING: 7 EXISTING NEXT TO THE CLUB HOUSE					
B/F TYPE 'B' STALL SIZE (min.): 2.4 m x 5.5 m	PARKING - MAINTENANCE BUILDING - REQUIRED:	PARKING - MAINTENANCE BUILDING - PROPOSED:					
B/F ACCESS AISLE (min.): 1.5 m x 1.5 m	STANDARD SPACES REQUIRED: OFFICE SPACE: 1 SPACE PER 40 m ² - 282m ² / 40m ² = 7 WAREHOUSE: 1 SPACE PER 200 m ² - 1071m ² / 200m ² = 6 TOTAL = 13 REQUIRED	STANDARD SPACES REQUIRED: 13 STANDARD SPACES PROVIDED: 17 PROPOSED					
	STANDARD SPACES REQUIRED: 13	BARRIER-FREE SPACES PROVIDED: 1 PROPOSED - TYPE A BICYCLE SPACES PROVIDED: 4 SPACES FOR THE MAINTENANCE BUILDING					
SITE 8		<u> </u>					

PROPOSED SITE PLAN

		Set No.						
NOTES: 1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.								
E 4. U 5. TH 5. TH 6. Al 7. D	 OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE. 4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED: "ISSUED FOR CONSTRUCTION". 5. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND/OR ENGINEER AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED. 6. AREA CALCULATIONS ARE APPROXIMATE. 7. DATE FORMAT: YYYY-MM-DD 							
		′ISION DESIGNATION ∶ISSUE , No. (1) = REVISION						
No.	Date	Issued For / Revisions						
А	2022-03-17	ISSUED FOR CLIENT REVIEW						
В	2022-04-14	I.F. SITE PLAN CONSULTATION						
С	2023-03-01	ISSUED FOR CLASS D COSTING						
D	2024-09-20	ISSUED FOR ZONING AMENDMENT						

		ASSO OF ARCHITECTS Z B.J.MAWDSLEY LICENCE 4364				
a+L i N i k architecture inc. preserve + create + sustain P 519.649.0220 www.aLiNKarch.ca 362 DUFFERIN AVENUE, LONDON ON N6B 1Z4						
Project: Highland Country Club Maintenance Facility 1922 Highland Heights, London, ON N6C 2T4						
SITE PLAN, KEY PLAN, LEGEND, SITE & ZONING ANALYSIS, OBC SUMMARY & SURVEY INFO						
Drawn By:	Job Captain: MH	Project No.:				
Scale:		2139A				
AS SH	IOWN					
Plot Date:		Sheet No.:				
2024-0	09-20	Λ11				
Current Issue:	Current Revision:	A1.1				
D	-					