

Planning and Design Report

Domday Developments Inc.

1408-1412 Commissioners Road West
City of London



August 1st, 2024



Zelinka Priamo Ltd.
LAND USE PLANNERS

TABLE OF CONTENTS

1.0 INTRODUCTION AND SUMMARY	3
2.0 DESCRIPTION OF SUBJECT LANDS	4
3.0 SPATIAL ANALYSIS AND NEIGHBOURHOOD CONTEXT	6
3.1 REGIONAL SPATIAL ANALYSIS	6
3.2 SITE-SPECIFIC SPATIAL ANALYSIS.....	8
3.3 SETBACKS AND PARKING LOCATION	9
3.4 HOUSING FORMS AND ARCHITECTURAL STYLES	9
3.5 PUBLIC REALM	12
3.6 FINAL NOTES ON ANALYSIS/CONCLUSIONS.....	13
4.0 PROPOSED DEVELOPMENT	14
4.1 VEHICULAR ACCESS AND PARKING.....	17
4.2 PEDESTRIAN ACCESS.....	17
4.3 GARBAGE COLLECTION	17
4.4 LANDSCAPING/AMENITY SPACE.....	17
4.5 ARCHITECTURAL FEATURES	17
4.6 SERVICING	20
6.0 PROPOSED ZONING BY-LAW AMENDMENT	21
7.0 PLANNING POLICY ANALYSIS	22
7.1 PROVINCIAL POLICY STATEMENT, 2020	22
7.2 THE LONDON PLAN (CITY OF LONDON OFFICIAL PLAN, 2016)	24
7.3 CITY OF LONDON ZONING BY-LAW Z.-1	30
8.0 ADDITIONAL CONSIDERATIONS	33
8.1 TREE PRESERVATION PLAN.....	33
8.2 SERVICING	34
8.3 LAND USE COMPATIBILITY CONSIDERATIONS	35
9.0 CONCLUSIONS.....	36

1.0 INTRODUCTION AND SUMMARY

On behalf of Domday Developments., Zelinka Priamo Ltd. has submitted an application to the City of London to amend its Zoning By-Law to permit the redevelopment of the lands known municipally as 1408 & 1412 Commissioners Road West (hereinafter referred to as the 'subject lands') for the purposes of constructing a 22-unit, 4-storey apartment building.

The purpose of this Planning and Design Report is to provide design details and evaluate the proposed Zoning By-Law Amendment Application within the context of existing land use policies and regulations, including the Provincial Policy Statement (2020), and the London Plan (City of London Official Plan, 2016).

In summary, this report concludes that the proposed Zoning By-Law Amendment Application to permit the proposed development is appropriate and desirable for the following reasons:

- The proposed Zoning By-Law Amendment is consistent with the policies of the 2020 Provincial Policy Statement;
- The proposed Zoning By-Law Amendment is in conformity with the intent and policies of the London Plan;
- The proposed Zoning By-Law Amendment provides a form of development that will make more efficient use of underutilized lands within an established, built-up area of the city;
- The proposed development provides a well-functioning site design and built form that is compatible with, and complementary to, the surrounding land uses; and,
- The proposed development exhibits the requisite components of a well-functioning, medium-density residential development, including communal amenity space.

2.0 DESCRIPTION OF SUBJECT LANDS

The subject lands are located on the south side of Commissioners Road West, between Griffith Street and Reynolds Road (Figure 1).

Figure 1 – Subject Lands



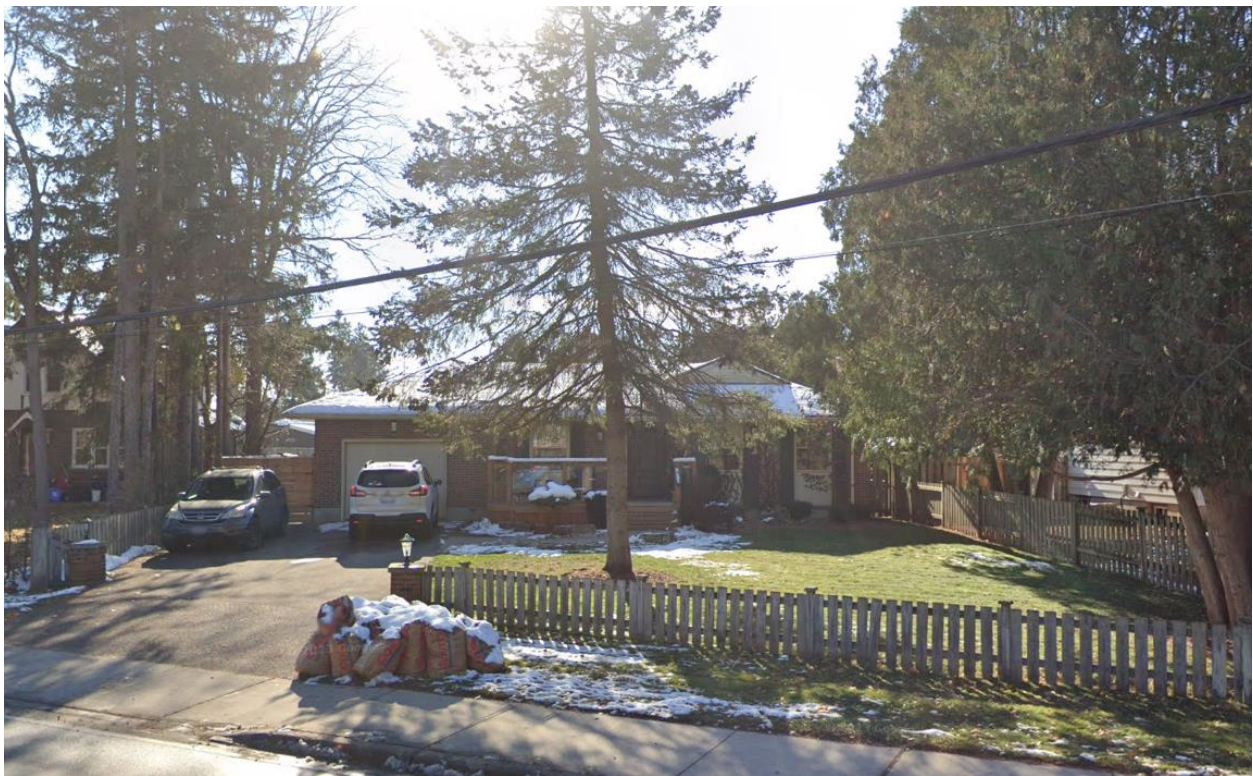
The subject lands have an area of approximately 3,047m² (32,798ft²) with approximately 48m of frontage along Commissioners Road West. There are two (2) existing buildings on the subject lands. The east building has the address of 1408 Commissioners Road West; this building is a 1-storey single-detached dwelling. The west building has an address of 1412 Commissioners Road West; this building is a 2-storey single-detached dwelling. Each dwelling has separate access to the subject lands via an asphalt driveway connected to Commissioners Road West. The 1412 Commissioners Road West portion the subject lands has a large rear yard that is vacant. This rear yard contains trees around the perimeter of the site and has ground cover consisting of grass. The 1408 Commissioners Road West portion of the subject lands have a smaller rear yard that contains a garden shed and trees along the property line. Figures 2 and 3 provide a current street view of 1408 & 1412 Commissioners Road West.

The subject lands are within the “Neighbourhoods” on “Map 1 - Place Types” along a “Civic Boulevard” on “Map 3 – Street Classifications” in the London Plan. The subject lands are zoned “Residential (R1-8)” in the City of London Zoning By-Law Z.-1.

Figure 2 – View of 1412 Commissioners Road West looking south on Commissioners Road West



Figure 3 – View of 1408 Commissioners Road West looking south on Commissioners Road West



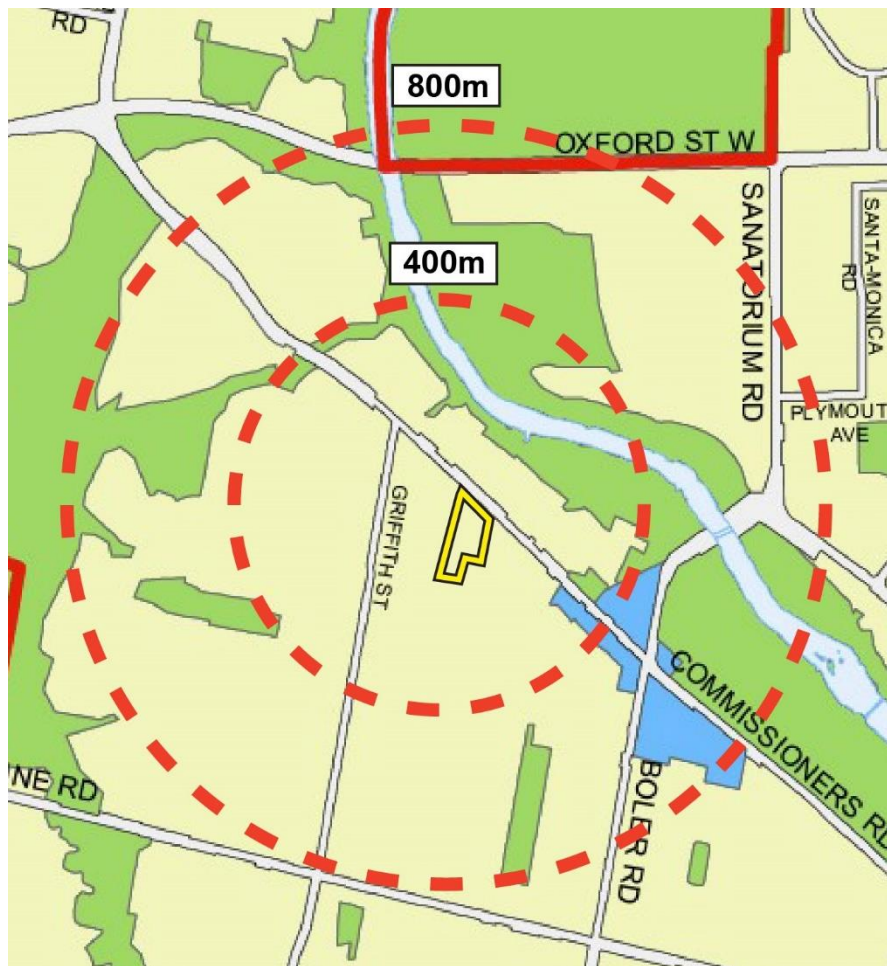
3.0 SPATIAL ANALYSIS AND NEIGHBOURHOOD CONTEXT

The neighbourhood that surrounds the subject lands primarily consists of residential uses provided in a variety of forms and densities. Forms and densities include single-detached dwellings, multi-unit dwellings, townhouses, and low/mid rise apartment buildings. Commercial uses are present to the east, along Commissioners Road West, towards the intersection of Boler Road and include a mix of restaurants and retail uses. Institutional uses in the form of churches, schools, and a library are present in the surrounding area as well.

3.1 REGIONAL SPATIAL ANALYSIS

Figure 4 illustrates the surrounding Place Types, as per the London Plan (Council’s long-term vision for land use and physical development), and Figure 5 (on the following page) illustrates significant landmarks. Each figure shows a 400m and 800m radius from the subject lands, representing straight line walking distances of approximately 5 minutes and 10 minutes respectively. However, due to sidewalk networks, and physical barriers, the radii may not represent exact walking times. Significant landmarks are identified by numbers 1-4.

Figure 4 – Regional Spatial Analysis (Land uses) (subject lands outlined in yellow)



Land uses within both the 400m and 800m radii primarily consist of the “Neighbourhoods” Place Type with the “Main Street” and “Green Space” Place Types intermixed as well.

Figure 5 – Regional Spatial Analysis (Major Landmarks) (subject lands outlined in yellow)



Notable features within the 400m and 800m radii include:

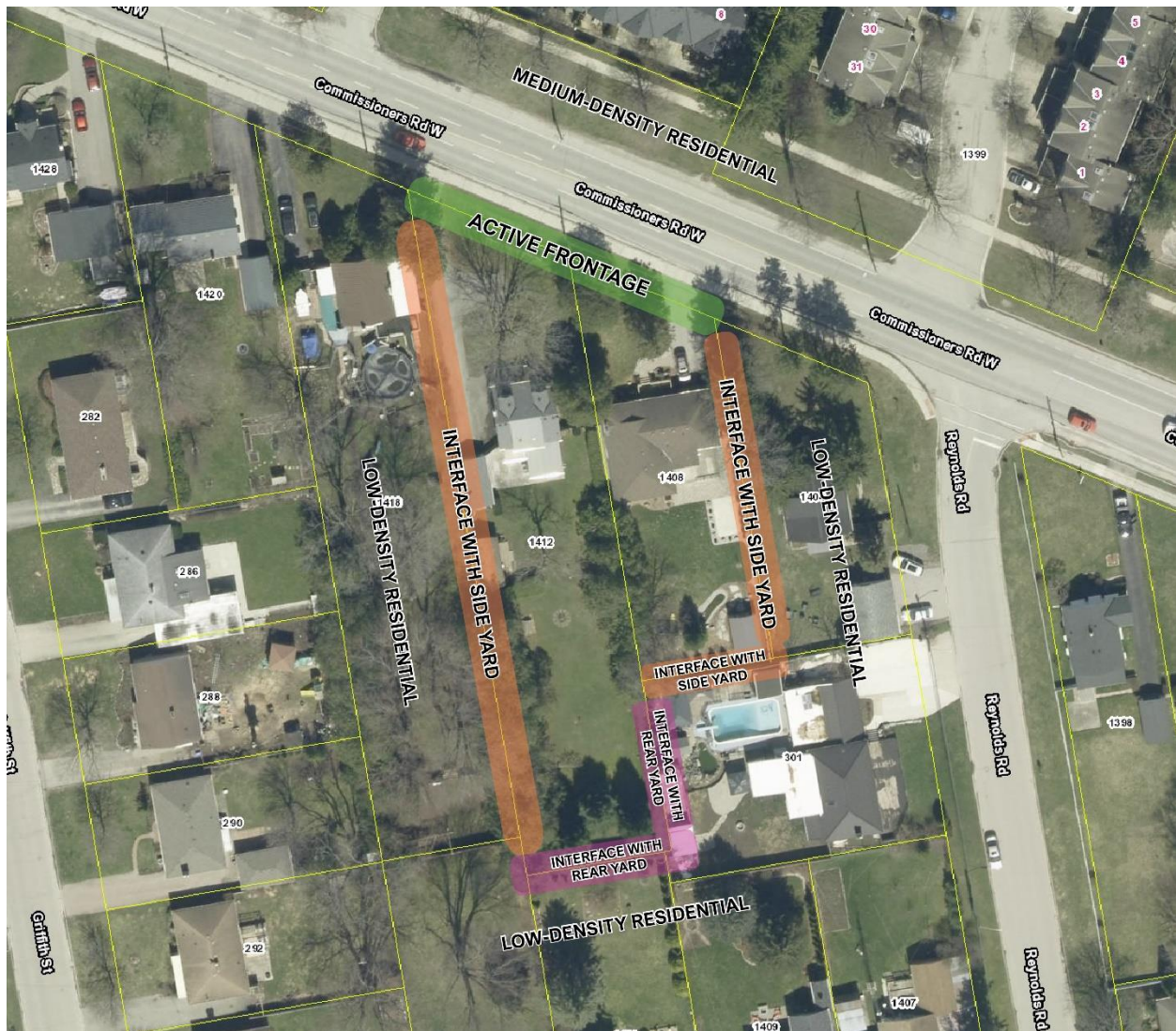
1. Low-density residential uses in the form of single-detached dwellings.
2. Medium-density residential uses in the form of multi-unit dwellings, townhouses, low-rise apartments, and mid-rise apartments.

3. Commercial uses in the form of a main street commercial strip that includes small independent stores and restaurants. Notable retail uses in the area include Metro Grocers, Shoppers Drug Mart, Rexall Drugstore, and the LCBO.
4. Institutional uses including the London Public Library Bryon Memorial Branch, St. Anne's Anglican Church, Byron Northview Public School, Byron Optimists Community Centre, St. Thomas Aquinas Catholic Secondary School.
5. The Tree Symbol represents public parks including Springbank Park and Grandview Park.

3.2 SITE-SPECIFIC SPATIAL ANALYSIS

Figure 6 illustrates a Site-Specific Spatial Analysis, providing information on the immediate context of the site.

Figure 6 – Site-Specific Spatial Analysis



The subject lands are surrounded by low-density residential uses in the form of 1-2 storey single-detached dwellings to the east, west, and south. Medium-Density residential uses in the form of 2-3 storey townhouses are located to the north of the subject lands.

The front yard of the subject lands interface with an active frontage along Commissioners Road West. Existing buildings are setback far from the travelled portion of Commissioners Road West and have long driveways that run along the side of the existing buildings. Parking is found in front of the buildings, and sometimes along the sides of the buildings as well. The east side of the property interfaces with the side yard of the abutting property to the east. The west side yard interfaces with the side yard of the abutting property to the west, the majority of the abutting property to the west is comprised of a large rear yard that contains no habitable dwellings. The south property line interfaces with the rear yard of the abutting property to the south, and a portion of the rear yard of the property abutting to the east.

3.3 SETBACKS AND PARKING LOCATION

Residential forms such as single-detached dwellings in the surrounding area are located on a mix of small, compact lots, as well as larger, spacious lots. Front yards provide modest separation from the street and provide enough space for driveways that connect to attached garages and parking areas located alongside single-detached dwellings. Lots have relatively narrow side yards, but are large enough to accommodate sufficient space for landscaping and fencing, as well as space for access to the rear yard. The smaller compact lots have smaller rear yards conventional in most contemporary subdivisions, whereas some of the larger lots have large, extended rear yards, similar to that of the subject lands (1412 Commissioners Road West).

Residential forms such as townhouses developments in the area are often on large parcels of land that contain multiple clusters of townhouse buildings. Buildings face towards the interior of the site and away from the street. Setbacks are utilized to provide sufficient distance from the street as well as space for appropriate rear yard amenity spaces and separation from abutting developments. Surface parking is located towards the interior of the site, where buildings assist with the screening of parking from the street.

Apartment buildings are located close to the street to provide for a strong street presence along Commissioners Road West. Parking is located towards the interior of the site so that the apartment buildings can screen parking from the street. Appropriate setbacks are utilized to ensure compatibility and sufficient separation from abutting developments.

3.4 HOUSING FORMS AND ARCHITECTURAL STYLES

Contemporary architectural forms and styles are present in the surrounding neighbourhood. Single-detached dwellings contain architectural elements commonly identified with contemporary styling such as: gable and hip roofing; a mix of small and large windows across the front elevation; windows with painted shutters; front entrances that include front porches, and buildings that are generally rectangular in shape. Most single-detached dwellings in the surrounding area are 1-storey, with 2-storey dwellings intermixed as well. Most dwellings do not have attached garages. Some properties have accessory garages located behind the main dwelling. Exterior materials are

comprised of brick, shingles, wood, vinyl siding, and concrete. Exterior colours include red, yellow, white, brown, black, and gray. Figure 7 illustrates a common single-detached dwelling design within the surrounding neighbourhood.

Figure 7 – Example of Single-Detached Dwelling on Griffith Street



Townhouses are consistently 2-3 storeys in height and illustrate built forms and architectural styles that are similar to single-detached dwellings. Buildings contain a mix of flat roofs as well as gable and hip roofs. The front elevation of the townhouses often features a recessed portion where the front entrance is located. The remaining area of the front elevation consists of multiple smaller windows. Rear facades consist of a similar layout to the front elevation with its layout of fenestrations. Side elevations are relatively blank but feature some fenestrations for end units. Exterior materials used for the townhouse buildings consist of vinyl siding, brick, and shingles. Exterior colours consist of red, yellow, white, gray, black, and brown (see Figure 8 – example of townhouse along Commissioners Road West).

Apartment buildings located in the surrounding area along Commissioners Road West are consistently 5-storeys in height. Buildings are rectangular in shape and most commonly feature flat roofs. Building materials consist of stone, brick, glass, and vinyl siding. Exterior colours consist of white, gray, black, brown, and red (see Figure 9 – example of Apartment Building along Commissioners Road West).

Figure 8 – Example of Townhouse along Commissioners Road West



Figure 9 – Example of Apartment Building along Commissioners Road West



3.5 PUBLIC REALM

The public realm of the area surrounding the subject lands is primarily defined by the streetscape along Commissioners Road West, as well as the open spaces and parks in the surrounding area as identified in Section 3.1.

On the south side of Commissioners Road West, buildings are typically set farther back from the street, creating a wide right-of-way where the sidewalk is located away from the street. A bike-lane is located along the street (see Figure 10). Numerous large street trees are provided in the boulevard between the south sidewalk and the street. Higher-density building types are located on the north side of the street including townhouses and apartment buildings.

Single-detached dwellings are primarily located on the south side of Commissioners Road West and placed closer to the street than the buildings on the north side. This creates a smaller pedestrian right-of-way where the sidewalk abuts the street, instead of there being a landscape buffer between the sidewalk and street. Many mature street trees are located on this side of the street as well.

Figure 10 – Cross-Section of south side of Commissioners Road West



3.6 FINAL NOTES ON ANALYSIS/CONCLUSIONS

Considering the findings of the above Regional and Site-Specific Analyses, the subject lands are located within an area of London that provides a wide range of housing options as well as amenities within walkable distances. As the above section illustrated, there are many different housing types present in the neighbourhood surrounding the subject lands including single-detached dwellings, semi-detached dwellings, multi-unit dwellings, townhouses, and mid-rise apartment buildings. This illustrates that this specific area of London contemplates a wide range of housing types that help assist with varying affordable housing options in the City of London.

The above section also highlighted the wide range of amenities that are available within walking distance to the site. The Regional Landmark Analysis map highlighted significant amenities within 5- and 10-minute walking radiuses of the site that included parks, schools, churches, and shopping centres. These are all important amenities that make up a complete community and assist in creating a community that is convenient for active and public transportation methods.

In conclusion, the previous analysis section illustrates that the subject lands are an appropriate location for medium-density development as they are located in an area of London that contains a wide range of housing options and can assist in the City of London's goals for complete, walkable, and affordable communities.

The following sections outline the details of the proposed development, and how it plans to integrate within the existing neighbourhood.

4.0 PROPOSED DEVELOPMENT

The proposed development seeks to consolidate the lands of 1408 and 1412 Commissioners Road West for the purposes of the redeveloping the subject lands for a 22 unit, 4-storey apartment building (Figures 11, 12, 13). The apartment building has a central location on the subject lands. This location for the apartment building allows for appropriate setbacks providing adequate separation from abutting properties.

Figure 11 – Conceptual Development Plan

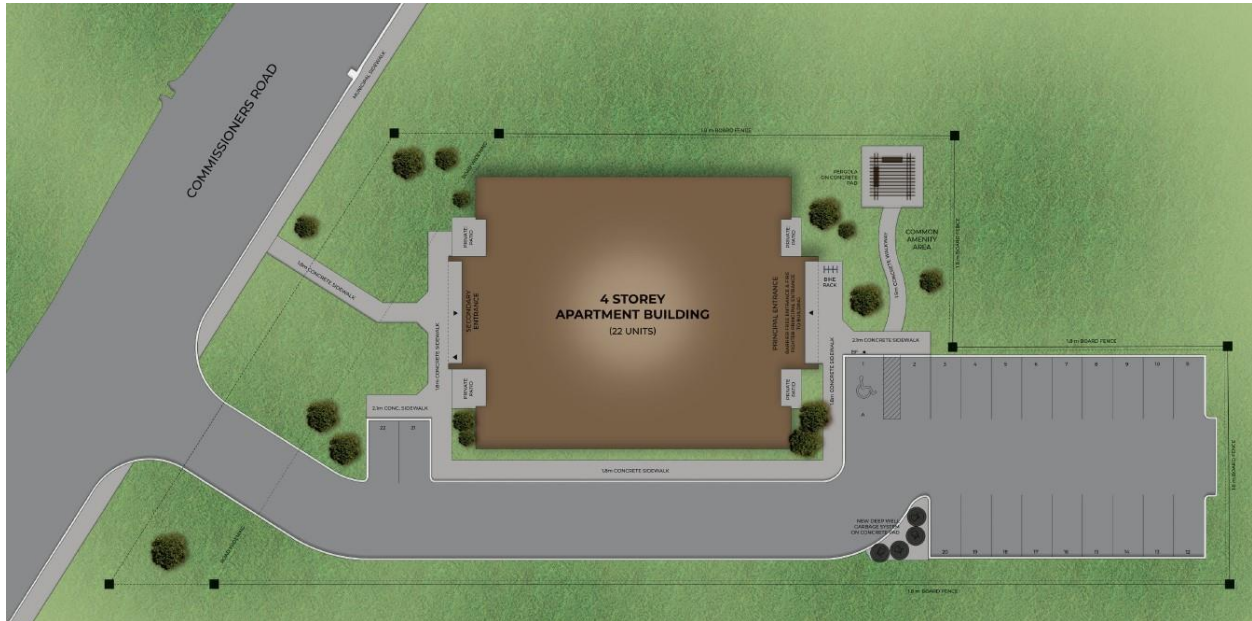


Figure 12 – Rendering – View of Building from Commissioners Road West



Figure 13 – Rendering – View of the south side of the building, interior to the site



4.1 VEHICULAR ACCESS AND PARKING

The development proposes access to the subject lands through an asphalt driveway that connects to Commissioners Road West. The driveway is located along the west property line and continues along the west side of the apartment building into the south end of the property, where the surface parking area is located. The location of the parking area allows the proposed apartment building to screen the surface parking area from the public realm of Commissioners Road West. The development proposes a total of 22 parking spaces, where 18 parking spaces are located behind the apartment building, and two parking spaces are located in front of the apartment building. Of the 22 parking spaces, one of the spaces is an accessible parking space with a barrier-free path of travel to the building entrance.

4.2 PEDESTRIAN ACCESS

Pedestrian connections to the subject lands are to be provided by concrete sidewalks that connect to the existing sidewalk along Commissioners Road West. The proposed sidewalk will lead to a building entrance along the north elevation of the building. The proposed sidewalk then runs along the west side of the building, to the principal building entrance located along the south side of the building as well as the parking area located at the south end of the site.

4.3 GARBAGE COLLECTION

The development proposes the use of Deep Well Waste Containers (Earth Bins), which provide underground collection space for garbage, reducing the amount of space needed at the surface level. As shown on the concept plan, the containers are to be located along the west side of the driveway, abutting the rear parking area. This location will provide convenient access for collection vehicles.

4.4 LANDSCAPING/AMENITY SPACE

A large amenity space is located to the rear of the apartment building, abutting the principal entrance to the building. This area will provide a central outdoor gathering/recreational space on the subject lands. The development provides ample space for landscaping in the front yard as well as the east interior side yard. Landscaping areas are also present around the driveway and parking area to assist in screening from abutting properties. The proposed landscaping well exceeds the minimum required amount outlined in the Zoning By-Law (minimum of 30% landscaping required, plan proposes 45.1%).

4.5 ARCHITECTURAL FEATURES

The following figures (Figures 14 - 17) illustrate the massing and architectural design features of the proposed 4-storey apartment building.

North and South Elevations

The front elevation is comprised of windows, glass balconies, metal panels, brick veneer, and stone veneer. The middle of the elevation's base is where the entrance is located as marked by the doors, there are windows on either side with stone veneer accents mixed in as well. This area is surrounding by metal panels outlining the entrance. Directly above the entrance are 3-storays that contain balconies on each storey, with windows located on either side. This middle section of the elevation protrudes out from the building, there are 2 portions of the elevation set further back, that feature glass balconies to the interior, and windows to the exterior.

Figure 14 – North Building Elevation (viewed from Commissioners Road West)



Figure 15 – South Building Elevation



East and West Elevations

The majority of the east elevation is comprised of brick veneer. In the middle of the elevation, there is a segment of the elevation that is made of white metal panels, with windows located on both sides. There are smaller windows located at each storey as well. Metal panels make up the top of the elevation.

Figure 16 – East Building Elevation

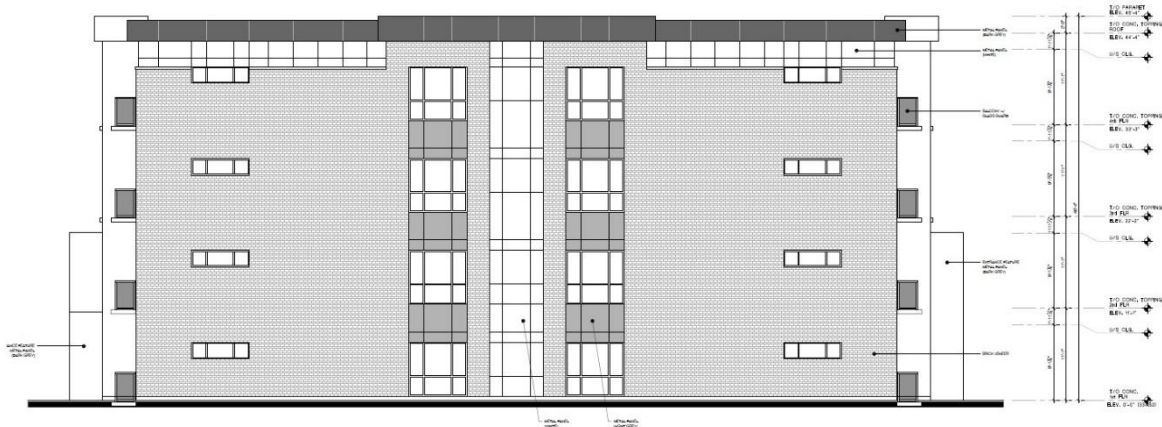
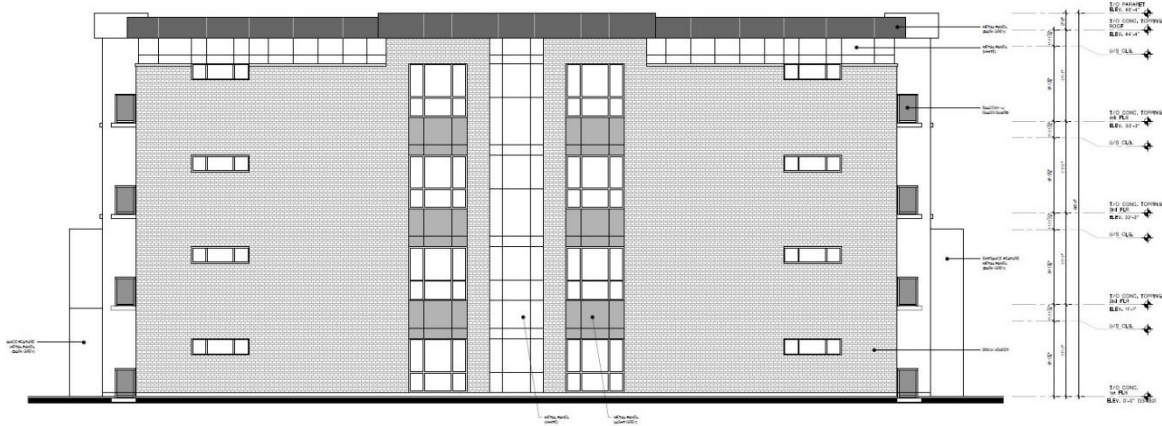


Figure 17 – West Building Elevation



4.6 SERVICING

For this development, a Sanitary Servicing Brief has been prepared by Archibald, Gray & McKay Engineering Ltd. (AGM Ltd.) that gives a brief outline of the servicing plan for the proposed apartment building. The Sanitary Servicing Brief outlines the following in their report:

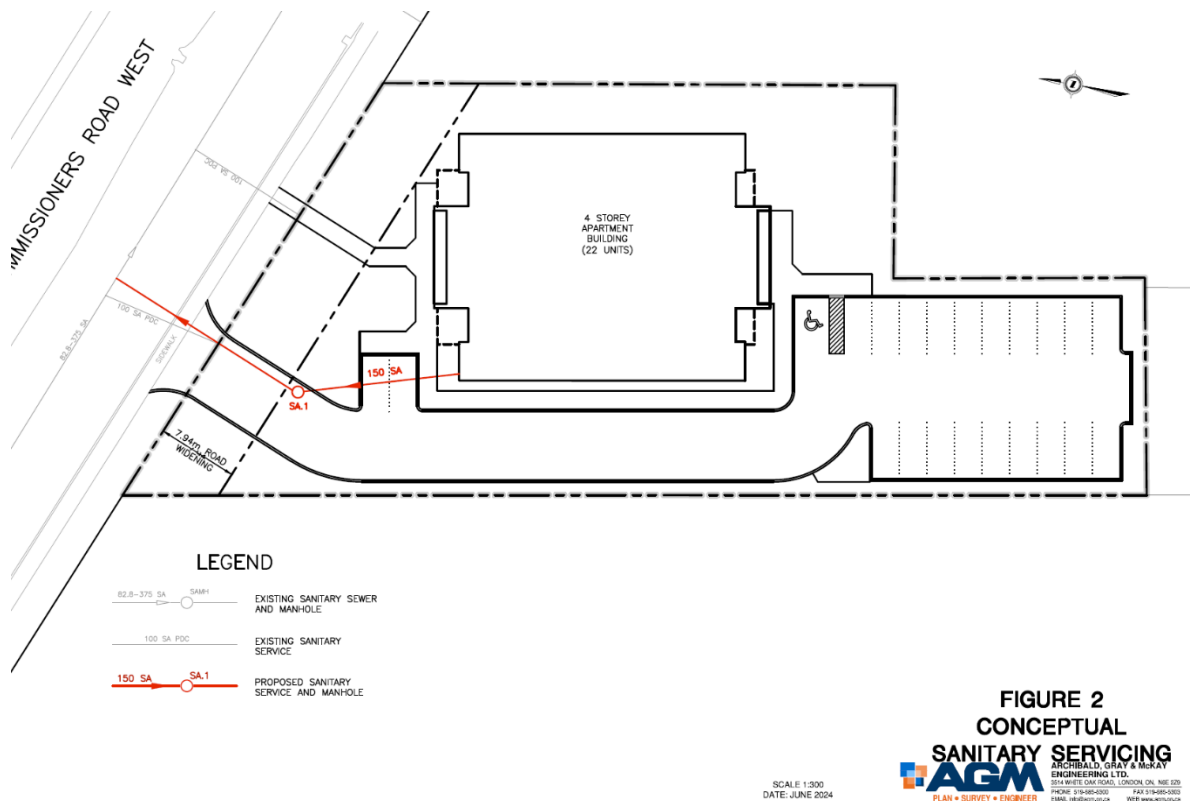
The existing 375mm diameter Commissioners Road sanitary sewer will be utilized to service the proposed development. A 150mm diameter sanitary service will be installed from the 375mm diameter sanitary sewer to an on-site inspection manhole. The sanitary sewer alignment internal to the property will be established through the detailed design process.

With 22 proposed high-density units (1.6 persons/unit) the theoretical population served by the building is 35 people. Considering a per capita flow of 230 Liters/Day and an infiltration allowance of 0.100 Liters/Second/Hectare, the theoretical peak flow contribution from the development toward the Commissioners Road sanitary sewer will be 0.48 L/sec.

The conceptual servicing and proposed sanitary peak flows presented in this brief are consistent with typical apartment developments. The final servicing design will be established through the site plan approval process and will be in accordance with the City of London Design Standards and the Ontario Building Code.

Figure 18 below illustrates the conceptual site servicing plan

Figure 18 – Conceptual Servicing Plan prepared by AGM Ltd. (excerpt)



6.0 PROPOSED ZONING BY-LAW AMENDMENT

The subject lands are zoned “*Residential (R1-8)*” in the City of London Zoning By-Law. The R1-8 zone only permits single-detached dwellings and does not permit apartment buildings. Therefore, a Zoning By-Law Amendment is required. The subject lands are proposed to be re-zoned to a site-specific “*Residential (R8-4(_))*” with special provisions to permit the following:

- A building height of 14.3m, whereas the maximum required building height is 13.0m; and,
- A front yard setback of 1.0m post road-widening, whereas the required minimum front yard setback for a building of 14.3m in height is 7.0m.

7.0 PLANNING POLICY ANALYSIS

The following section of this Planning and Design Report provides analysis evaluating the proposed Zoning By-Law Amendment through applicable land use policies and regulations, including the following:

- 2020 Provincial Policy Statement (PPS);
- The London Plan; and,
- City of London Zoning By-Law Z.-1

7.1 PROVINCIAL POLICY STATEMENT, 2020

The Provincial Policy Statement (PPS), issued under the authority of Section 3 of the Planning Act “provides policy direction on matters of provincial interest related to land use planning” in order to ensure efficient development and the protection of resources. All planning applications, including Zoning By-Law Amendments Applications, are required to be consistent with these policies. Generally, policies contained in the PPS are broad, high-level policies which do not address site-specific matters such as building design and specific building location. Such aspects are addressed through the London Plan (section 7.2 of this report) and the City of London Zoning By-Law (Section 7.3 of this report). The proposed development, and associated Zoning By-Law Amendment, are consistent with the 2020 PPS as follows:

Provincial Policy Statement (2020) Policy Analysis Table	
Policy	Response
<p>Section 1.1.1 Managing and Directing Land Use [...] Healthy, livable, and sustainable communities are sustained by:</p> <ul style="list-style-type: none"> a) Promoting efficient development and land use patterns which sustain the financial well-being of the Province and Municipalities over the long-term. b) Accommodating an appropriate, affordable, and market-based range and mix of residential, employment, institutional, recreation, parks and open space, and other uses to meet the long-term needs. c) Promoting the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs. 	<p>The proposed apartment building provides an efficient and appropriate form of intensification for the subject lands that adds to the range and mix of housing types to satisfy the long-term housing needs in the City of London; makes efficient use of existing infrastructure; and is transit-supportive.</p>
<p>Section 1.1.3.1 Settlement Areas Settlement areas shall be the focus of growth and development.</p>	<p>As discussed in Section 7.2 of this report, the subject lands are within a settlement area in the City of London.</p>

<p>Section 1.1.3.2 Settlement Areas Land use patterns within settlement areas shall be based on densities and a mix of land uses which:</p> <ul style="list-style-type: none"> a) Efficiently use land and resources b) Are appropriate for, and effectively use the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or economic expansion. 	<p>The proposed intensification of the subject lands with an apartment building provides an appropriate form of intensification by adding to the mix of housing forms found in the neighbourhood. The development will make efficient use of underutilized lands, as well as municipal services and infrastructure by increasing the residential density on the subject lands.</p>
<p>Section 1.1.3.4 Settlement Areas Appropriate development standards should be promoted which facilitate intensification, redevelopment, and compact form, while avoiding or mitigating risks to public health and safety.</p>	<p>As discussed in Section 7.3 of this report, the proposed development considers appropriate development standards to promote the intensification of the subject lands.</p>
<p>Section 1.4 Housing Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet the projected market-based and affordable housing needs of current and future residents of the residential market area by:</p> <ul style="list-style-type: none"> c) Permitting and facilitating all types of residential intensification, including additional residential units, and redevelopment in accordance with Policy 1.1.3.3. d) Directing the development of new housing towards location where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs e) Establishing development standards for residential intensification, redevelopment, and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety. 	<p>The proposed development contributes to the range and mix of housing types to accommodate future growth in the City of London. Appropriate intensification, as proposed, contributes to the efficient use of infrastructure and public services; promotes higher densities for new housing; efficiently uses land; minimizes housing costs; and facilitates compact housing forms.</p> <p>While the development is not affordable housing as defined by the PPS, the 22 proposed units will meaningfully contribute to the overall housing supply for the neighbourhood.</p>
<p>Section 1.6.6.2 Sewage, Water, and Stormwater Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of services.</p>	<p>The proposed development can be serviced by full municipal services and will help optimize the use of existing services in this area.</p>

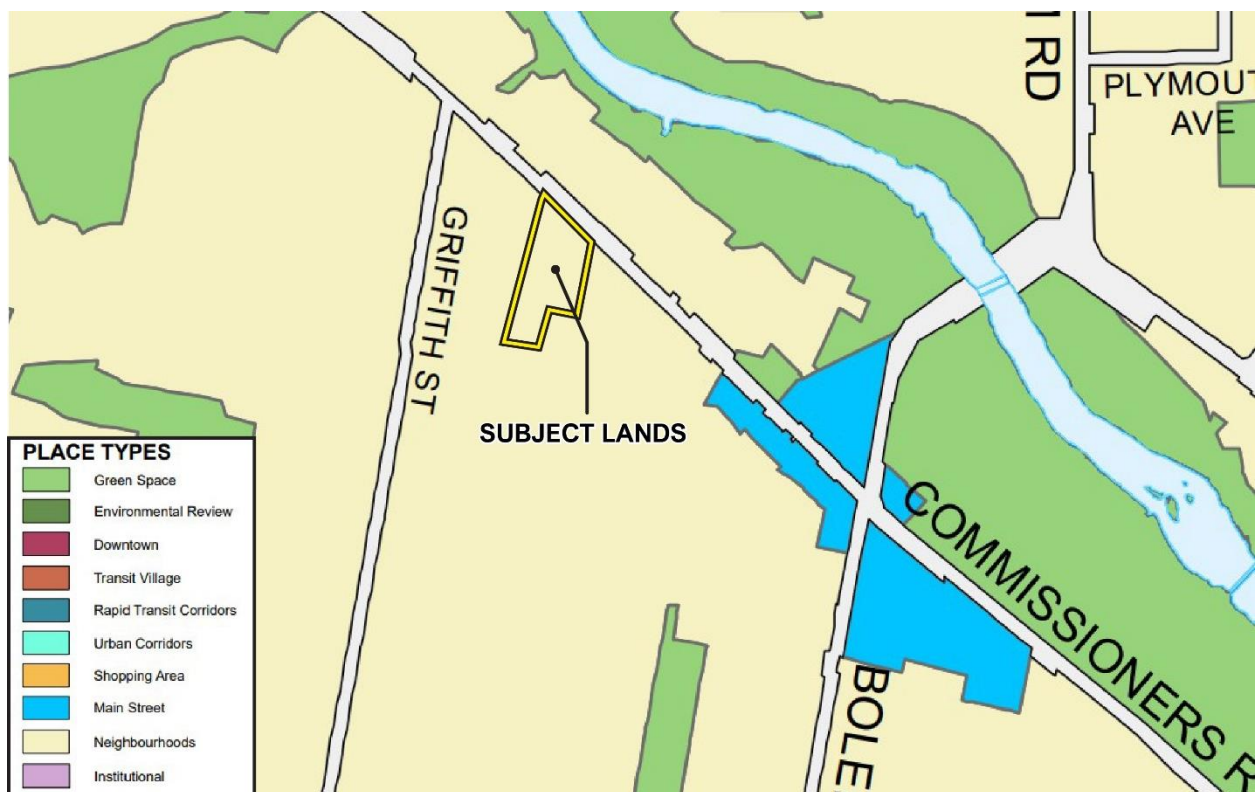
Given the above, the proposed development and associated Zoning By-Law Amendment application are consistent with the policies of the 2020 Provincial Policy Statement.

7.2 THE LONDON PLAN (CITY OF LONDON OFFICIAL PLAN, 2016)

The London Plan is a policy document providing long-range, comprehensive land use strategy for all lands located within the City of London. It provides framework for land use decisions for all development within the City of London by protecting and enhancing the natural environment, directing, and managing growth patterns and facilitating the strategic vision of the city. The London Plan also provides an avenue through which Provincial policies are implemented in the local context. One of the key objectives of the London Plan is to encourage and facilitate a wide range of appropriate and compatible residential intensification types.

The subject lands are within the “Neighbourhoods” Place Type on “Map 1 – Place Types” with frontage along a “Civic Boulevard” Street Classification on “Map 3 – Street Classifications” in the London Plan (Figure 19). This combination in the London Plan allows for a wide range of residential development. Contemplated uses include: single-detached dwellings; semi-detached dwellings; duplexes; converted dwellings; townhouses; additional residential units; triplexes; fourplexes; stacked townhouses; and, low-rise apartments. Contemplated building heights at this location include: a minimum height of 2-storeys; a standard maximum of 4-storeys; and, an upper maximum of 6-storeys. The proposed 4-storey apartment building is a form of residential development that is contemplated in the London Plan.

Figure 19 – London Plan Place Types – Map 1 – Place Types (excerpt)



The proposed development, and associated Zoning By-Law Amendment, are consistent with the London Plan as follows:

The London Plan Policy Analysis Table	
<i>Policy</i>	<i>Response</i>
<p>Neighbourhood Place Type Policies</p> <p>Table 10 – Range of Permitted Uses in the Neighbourhoods Place Type</p> <p>Street onto which the property has frontage: Civic Boulevard</p> <p>Range of Permitted Uses: Single-detached dwellings, semi-detached dwellings, duplexes, converted dwellings, triplexes, townhouses, stacked townhouses, fourplexes, additional residential uses, and low-rise townhouses.</p> <p>Table 11 – Range of Permitted Heights in the Neighbourhoods Place Type</p> <p>Street onto which the property has frontage: Civic Boulevard</p> <p>Minimum and Maximum height (storeys) that may be permitted along this classification of street: Minimum height of 2-storeys, maximum height of 4-storeys, upper maximum height of 6-storeys.</p>	<p>The proposed development of a 4-storey, low-rise apartment building is well within the permitted range of heights and uses at this location in the City of London. This is an appropriate form of modest intensification that interfaces well with abutting land uses.</p>
<p>918_ How Will We Realize our Vision?</p> <p>2. Neighbourhoods will be planned for diversity and mix and should avoid the broad segregation of different housing types, intensities, and forms.</p>	<p>The proposed development adds to the diversity and mix of housing types in the neighbourhood by incorporating more multi-unit dwellings such as low-rise apartment buildings.</p>
<p>13. Intensification will respect existing neighbourhood character and offer a level of certainty, while providing for strategic ways to accommodate development to improve our environment, support local businesses, enhance our physical and social health, and create dynamic, lively, and engaging places to live.</p>	<p>The proposed development provides an appropriate form of intensification that respects the existing character of the neighbourhood by providing a density and form that integrates well with surrounding land uses. As illustrated on the site plan, the proposed apartment building is placed in a location where it interfaces well with the surrounding townhouses and mid-rise apartment buildings. The placement of the apartment building also creates ample separation from abutting lots that contain single-detached dwellings.</p>
<p>Residential Intensification in Neighbourhoods</p> <p>937_ Residential intensification is fundamentally important to achieve the vision and key directions</p>	<p>The proposed development is appropriately located and fits well within the neighbourhood. The neighbourhood consists of a mix of housing types including single-detached dwellings, multi-unit</p>

<p>of the London Plan. Intensification within existing neighbourhoods will be encouraged to help realize our vision for aging in place, diversity of built form, affordability, vibrancy, and the effective use of land in neighbourhoods by adding to their planned and existing character, quality, and sustainability. The following policies are intended to support intensification, while ensuring that proposals are appropriate within their neighbourhoods.</p>	<p>dwellings, townhouses, and apartment buildings. The proposed development will help add to the diversity of housing types in the area. It will effectively use the subject lands by intensifying an underutilized piece of land within an established area of London. The proposed housing form assists with affordability by providing residents with a diverse range of housing choices at different price points.</p> <p>The proposed housing form of a low-rise apartment building adds to the character of the neighbourhood by proposing a form that is consistent with the area and will help harmonize the diverse housing forms present in the neighbourhood.</p>
<p>Forms of Residential Intensification</p> <p>938_ Residential intensification means the development of a property, site, or area at a higher residential density than what currently exists. Intensification adds one or more residential units to a site or creates one or more additional lots from an existing lot.</p>	<p>The development proposes a total of 22 units on the subject lands, bringing the site to an overall density of 73 units per hectare. Currently, the subject lands contain 2 residential units.</p>
<p>939_ This plan creates a variety of opportunities for intensification. The following list spans from a very “light” and discreet form of intensification to more visible and obvious forms. All are important to realize our goals of purposeful, sensitive, and compatible intensification with our neighbourhoods:</p> <ol style="list-style-type: none"> 6. Redevelopment – the removal of existing buildings in favour of one or more new buildings that house a greater number of dwelling units than what currently exists. 	<p>The proposed redevelopment and intensification is appropriately located as it provides a moderate intensity that can integrate well with the surrounding context.</p> <p>The proposed 4-storey apartment building will integrate well with the existing form and character of the surrounding area. The layout has been carefully considered so that the development interfaces well with abutting properties and can effectively manage and respond to privacy expectations.</p> <p>Through these design and planning measures, the proposed development shows that it fits well within the neighbourhood as it can integrate well by providing a form and layout that is in keeping with the surrounding area while adding to the mix of housing options and densities in the area.</p>
<p>City Building and Building Design Policies</p> <p>197_ The built form will be designed to have a sense of place and character consistent with the planned vision of the place type, by using such things as topography, street patterns, lotting patterns, streetscapes, public spaces, landscapes, site layout, buildings, materials, and cultural heritage.</p>	<p>The built form of the development is designed to integrate well within the existing built forms found in the surrounding neighbourhood. The proposed 4-storey built form of the apartment building provides a harmonious balance between the 5-6 storey apartment buildings, the 2-3 storey townhouses, and 1-2 storey single-detached dwellings that make up the existing built form in the area.</p>

<p>199_ All planning and development proposals within existing and new neighbourhoods will be required to articulate the neighbourhood's character and demonstrate how the proposal has been designed to fit that context.</p> <p>252_ The site layout of the new development should be designed to respond to its context and the existing and planned character of the area.</p> <p>284_ All planning and development proposals will be required to demonstrate how the proposed building is designed to support the planned vision of the place and establishes character and a sense of place for the surrounding area.</p>	
<p>253_ Site layout should be designed to minimize and mitigate impacts on adjacent properties.</p>	<p>The site layout has been designed to maximize the number of residential units, while minimizing the visual impact of the development from the street and abutting properties. The location of the proposed building allows there to be appropriate separation from the proposed apartment building to abutting properties. Through this method, a higher density can be achieved on site, while providing minimal visual impacts to abutting properties.</p>
<p>272_ The impact of parking facilities on the public realm will be minimized by strategically locating and screening parking areas. Surface parking should be located in the rear yard or interior side yard.</p>	<p>Surface parking on the subject lands is located in the rear yard where the proposed apartment building can screen the parking from the public realm of Commissioners Road West.</p> <p>Sufficient setbacks have also been utilized to provide appropriate separation from abutting properties and to provide sufficient room for landscaping and fencing to assist in screening parking from abutting properties.</p>
<p>291_ Principal building entrances and transparent windows should be located to face the public right-of-way and public spaces, to reinforce the public realm, establish an active frontage and provide for convenient pedestrian access.</p>	<p>The proposed apartment building has an entrance point that faces Commissioners Road West. A new sidewalk is proposed that connects the entrance to the existing sidewalk along Commissioners Road West creating convenient pedestrian access and establishing an active frontage.</p>
<p style="text-align: center;">Our Strategy</p> <p>59_ Building a mixed-use compact city</p> <ol style="list-style-type: none"> 4. Plan for infill and intensification of various types and forms to take advantage of existing services and facilities to reduce our need to grow outward. 5. Ensure a mix of housing types within our neighbourhoods so that they are complete and support aging in place. 	<p>The proposed development seeks to utilize an underutilized parcel of land. Through this application, the development seeks to redevelop a parcel of land in an established, built-up area of London and assists in providing a mix of housing types that support a resilient neighbourhood and reduces the need to grow outward.</p>

<p style="text-align: center;">Evaluation Criteria for Planning and Development Applications</p> <p>1578_ All planning and development applications will be evaluated with consideration of the use, intensity, and form that is being proposed. The following criteria will be used to evaluate all planning and development applications:</p> <ol style="list-style-type: none"> 1. Consistency with the Provincial Policy Statement and in accordance with all applicable legislation. 	<p>As detailed in Section 7.1 of this report, the proposal is consistent with the Provincial Policy Statement.</p>
<ol style="list-style-type: none"> 2. Conformity with Our City, Our Strategy, City Building, and Environmental policies of this Plan. 	<p>As detailed in Section 7.2 of this report, the proposal is in conformity with Our City, Our Strategy, City Building and Environmental policies of the London Plan.</p>
<ol style="list-style-type: none"> 3. Conformity with the policies of the place type in which they are located. 	<p>As detailed in Section 7.2 of this report, the proposal is in conformity with the “Neighbourhoods” Place Type policies.</p>
<ol style="list-style-type: none"> 5. The availability of municipal services, in conformity with the Civic Infrastructure chapter of this Plan and the Growth Management/Growth Financing policies in the Our Tools part of this plan. 	<p>Municipal services are available on the subject lands, and use of these services will be in conformity with Civic Infrastructure and Growth Management policies of the London Plan.</p>
<ol style="list-style-type: none"> 6. Potential impacts on adjacent and nearby properties in the area and the degree to which such impacts can be managed and mitigated. Considering this type of application under review, and its context, and analysis of potential impacts on nearby properties may include such things as: traffic and access management; noise; parking on street or adjacent properties; emissions generated by the use; lighting; garbage; privacy; shadowing; visual impacts; tree and canopy cover; cultural heritage resources; natural heritage features and areas; natural resources; and, other relevant matters related to use and built form. 	<p>Section 8.2 of this report identifies potential impacts to adjacent properties and provides measures on how these impacts will be minimized.</p>
<ol style="list-style-type: none"> 7. The degree to which the proposal fits within its context. It must be clear that this is not intended to mean that a proposal must be the same as development in the surrounding context. Rather, it will need to be shown that the proposal is sensitive to, and compatible with, its context. It should be recognized that the context consists of existing development as well as the planning policy goals for the site and application under review, and its context, 	<p>Section 4.0 and Section 7.2 of this report provides details on how the proposed development will respond and integrate with the surrounding context.</p>

<p>an analysis of fit may include such things as policy goals and objectives for the place type; policy goals and objectives expressed in the City Design chapter of this plan; neighbourhood character; streetscape character; street wall; height; density; massing scale; placement of building; setbacks and stepbacks; relationship to adjacent buildings; proposed architectural attributes such as windows, doors, and rooflines; materials; relationship to cultural heritage resources on the site and adjacent to it; landscaping and trees; coordination of access points and connections; and, other relevant matters related to use, intensity, and form.</p>	
--	--

The proposed development represents an appropriate form of residential redevelopment at an appropriate location, and is in conformity with the policies and intent of the London Plan. The proposed development is consistent with the planned function of the “*Neighbourhoods*” Place Type.

7.3 CITY OF LONDON ZONING BY-LAW Z.-1

The subject lands are zoned “Residential (R1-8)” in the City of London Zoning By-Law (Figure 20). The “Residential (R1-8)” zone only permits the use of single-detached dwellings. Apartment buildings are not permitted in the “Residential (R1-8)”.

The proposed Zoning By-Law Amendment seeks to re-zone the subject lands to a site-specific, special regulation “Residential (R8-4(_))” zone in order to permit the proposed 4-storey apartment building on the subject lands.

Figure 20 – City of London Zoning – 1408-1412 Commissioners Road West (excerpt)

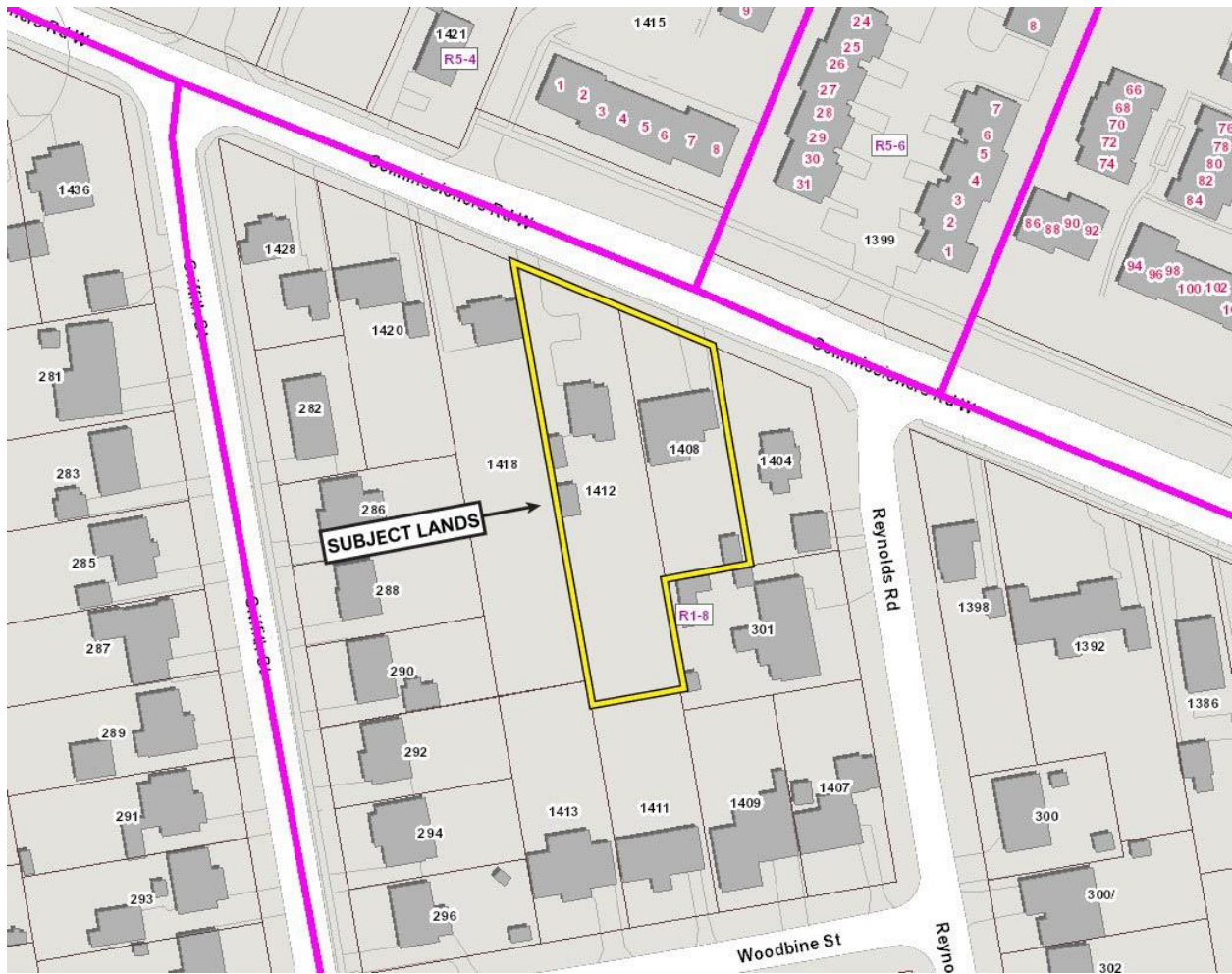


Table 1 provides a breakdown of the “Residential (R8-4(_))” zone regulations and the requested site-specific R8-4(_) zone. Site-specific development standards are to be confirmed and refined subject to a review of the application by City Staff through the approval process.

Table 1 Zoning Statistics - *Denotes Required Special Provision

Regulations	Residential (R8-4) Requirements	Proposed
Permitted Uses	Apartment buildings, Stacked townhouses, Lodging houses	Apartment Building
Lot Area (Min.)	1,000.0m ²	3,049.2m ² (Pre-Road Widening)
Lot Frontage (Min.)	30.0m	49.7m
Front Yard Setback (Min.)	7.0m	*1.0m
Interior Side Yard Setback (East)(Min.)	4.80m	4.80m
Interior Side Yard Setback (West)(Min.)	4.80m	11.21m
Rear Yard Setback (Min.)	4.80m	12.1m
Landscaped Open Space (Min.)	30%	45.1%
Lot Coverage (Max.)	40%	22.7%
Height (Max.)	13.0m	*14.3m
Density (Max.)	75 units per hectare	73 units per hectare
Parking (Min.)	0.5 spaces per units (22 x 0.5 = 11 spaces)	22 spaces

Special regulations are required for the following items:

- A maximum building height of 14.3m, whereas the maximum height permitted is 13.0m
- A front yard setback of 1.0m post road-widening, whereas the required minimum front yard setback for a building of 14.3m in height is 7.0m.

Building Height

The development proposes a building height of 14.3m, whereas the maximum building height permitted in the zoning is 14.3m. Although the proposed building height exceeds the maximum permitted height, the apartment building provides a height that is consistent with other apartment buildings in the immediate area where there are apartment buildings that are 5-6 storeys in height. The proposed development also utilizes setbacks to ensure adequate separation from abutting properties minimizing the visual impact of the building’s height.

Front Yard Setback

The development proposes a front yard setback of 1.0m post road-widening, whereas the required minimum front yard setback for a building that is 14.3m in height is 7.0m. Although the front yard setback is less than the required minimum front yard setback, the development proposes a front yard setback measurement that allows the proposed apartment building to

provide a street presence by being located close to the street similar to other townhouse and apartment developments found along this area of Commissioners Road West.

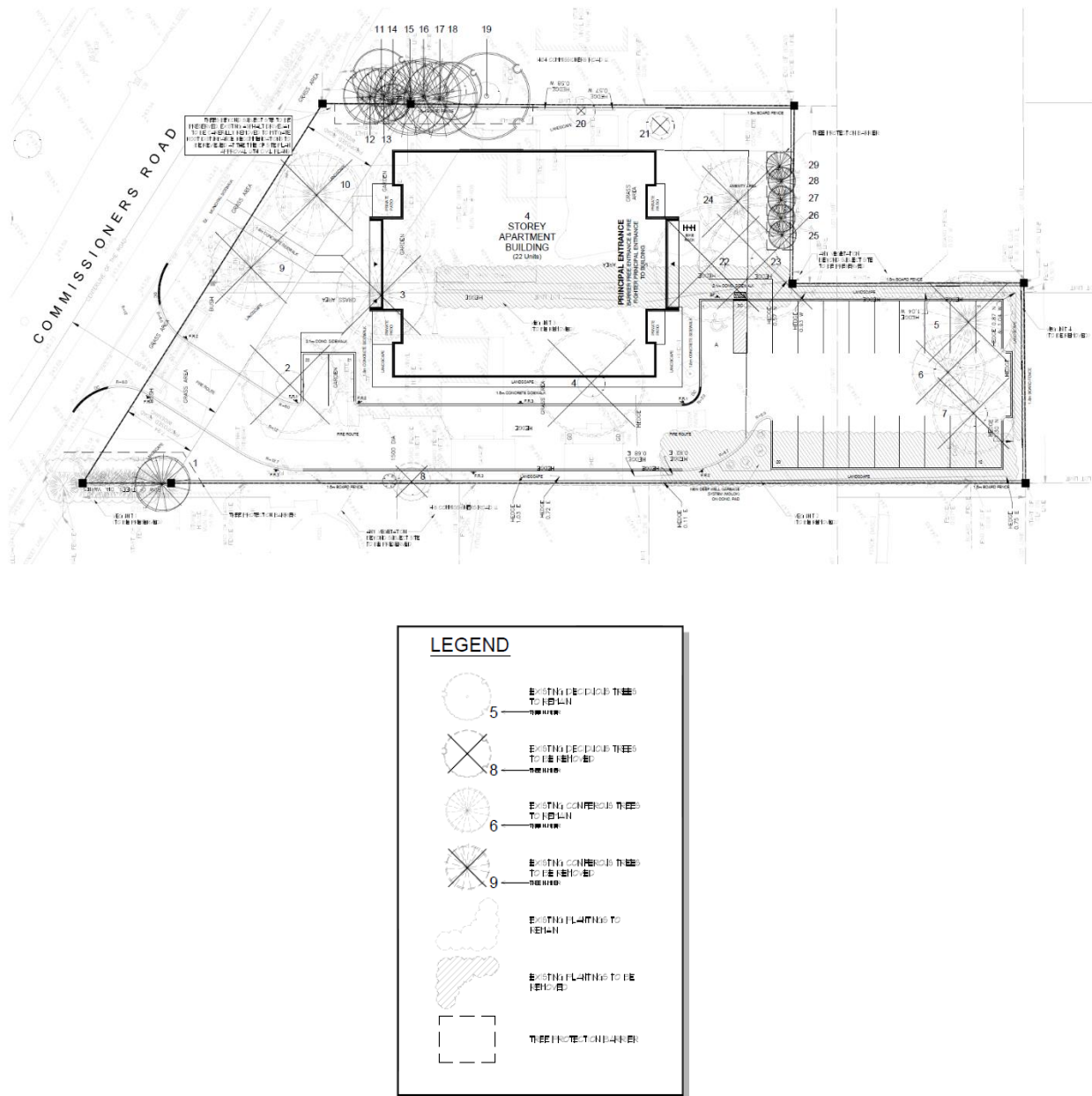
Due to the nature of the angled front yard line of the subject lands, the proposed front yard setback relates only to a small portion of the subject lands, located at the northeastern corner of the proposed building. Due to the positioning of the proposed building in relation to the front line, the front yard setback gradually increases westward and provides sufficient room for landscaping, pedestrian circulation, and vehicular circulation.

8.0 ADDITIONAL CONSIDERATIONS

8.1 TREE PRESERVATION PLAN

As part of the Zoning By-Law Amendment application, a Tree Preservation Plan has been prepared by Ron Koudys Landscape Architects Inc. (RKLA Inc.). RKLA Inc. The following figure (Figure 21) illustrates the tree preservation plan, and identifies which trees are to remain, and which trees are to be removed.

Figure 21 – Tree Preservation Plan prepared by RKLA Inc. (excerpt)



8.2 SERVICING

For this development, a Sanitary Servicing Brief has been prepared by Archibald, Gray, and McKay Engineering Ltd. (AGM Ltd.) that briefly outlines the servicing plan for the proposed apartment building. The Sanitary Servicing Brief outlines the following in their report:

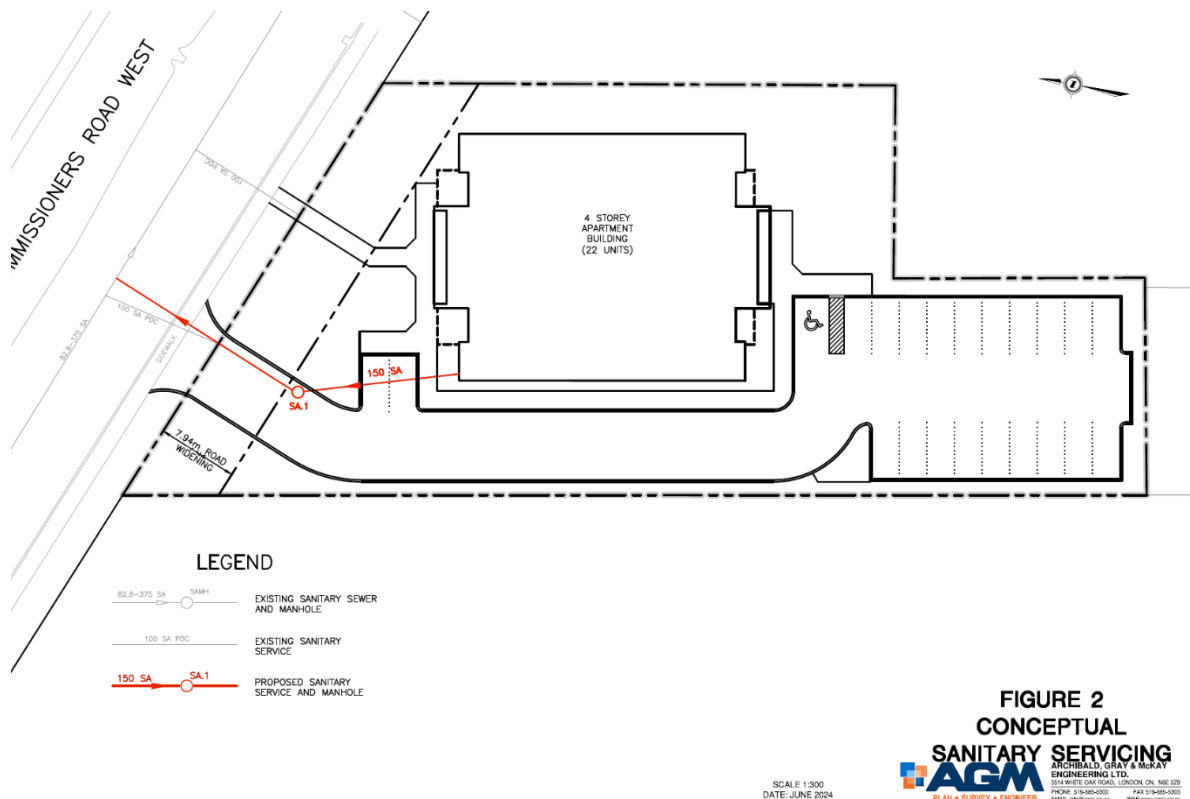
The existing 375mm diameter Commissioners Road sanitary sewer will be utilized to service the proposed development. A 150mm diameter sanitary service will be installed from the 375mm diameter sanitary sewer to an on-site inspection manhole. The sanitary sewer alignment internal to the property will be established through the detailed design process.

With 22 proposed high-density units (1.6 persons/unit) the theoretical population served by the building is 35 people. Considering a per capita flow of 230 Liters/Day and an infiltration allowance of 0.100 Liters/Second/Hectare, the theoretical peak flow contribution from the development toward the Commissioners Road sanitary sewer will be 0.48 L/sec.

The conceptual servicing and proposed sanitary peak flows presented in this brief are consistent with typical apartment developments. The final servicing design will be established through the site plan approval process and will be in accordance with the City of London Design Standards and the Ontario Building Code.

Figure 22 below illustrates the conceptual site servicing plan

Figure 22 – Conceptual Servicing Plan prepared by AGM Ltd. (excerpt)



8.3 LAND USE COMPATIBILITY CONSIDERATIONS

As noted in Section 7.2 of this Report, Policy 1578_6 of the London Plan requires all planning and development applications will be evaluated with consideration of potential impacts on adjacent and nearby properties in the area and the degree to which such impacts can be managed and mitigated. Potential impacts of the proposed development to abutting properties may consist of:

Visual/Privacy: The upper storeys of the 4-storey apartment building may be visible to abutting properties around the subject lands. Setbacks have been utilized to ensure that the proposed building is placed in a location where the separation between the proposed building and abutting properties can be maximized. Appropriate landscaping and fencing will be used to screen the proposed building from abutting properties and minimize overlook concerns as well.

Auditory: Typical sounds, from such sources as vehicles, conversations, children, and normal residential activities will be audible to abutting residents; however, there are no unacceptable adverse impacts anticipated on abutting residential properties resulting from the activities associated with the proposed development. A Noise Study has been required as part of the future Site Plan Approval process by the City of London Planning Staff to ensure mitigation of excess traffic noise is implemented, if necessary, for the benefit of future tenants.

Light: While there is no specific requirement for a light standard(s) for parking area lighting at this time, such a requirement may be identified through the Site Plan Control process. A photometric and lighting plan will be required as part of the Site Plan Control process, subject to the requirements for the City of London Site Plan Control By-Law, to ensure there is no light spillage from the proposed development on neighbouring properties.

Traffic: As part of the record of pre-consultation prepared by City of London Planning Staff, no Traffic Impact Assessment was required as part of a completed Zoning By-Law Amendment Application for the subject lands. As a Traffic Impact Assessment is not required for this development, it indicates that City of London Staff do not anticipate any undue, negative traffic impacts resulting from the proposed development.

Given the context of the subject lands, and the analysis presented in the preceding sections of this report, there are no unacceptable adverse impacts anticipated by the proposed development on surrounding properties.

9.0 CONCLUSIONS

The proposed Zoning By-Law Amendment seeks to permit the redevelopment of the subject lands for a 22-unit, 4-storey apartment building. This proposal to redevelop the subject lands achieves the goals of residential intensification by providing an efficient and cost-effective residential development that maintains a built form and intensity that is compatible with surrounding land uses.

The subject lands are underutilized in their current form and are not efficiently used. The London Plan specifically contemplates low-rise apartments through residential redevelopment and intensification. Furthermore, the proposed housing form for the subject lands support greater affordability and diversity in the neighbourhood. The proposed development is appropriately located and will integrate well with the existing neighbourhood surrounding the subject lands.

Based on the above, and as detailed throughout this Planning and Design Report, the proposed Zoning By-Law Amendment is consistent with the intent and policies as set forth in provincial and municipal planning documents. As such, the proposed Zoning By-Law Amendment is appropriate and is consistent with the PPS and the London Plan, and is in the public interest.