

# Heritage Impact Assessment

London Cross Cultural Learning Centre

763-773 Dundas Street



August 22, 2024



## EXECUTIVE SUMMARY

Zelinka Priamo Ltd. was retained by the London Cross Cultural Learning Centre (“the client”) to prepare a Heritage Impact Assessment (“HIA”) for the proposed rezoning and subsequent redevelopment of the lands known municipally as 763-773 Dundas Street (hereinafter referred to as the “subject lands”). The individual properties of the subject lands are *listed* on the City of London’s Register of Cultural Heritage Resources and are proximate to multiple properties *designated* under Part IV of the Ontario Heritage Act. The proposed development consists of a six-storey (6 ST) mixed-use building along the Dundas Street frontage and a twenty-four storey (24 ST) residential tower the rear (south) of the subject lands. The proposed residential component includes a mix of affordable and market-rate units.

As part of the proposed development, the existing two-storey (2 ST) building at 765-769 Dundas Street and two-and-a-half storey (2.5 storey) building at 773 Dundas Street will be demolished.

This HIA will identify and evaluate the heritage value of the subject lands and adjacent properties; determine potential impacts on the identified heritage resources based on the relevant provincial and municipal policies and guidelines; and, propose mitigation measures to minimize (or avoid) negative impacts. This Assessment will have particular regard for the siting, massing, architectural detailing, and materiality of the proposed development, as these factors have the greatest impact on heritage resources. Other impacts, such as proposed uses, will also be considered.

Overall, the proposed development meets many of the objectives, guidelines, and policies set out by the Province of Ontario and City of London relating to heritage conservation. The proposed development includes the following elements that will mitigate potential impacts on nearby heritage properties:

- The proposed development will provide a continuous street wall along Dundas Street with active uses at grade and a high proportion of glazing. Note: There is currently a large gap in the street wall between 763-769 and 773 Dundas Street;
- The proposed height, massing, and scale of the proposed development will respect the main street character of the area while ensuring new construction is discernable from heritage buildings. Columns/bays situated along the front elevation mimic the rhythm of storefronts along Dundas Street;
- The proposed detailing and material treatments (including brick patterns, stone/concrete accents, fenestration arrangements, etc.) will support compatibility while providing visual interest;
- Deep step-backs are provided above the third-storey along all external lot lines, ensuring the proposed development fits well with abutting main street and low-density residential character areas; and,
- Parking and vehicular areas will be located underground or in the rear yard, screened from the public realm.

Note: This Assessment also contains some minor recommendations that would further mitigate potential impacts on the identified heritage attributes (see Part 6.0).

While the proposed development will require the removal of two existing heritage buildings listed on the City's Register of Cultural Heritage Resources, these buildings lack the architectural merit to be considered exemplary of the Victorian or Georgian styles. Construction techniques, materials, and craftsmanship do not demonstrate a high degree of technical or aesthetic achievement and each building has been altered significantly from its original state. It must also be considered that, for decades, this section of Dundas Street has suffered from a lack of investment, and the proposed development will have a positive effect on the Old East Village Main Street, bringing new investment and vitality to the area (with hundreds of residents/patrons).

In conclusion, the proposed development meets the goals of the Province of Ontario and City of London and conforms to the policies and guidelines established by these levels of government as they relate to heritage and development. While some minor changes and refinements are offered for consideration, this assessment finds that the proposed development is appropriate and desirable from a heritage perspective. It is our opinion that the proposed development exemplifies the intent of the relevant policy framework and will serve as a demonstration project, providing an excellent example of intensification along a historic main street.

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## 1.0 INTRODUCTION

Zelinka Priamo Ltd. was retained by the London Cross Cultural Learning Centre to prepare a Heritage Impact Assessment for the proposed redevelopment of the lands known municipally as 763-773 Dundas Street and legally as “PLAN 229 PT LOTS 12 AND 13 S/S DUNDAS PT LOTS 20, 21 E/S GLEBE, PT LOTS 18, 19 W/S RECTORY” and “PLAN 229 PT LOT 13 REG.”. The proposed development consists of a six-storey (6 ST) mixed-use building along the Dundas Street frontage and a twenty-four storey (24 ST) residential tower the rear (south) of the subject lands. In total, the proposed development will introduce 247 new residential dwelling units and a commercial/community space at the ground level along the Dundas Street frontage. The proposed development will also contain 104 parking spaces.

This HIA is being submitted to the City of London as part of a Zoning By-law Amendment application to permit the proposed development. The purpose of this Assessment is to evaluate the impact of the proposal on the City’s built heritage resources, including the existing heritage structures on and adjacent to the subject lands. Many are designated individually under Part IV of the Ontario Heritage Act (“OHA”) while others are listed on the City’s Register of Cultural Heritage Resources (“Register”).

This HIA will identify and assess the value of all nearby heritage assets (regardless of status); identify the potential impacts; and, evaluate the proposed development in the context of the relevant provincial and municipal policies/guidelines regarding the conservation of built heritage resources. Finally, the HIA will conclude with conservation recommendations.

## 2.0 HERITAGE ASSESSMENT POLICIES + GUIDELINES

The Province of Ontario and the City of London have established policies, guidelines, and terms of reference for the protection and conservation of built heritage resources. This section provides an overview of the relevant documents, as well as relevant definitions.

### 2.1 The Planning Act

The *Planning Act* is provincial legislation that provides a framework for land use planning in Ontario. The *Planning Act* defines matters of provincial interest in Part I, and identifies that (2) the Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

### 2.2 The Provincial Policy Statement, 2020

The *Provincial Policy Statement* (PPS), issued under the authority of Section 3 of the *Planning Act* and updated in 2020, provides policy direction on matters of provincial interest related to land use planning to ensure efficient development, economic resilience, and the protection of natural resources. All planning applications required to be consistent with the policies of the PPS, including the following provisions relating to heritage conservation:

*1.7.1 Long-term economic prosperity should be supported by (e) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.*

*2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

*2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

*2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.*

The following relevant terminology is defined in Section 6.0 of the PPS:

**Adjacent lands** (for the purposes of policy 2.6.3) means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

**Built heritage resource** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous

community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers.

**Conserved** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

**Cultural heritage landscape** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

**Heritage attributes** means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).

**Protected heritage property** means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

**Significant** (in regard to cultural heritage and archaeology) means resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

## 2.3 The Ontario Heritage Act

The Ontario Heritage Act (OHA), R.S.O, 1990, c.0.18 (updated 2023) provides policy direction relating to the identification and conservation of cultural heritage resources in the Province of Ontario. Under Part IV of the OHA, individual properties can be designated by a municipality or by the Minister, while Part V provides for the designation of Heritage Conservation Districts (HCD) encompassing multiple properties.

While the subject lands are not designated individually under Part IV, or as part of a HCD under Part V, multiple properties close to the subject lands are designated under Part IV. This HIA considers the policies of Part IV and will evaluate whether the proposed development is compatible with the designated heritage assets on adjacent lands. This assessment will also broadly consider the policies and intent of the OHA as they might relate to properties listed on the City of London's Register of Cultural Heritage Resources.

The following terms are defined in Section 1 of the OHA:

***Alter*** means to change in any manner and includes to restore, renovate, repair or disturb.

***Heritage attributes*** means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest

## 2.4 The London Plan

The London Plan was adopted by City Council and approved by the Province of Ontario on December 28, 2016. At the time of Provincial approval, the London Plan was appealed to the Ontario Land Tribunal (OLT). Through an OLT decision on May 25, 2022, the final phase of policy appeals were resolved, though several site-specific appeals remain active. The London Plan sets out policies that pertain to properties listed on the City of London Register of Cultural Heritage Resources, including those adjacent to the subject lands, while also governing development on adjacent parcels. The following general objectives from The London Plan regarding cultural heritage resources apply to the proposed development, and a detailed policy review is provided in Section 5.0 of this HIA:

**154** *Through our urban regeneration efforts we will (3) encourage the conservation, restoration, and appropriate use of cultural heritage resources.*

**554** *In all of the planning and development we do, and the initiatives we take as a municipality we will:*

- 1. Promote, celebrate, and raise awareness and appreciation of London's cultural heritage resources.*
- 2. Conserve London's cultural heritage resources so they can be passed on to our future generations.*
- 3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.*



**565** *New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to protect the heritage attributes and character of those resources, to minimize visual and physical impact on these resources. A heritage impact assessment will be required for new development on and adjacent to heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes.*

The London Plan defines

**Adjacency** means “sites that are contiguous; sites that are directly opposite a cultural heritage resource separated by a laneway, easement, right-of-way, or street; or sites which a proposed development or site alteration has the potential to impact identified visual character, streetscapes or public views as defined within a statement explaining the cultural heritage value or interest of a cultural heritage resource”

**Conservation** means “actions or processes that are aimed at safeguarding the heritage attributes of a cultural heritage resource so that it retains its cultural heritage value or interest and extends its physical life. This may involve preservation, rehabilitation, restoration or a combination of these actions or processes.”

**Cultural heritage landscape** means “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal Community. The area may involve features such as structures, spaces, archaeological sites, or natural elements that are valued together for their interrelationship, meaning or association. Such a cultural heritage landscape is valued by Londoners and is of significance to an understanding of the histories of a people or place.”

**Cultural heritage resource** means “a human work or a place that gives evidence of human activity or has spiritual or cultural meaning or value, and which has been determined to have historic value. Cultural heritage resources include both the physical and intangible resources, properties protected under the Ontario Heritage Act, built heritage resources, cultural heritage landscapes, archaeological resources, paleontological resources and both documentary and material heritage.”

**Intensification** means “the development of a property, site, or area at a higher density than currently exists. Intensification adds one or more residential units to a site, or creates one or more additional lots from an existing lot.”

**Streetscape** means “the combination of visual and structural elements including such things as the street right-of-way, the design and placement of buildings, street trees, landscape elements, street furniture, lighting, and signage.”

**Street wall** is “the condition created when the front façades of a series of buildings are aligned facing a street to create a sense of definition, enclosure, and a level of protection from the weather along a streetscape. It is an important feature of designing a street to be comfortable for pedestrians. The term street wall does not necessarily imply that buildings are joined together.”

## 2.5 Impact Assessment Criteria

The impact assessment on cultural heritage resources is based on the impacts as defined by *Infosheet #5 Heritage Impact Assessments and Conservation Plans* prepared by the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries. Impacts to heritage resources may be direct or indirect. Direct impacts include:

**Destruction** of any, or part of any, significant heritage attributes or features.

**Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance.

Indirect impacts do not cause destruction or alteration of the cultural heritage resource, but may include:

**Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.

**Isolation** of a heritage attribute from its surrounding context or a significant relationship.

**Obstruction** of significant views or vistas within, from, or of built and natural features.

**A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

**Land disturbances** such as a change in grade that alters soils, and drainage patterns that adversely affect an archeological resource.

In addition, the potential for indirect impacts resulting from vibration resulting from construction activities should be considered. For the purpose of this HIA, this impact has been categorized under “land disturbances”.

## 2.6 Other Considerations

The City of London does not have a Terms of Reference (“TOR”) document to establish the required contents of a Heritage Impact Assessment report. TOR for other municipalities in Ontario were referenced in the preparation of this HIA. The requirements established in these TOR are derived from the policies of the Provincial Policy Statement, 2020 (specifically cultural heritage and land use planning) and may be considered for other municipalities in the province.

### 3.0 SUBJECT LANDS + CONTEXT

This section will examine the characteristics of the subject lands and the surrounding area with an emphasis on heritage elements. For the purpose of this HIA, the relevant site context consists of the section of Dundas Street designated under the “Urban Corridor” Place Type in the London Plan, beginning at Colborne Street (west) and ending at Quebec Street (east). This corridor is identified as the “Old East Village Main Street” in the London Plan and has a consistent character defined by its quantity of heritage buildings, constructed between 1860 and 1930.

Note: The subject lands extend approximately 100m south from Dundas Street, equivalent to approximately 65% of the total block depth. As a result of this condition, this evaluation will also consider some areas north (through Queens Avenue) and south (through King Street) of Dundas Street that are not designated under the “Urban Corridor” Place Type. The boundaries of the study area are demarcated below in Figure 1.

Figure 1 – Character Study Areas, including the Old East Village Main Street and the subject lands



### 3.1 Old East Village Main Street

Dundas Street is one of the oldest roads in Ontario and played a critical role in the founding and early development of London. Originally constructed as a military road by order of the first Lieutenant Governor of Upper Canada (John Graves Simcoe) in 1793, Dundas Street connected the newly established Town of York (Toronto) to the Thames River. From its construction through opening of the 400-series Provincial highway system, Dundas Street was the primary road connecting to areas east of London.

The portion of Dundas Street between Colborne Street and Quebec Street was developed as one of London's first main streets. This section, outlined in orange in Figure 1 (previous page), was built out between the 1860s and 1930s and hosted many important civic and commercial spaces including department stores, theatres, hotels, schools, and a town hall. The surrounding blocks were developed primarily for industry (south and east) and housing (north).

In its current state, the neighbourhood consists primarily of commercial uses as well as some apartment buildings. Three high-rise buildings are located ~50m west of the subject lands, ranging from twenty-one (21ST) to twenty-four (24ST) in height. There are some institutional uses in the area, including schools and places of worship, as well as the Aeolian Hall performance venue. Finally, the area also includes Queens Park, a major public open space 400m east of the subject lands, and the northern portion of the Western Fair grounds, one of the city's main venues for festivals and community events (including a weekly farmers market).

The streetscape character of Dundas Street is defined by its quantity of heritage buildings. These buildings are typically between one and three-storeys in height with large display windows at street level and minimal setbacks from the street. Vehicular and loading access is often provided from rear laneways, supporting a pedestrian-oriented streetscape. However, many buildings have been modified significantly from their original condition, with additions or other alterations that detract from their historic value. In some instances, buildings have not been kept in a state of good repair as a result of divestment and/or prolonged vacancies. Many have also been demolished and replaced with newer buildings or surface parking areas. Together, these factors compromise the heritage character of the area and its function as a commercial main street. Overall, the streetscape can be described as varied and disjointed with a broad mixture of styles, typologies, and uses.

The London Plan identifies this section of Dundas Street as a target for "urban regeneration" and contains numerous policies that support infill and intensification. While new development has the potential to sustain and enhance this corridor, it must not undermine the established character and cultural heritage value.

Of particular importance are the properties listed on the City of London Register of Cultural Heritage Resources (many of which are individually designated under Part IV of the OHA). These heritage assets were designed in a variety of styles popular in the late nineteenth and early twentieth centuries. Those nearest the subject lands were designed primarily in the Victorian, Italianate, and Art Deco styles. A brief overview of each style is provided on the following page:

**Victorian** applies generally to buildings constructed during the reign of Queen Victoria, from 1837 to 1901, and includes several variants such as Gothic Revival and Queen Anne. Each variant is linked by a similar appreciation for ornament and extravagance, with common characteristics derived from both the classical and gothic traditions:

- Steep, pointed roof lines, often with gables and dormers on the front facade;
- Projecting bays and bay windows, with large cornices;
- Transom windows and doors with flat or segmental arches;
- Typically red brick, though other local stones and bricks were common (including dichromatic brickwork); and,
- Painted wood detailing on gables, porches, sills, etc.

Gables were often the most decorative and extravagant features of Victorian homes. Their triangular shape offered an opportunity for artistic expression and a challenge for designers and makers. Bricklaying offered a similar test of skill and craftsmanship.

**Italianate** was inspired by the architecture of the Italian Renaissance, a historic period associated with the rise of capitalism and entrepreneurship, which made it an appropriate style for areas of commerce. Italianate is commonly found on nineteenth century main streets and was used frequently for stores and larger residential buildings. Italianate borrows from the classical styles but was also influenced by the increasing standardization in manufacturing and construction. It can be identified by the following characteristics:

- Large, exaggerated cornices with brackets and triglyphs;
- Extensive detailing and ornamentation, especially for window surrounds and roof brackets/corbels;
- Stylized classical elements (such as columns, capitals, and pilasters) are present, but are applied minimally and in a secondary role;
- Frontispieces and centred doorways;
- Standardized fenestration and ornamentation patterns, reflecting availability of mass-produced parts. Windows were often sash-style; and,
- Cast-iron detailing and intricate brickwork.

**Art Deco** was developed in the interwar period (1920s and 1930s) in response to increased globalization brought by World's Fairs, colonization, the First World War, and other events. With an emphasis on decorative motifs, craftsmanship, and detailing, the style borrowed from a diversity of sources: classic designs from Japan or Ancient Egypt; contemporary art movements such as De Stijl or Cubism; and, industrial design for early automobiles and airplanes. It used some elements of Classical and Gothic elements but mostly offered a split from, or rejection of, these styles. It can be identified by the following characteristics:

- Unremarkable in plan and elevation, but detailed with extensive use of ornament and geometric patterns;
- Expression often contained to parapets, reliefs, and continuous vertical spaces between windows;
- Lavish and exotic in appearance, sometimes colourful;
- Earlier styles were ornate, while 1930s Art Deco often had a 'streamlined' appearance;
- Windows were often understated, simple, and geometric; and,
- Reliance on modern materials such as reinforced concrete, with less brick or wood.

The repetition and abundance of these architectural styles along Dundas Street contributes to an identifiable character and visual consistency. Specific buildings near the subject lands are discussed and evaluated in Section 3.3 (below).

### 3.2 The Subject Lands

The subject lands are comprised of two parcels (763-769 and 773), located on the south side of Dundas Street between Hewett Street and Rectory Street (Figure 2). According to 'Map 3 – Street Classifications' of the London Plan, this section of Dundas Street is classified as a "Rapid Transit Boulevard" with a future "Rapid Transit Station" located 300m to the east at Ontario Street.

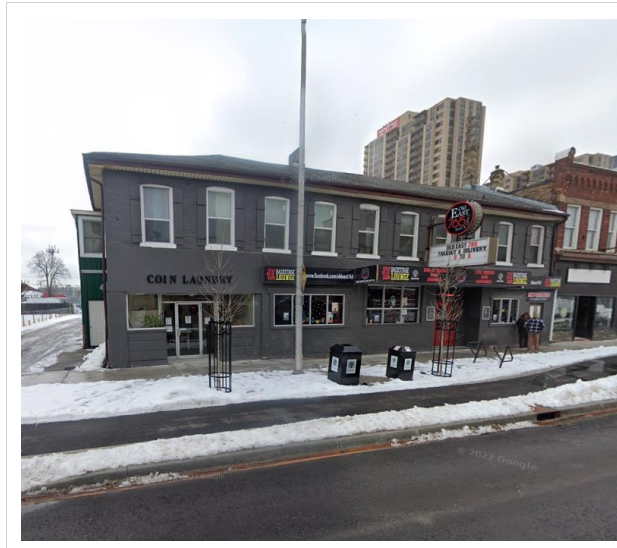
Figure 2 – The subject lands (blue) and existing points of access



The subject lands are flag-shaped, extending south and west from their frontage on Dundas Street (shown in light orange on Figure 2). The lands have a combined area of 1.17ac (0.47ha), a frontage of 40.2m (132ft), and a lot depth of approximately 90.2m (296ft). Vehicular access for each parcel is provided via private asphalt driveways (represented in brown) that extend from Dundas Street to a rear laneway (dark orange). Pedestrian and cycling access are provided from a concrete sidewalk and separated bike lane along Dundas Street.

The subject lands are presently occupied by two buildings, described on the following page.

**763-769 Dundas Street** was purpose-built as a hotel and operated as such throughout much of its history, before being repurposed as a tavern in 1982 (as well as a laundry). The structure is a modest and unremarkable example of the Georgian Style and is currently vacant:



Address	763-769 Dundas Street
Heritage Status	Listed
Constructed	1864-1871
Style	Georgian
Notable Features	Two-storey attached Painted brick and wooden finishes Low-pitch hip roof with a square plan/elevation Minimal ornamentation Strong horizontal emphasis, continuous cornice Sash windows with shutters

**773 Dundas Street** was used historically as a for a variety of retail and service commercial uses. It is a modest and unremarkable example of the Victorian style:



Address	773 Dundas Street
Heritage Status	Listed
Constructed	
Style	Victorian
Notable Features	Two-and-a half-storey Painted brick, stone sills Modified, including a single-storey addition Segmental arches above most openings, including the attic window Gabled front facade

Both buildings are listed on the City of London's Register of Cultural Heritage Resources, but neither is designated under Part IV of the Ontario Heritage Act. Overall, they lack the architectural merit to be considered exemplary of the Victorian or Georgian styles, and each has been altered significantly with additions, secondary entrances, and cosmetic changes (such as painted brick). The construction techniques, materials, and craftsmanship do not demonstrate a high degree of technical or aesthetic achievement. Moreover, irregularities in the design suggest the buildings were not constructed under the supervision of an architect or engineer.

Though these buildings can be considered modest and unremarkable from an architectural and physical heritage perspective, it is acknowledged that the former Queen's Hotel would have played an important role in the social history of Old East Village. Hotels, saloons, and taverns were important institutions in the nineteenth and early twentieth century and would have served both locals and travellers. It is the intention of the client to reintroduce this important social and public function to the subject lands as part of the proposed redevelopment.

**Figure 3 – The former Queen's Hotel at 763-769 Dundas Street, pictured in 1967 (London Free Press, 1967)**







### 3.3 Adjacent Properties

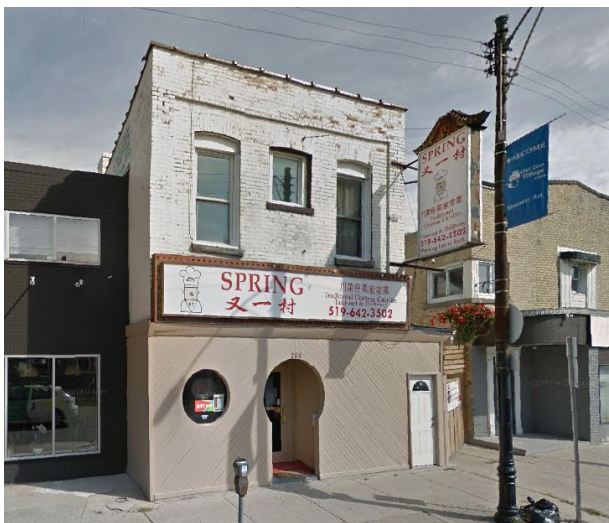
This Heritage Impact Assessment must also consider properties adjacent or across from the subject lands. There are sixteen properties that have views of the subject lands from their front, rear, or side elevations (shown below in Figure 4). Thirteen of these properties have been listed on the City's Register of Cultural Heritage Resources and are identified as having Cultural Heritage Value or Interest (shown in dark orange). Of these, three properties are designated under Part IV of the Ontario Heritage Act (light orange). The tables on the following pages provide details as to each properties date of construction, heritage status, architectural style, and notable features.


Figure 4 – The subject lands and adjacent properties, marked by heritage status (designated or listed)




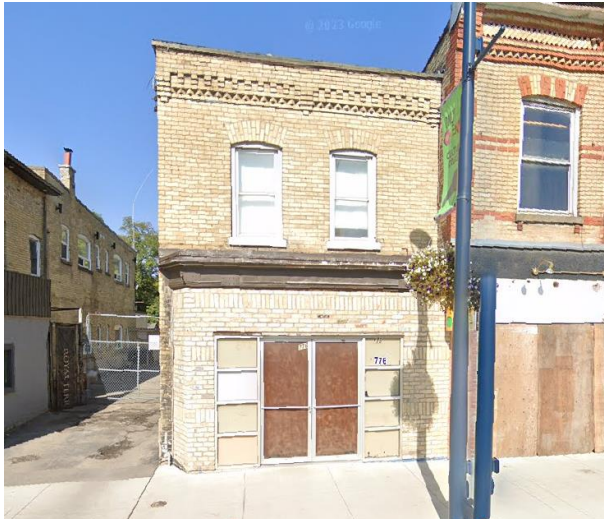
	Address	755-761 Dundas Street
	Heritage Status	Listed
	Constructed	1889-1906
	Style	Italianate
	Notable Features	Two-storey attached Red brick with stone bands above/below windows Arched brick corbel band along the parapet Four bays divided by corbelled pilasters Storefronts modified with faux stone and metal siding

	Address	762 Dundas Street
	Heritage Status	Designated Part IV
	Constructed	1931
	Style	Art Deco
	Notable Features	Two-storey semi-detached Red brick with stone accents Symmetrical frontispiece with geometric and fluted details Inscribed stone panel above entrance and decorative medallion at the parapet Brick pilasters and recessed window surrounds

	Address	768 Dundas Street
	Heritage Status	Listed
	Constructed	1865-1888
	Style	
	Notable Features	Two-storey semi-detached Painted brick Segmental arches with brick voussoirs Horizontal brick band above second storey windows Heavily modified storefront with rounded fenestration

	Address	772 Dundas Street
	Heritage Status	Listed
	Constructed	1865-1888
	Style	
	Notable Features	Two-storey detached Buff brick with wood accents Brick corbel band below parapet, diagonal brick detail Modern storefront and second storey windows

	Address	775-791 Dundas Street
	Heritage Status	Listed
	Constructed	
	Style	
	Notable Features	Single storey detached Modified façade with stucco and faux stone Nine bays divided by pilasters Exaggerated cornice

	Address	776 Dundas Street
	Heritage Status	Listed
	Constructed	1885
	Style	Italianate
	Notable Features	Two-storey semi-detached Buff brick Brick corbel band below parapet, diagonal brick detail Segmental arches with brick voussoirs above second-storey windows Brick storefront with varied vertical/horizontal pattern



Address	778 Dundas Street
Heritage Status	Designated Part IV
Constructed	1886
Style	Italianate
Notable Features	Two-storey attached Bichromatic brick Decorative brick detailing at cornice, frieze and architrave Segmental arches above windows with brick voussoirs Corbelled pilaster offset from centre, separating two bays Modified storefront finishes



Address	795 Dundas Street
Heritage Status	Designated Part IV
Constructed	1883
Style	Italianate
Notable Features	Two-and-a-half storey Bichromatic brick with stone Projecting central tower above door (spire removed) Paired or tripled windows with central round arches Corbelled brackets at cornice Mansard roof with gabled dormers



Address	758 King Street
Heritage Status	Listed
Constructed	1886
Style	
Notable Features	Single storey detached Red brick with concrete lintels Hip roof Heavily modified exterior




Address	762 King Street
Heritage Status	Listed
Constructed	1891
Style	
Notable Features	Single storey detached Buff brick Low-pitch hip roof and central gabled dormer Stained glass transom above front window Segmental arch openings with brick voussoirs



Address	764 King Street
Heritage Status	Listed
Constructed	1923
Style	Edwardian
Notable Features	Two-and-a-half storey Red brick with rough stone Full-width front porch Brick chimney Partly-shingled front gable with small attic window Exaggerated stone lintels and sills with smooth finish



Address	768 King Street
Heritage Status	Listed
Constructed	1901
Style	
Notable Features	One-and-a-half storey Buff brick, stone foundation Medium-pitched front gable with gabled dormer on the (west) side elevation Partial front porch Stain glass round arch transom above front window Stain glass above front door

	Address	774 King Street
	Heritage Status	Listed
	Constructed	1904
	Style	Victorian – Queen Anne
	Notable Features	One-and-a-half storey
		Buff brick, stone foundation
Decorative wood gable on front façade with fish scale shingles and bargeboard		
Round arch transom above front window, brick voussoirs		
Partial width porch and segmental arches		

### 3.4 Summary + Evaluation of Key Heritage Attributes

Three of the sixteen properties identified in Figure 4 are designated under Part IV of the OHA and have well-established cultural heritage value or interest (762, 778, and 795 Dundas Street). An additional three properties (753 and 764 Dundas Street, 425 Rectory Street) have no identified value or interest and were not evaluated. The remaining ten properties and the two buildings on the subject lands (listed on the Register) have been evaluated under *Ontario Heritage Act Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest*. Per *Reg. 9/06*, properties fronting onto Dundas Street would have “contextual value” related to “defining, maintaining or supporting the character of an area” (7) and because they are “physically, functionally, visually or historically linked” (8) to the Old East Village Main Street. These properties are historical but lack the architectural merit or cultural value to be considered for other criteria under *Reg. 9/06* but overall, they contribute positively to the streetscape.

The following features are found in many of the properties assessed along Dundas Street and support a defined heritage character. Wherever possible, any development proposal considered for the subject lands should not detract from these attributes:

- The consistency in massing and proportionality, including setbacks, building and floor heights, cornices, and structural bays. Collectively, these features contribute to a well-defined heritage character along Dundas Street;
- Large display windows and ground-level openings along the front façade, supporting a main street function and appearance;
- Detailed and ornate masonry, such as voussoirs, pilasters, cornices, and architraves;
- Fenestration arrangements and styles, such as sash windows, round or segmental arches, and stone lintels/sills; and,
- Material palette consisting of stone, red brick, and buff (yellow) brick.

## 4.0 PROPOSED DEVELOPMENT

The client proposes to develop the subject lands for two new buildings: a six-storey (6ST) mixed-use building fronting Dundas Street (Building 'A'), consisting of 34 residential dwelling units and a ground-floor commercial/community space; and, a twenty-four-storey (24ST) mixed-use building located at the rear of the subject lands (Building 'B'), consisting of 213 dwelling units and ground-floor multi-use space. The proposed development will result in a density of 540 units per hectare (UPH).

The intent of the ground floor commercial/community spaces is to provide opportunities for services related to wellness of the residents of the proposed development and broader community. The client has contacted the London Public Library to explore the possibility of a new branch in the ground floor space of Building 'A', fronting Dundas Street. The ground floor commercial space of Building 'B' is envisioned as a health and wellness space to serve the community, including opportunities for clinics and counselling services (including career counselling).

A conceptual site plan is provided below in Figure 5, and conceptual perspective views are provided on the following page in Figures 6-7.

**Figure 5 – Conceptual site plan. Full-size drawings provided in the accompanying architectural submission.**

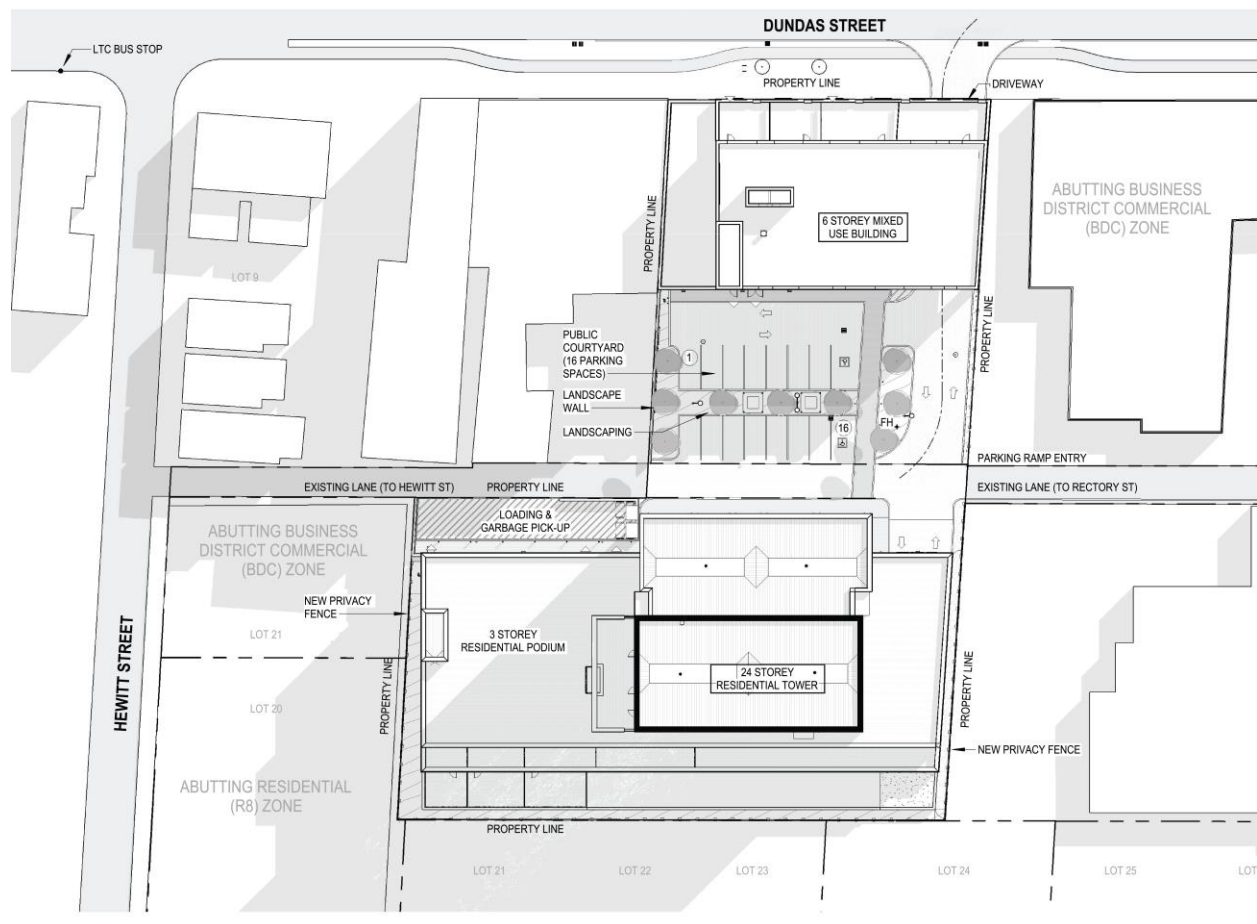


Figure 6 – Perspective view of the proposed six-storey mixed-use building, viewed from Dundas Street



Figure 7 – Aerial view of the proposed twenty-four storey residential building, facing northeast





## 4.1 Site Design

The proposed site design orients Building 'A' along Dundas Street, providing a continuous street wall (0m setback) with active uses at-grade. Building 'A' will define the outward appearance of the subject lands while complimenting the established main street character of Dundas Street. At the rear of Building 'A', a public courtyard is proposed with limited surface parking, short term bicycle parking, landscaping, and a pedestrian sidewalk connecting Dundas Street to Building 'B'.

The southern portion of the subject lands (opposite an existing laneway) will be occupied by Building 'B', a twenty-four-storey (24ST) residential tower situated on top of a three-storey (3ST) podium. The podium steps down to one-storey in height along the southerly elevation where the subject lands interface with existing single-detached dwellings. A minimum 11.0m step-back is provided above the third storey to separate the tower from adjacent parcels. A community service space will be provided at the ground level of Building 'B', as well as private resident spaces such as a laundry room, mail room, and lobby.

Primary vehicular and pedestrian access to the subject lands is provided from Dundas Street via an enclosed carriage-style driveway (covered by Building 'A'). These facilities will provide access to Building 'B' in the rear yard (including an underground parking garage) as well as loading/delivery spaces. The enclosed carriage driveway is designed to function as a safe and comfortable pedestrian space, activated by a residential lobby entrance (Building 'A') and vision glass providing views to/from ground level common facilities. The driveway is designed to the minimum required width and will be finished with interlocking paving blocks. Secondary access to servicing and parking areas is proposed from an existing laneway connecting Hewitt Street and Rectory Street through the subject lands.

## 4.2 Massing

Building 'A' is massed to be compatible with the adjacent main street. A three-storey (3ST) podium is situated along Dundas Street (0m setback), supporting a sense of enclosure and pedestrian-oriented streetscape. A deep (5m) step-back is proposed above the third storey, separating the street wall from the upper portion of Building 'A' (six-storeys total). A height reduction and step-back are also proposed along the west interior side lot line, resulting in a cornice line that is consistent with the adjacent two-storey heritage building. The front elevation of Building 'A' will be defined by columns/walls that replicate the rhythm of the Old East Village Main Street where many buildings have multiple bays and storefronts. This massing strategy will ensure the proposed development is consistent with (but distinct from) the surrounding heritage properties.

Building 'B' is designed with a three-storey podium with a deep step-back along the east, west, and south elevations. A triple-height colonnade is proposed along the north elevation of Building 'B', providing visual interest and a sense of enclosure at the main entrance (replicating the rhythm of bays/storefronts along Dundas Street). The tower portion is massed with repeatable floor plates with inset balconies and a single-storey step-back at the crown. The proposed height of Building 'B' reflects established standards of the surrounding neighbourhood.

Axonometric views of the proposed development are shown below in Figures 8 and 9 on the following page.

Figure 8 – Axonometric view of proposed building massing and site layout, facing southwest

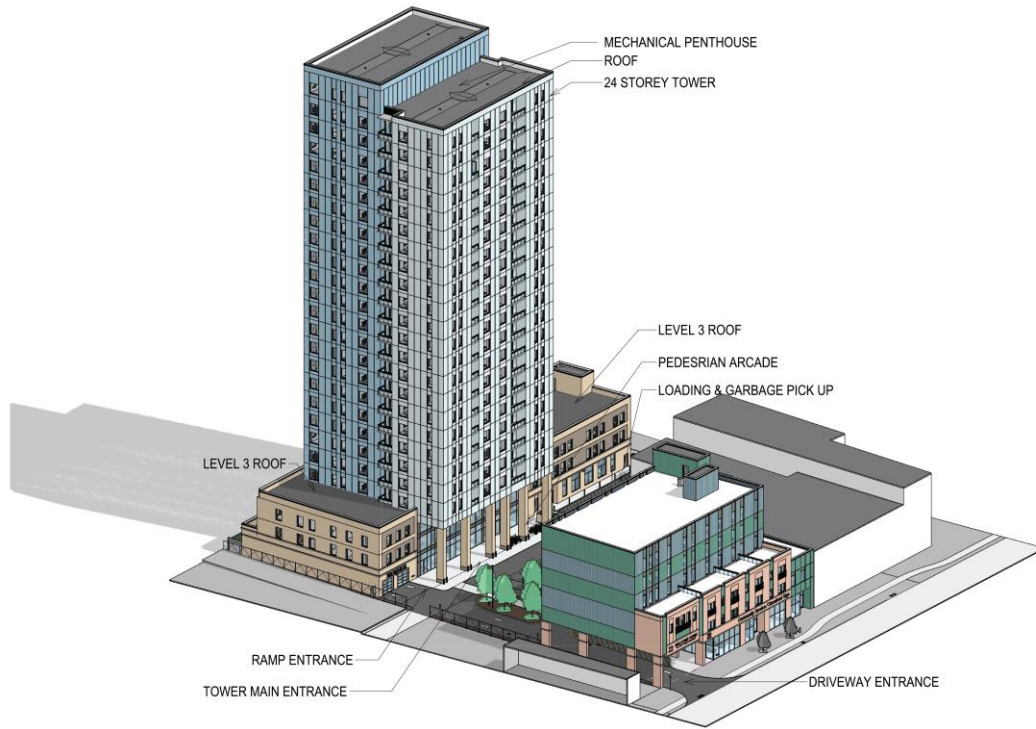
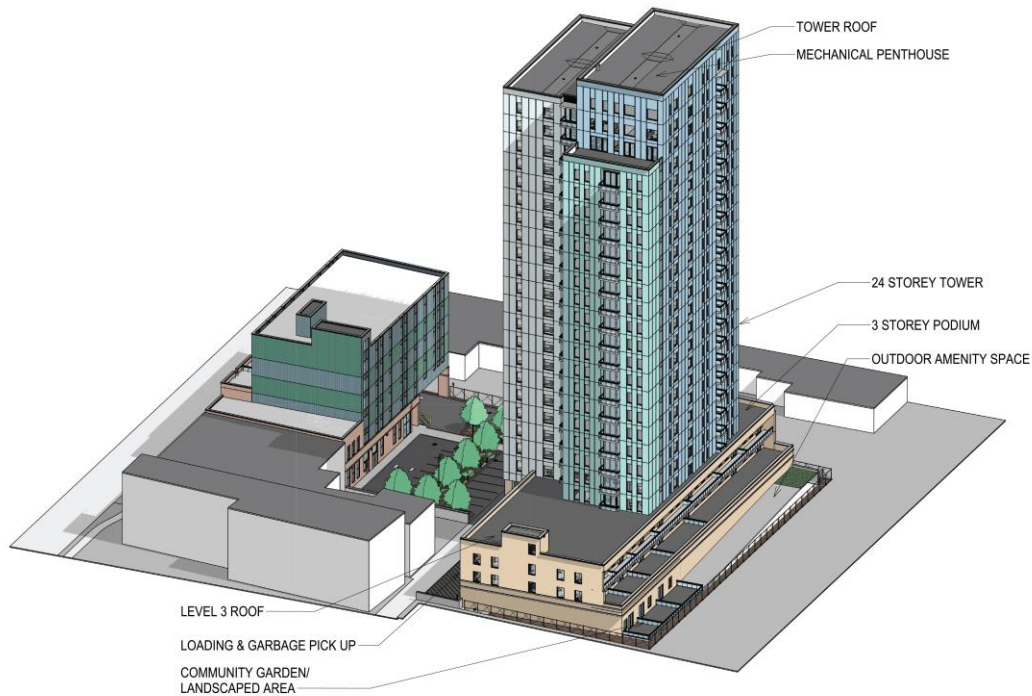


Figure 9 – Axonometric view of proposed building massing and site layout, facing northeast



### **4.3 Treatment of Heritage Features**

As part of the proposed development, two existing heritage structures will be removed from the subject lands. These buildings are modest and unremarkable examples of the Georgian/Victorian styles and are not considered exceptional in their design or craftsmanship. Their massing also represents a significant gap/interruption in the street wall, with two asphalt driveways that detract from the main street function and heritage character of the street. While these existing buildings cannot be retained as part of the development, proposed Building 'A' will provide a desirable interface along Dundas Street. In addition to the design features discussed throughout Section 4.0, the proposal will also revitalize the Old East Village Main Street by introducing hundreds of new residents and businesses patrons.

### **4.4 Architectural Detailing + Material Palette**

The proposed architectural detailing will support compatibility between the proposed development and the established heritage character of the area. Materials will be applied strategically in coordination with the proposed massing to differentiate podium levels from upper storeys. Lower levels will be clad primarily in brick with stone/concrete accents like many existing buildings along Dundas Street. Brick will be oriented in a running-bond pattern (or similar) with vertical segments at the cornice, around windows, and in a band above the first storey. These details will provide visual interest and are inspired by the architecture of the area. Lower levels are also designed with paired/tripled windows, Juliette balcony enclosures, and other details that reflect the Italianate style.

For upper storeys, the conceptual material palette consists of modern, durable materials that support a contemporary appearance, including precast architectural panels, vision glass, spandrel glazing, and accent materials. The cladding strategy will reinforce the proposed massing/articulation while providing varied appearance along each elevation. The use of coloured architectural panels will create visual interest and distinguish the proposed development from other buildings in the neighbourhood. Each elevation is designed to a similar standard, ensuring a consistent quality throughout the subject lands.

Overall, the proposed material palette and architectural detailing is sympathetic to nearby designated and listed properties. Coloured elevation drawings are provided on the following pages in Figures 10-14.

Note: full-scale elevations are provided as part of the architectural submission package.

Figure 10 – Front (north) elevation of the proposed six-storey mixed use building



Figure 11 – Interior side (east) elevation of the proposed six-storey mixed use building



Figure 12 – Rear (south) elevation of the proposed six-storey mixed use building



Figure 13 – Front (north) and interior side (east) elevation of the twenty-four-storey residential building

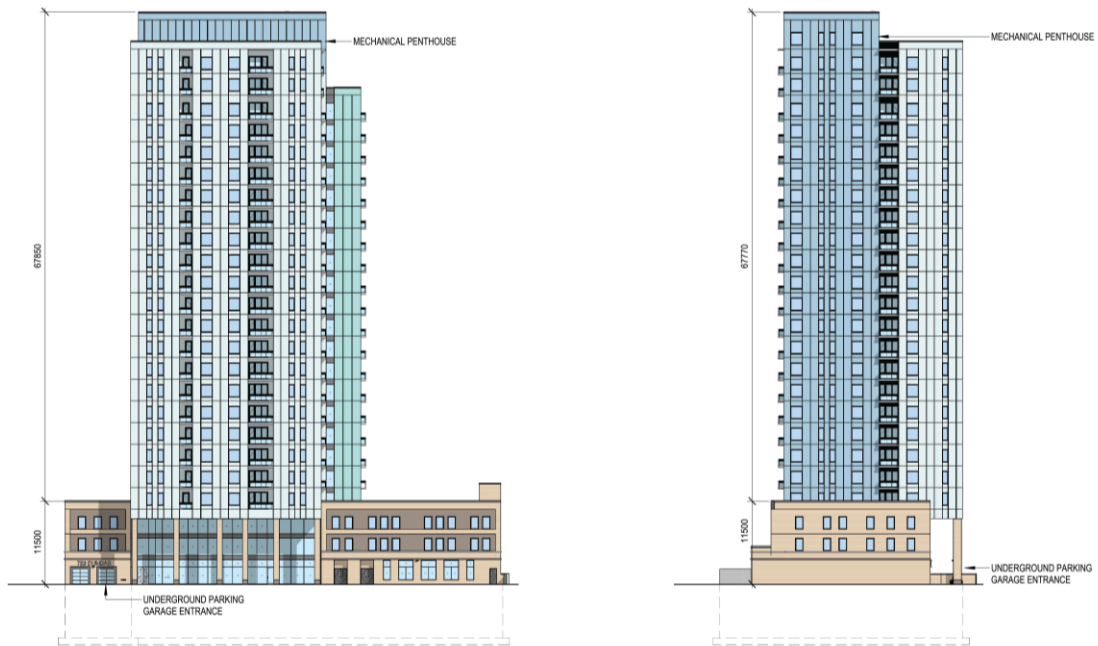
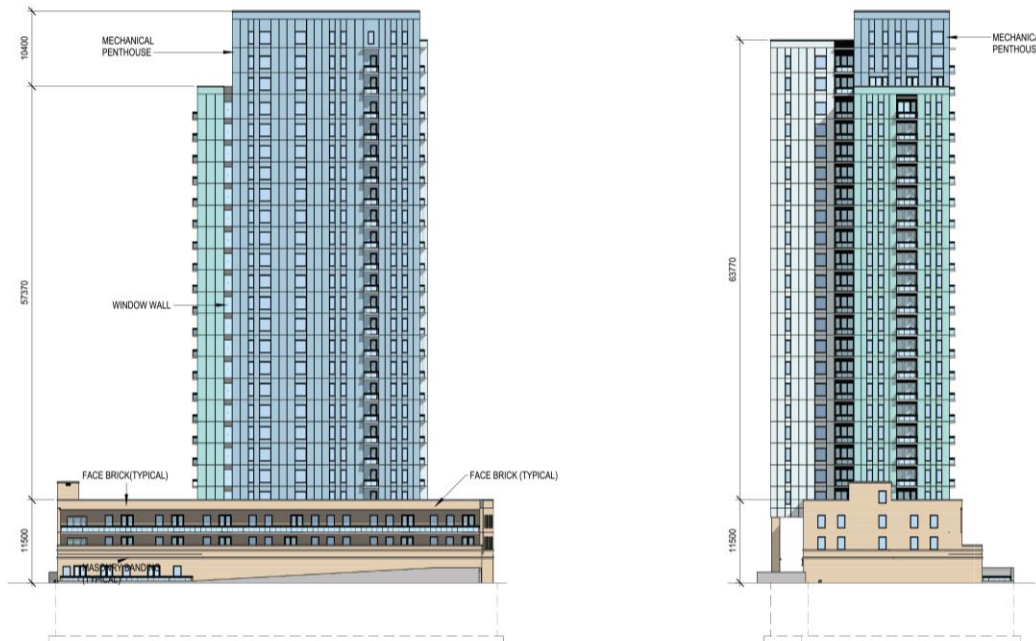


Figure 14 – Rear (south) and interior side (west) elevation of the twenty-four-storey residential building



## 5.0 IMPACT ASSESSMENT

The subject lands and many adjacent parcels are listed on the City of London Register of Cultural Heritage Resources. Although only three of the properties assessed in this report are designated under Part IV of the OHA, it is recognized that listed properties are important heritage features that contribute to the character Old East Village Main Street. This section provides an overview of potential impacts on these assets. Consideration will also be given to potential impacts on the overall streetscape.

There are several policies and guidelines in the London Plan that are applicable to the proposed development. These are listed in the tables below and paired with a written response.

### 5.1 London Plan

CITY DESIGN: CHARACTER (197-210)		
Policy	Text	Response
197	<i>“The built form will be designed to have a sense of place and character consistent with the planned vision of the place type, by using such things as topography, street patterns, lotting patterns, streetscapes, public spaces, landscapes, site layout, buildings, materials and cultural heritage.”</i>	<p>The proposed design will provide a well-designed and proportional building along the Dundas Street frontage, supporting the planned vision for the Old East Village Main Street. The proposed building continues the established street wall, with a deep step-back above the third storey, large openings at street-level, and brick columns/walls that mimic the structural bays of nearby heritage buildings. The proposed architectural treatment and brick detailing reflects the designs of the area while appearing distinct from heritage structures.</p> <p>The high-rise building proposed for the rear yard will support the planned vision of the “Urban Corridor” Place Type including a vibrant pedestrian realm and future planned rapid transit service. The proposed site design will maintain and enhance an existing laneway with a triple-height entrance colonnade and massing that is consistent with the form and height of high-rise buildings west of the subject lands. Building ‘B’ will be clad with brick and stone/concrete at the podium level.</p>

<b>CITY DESIGN: BUILDINGS, MATERIALS (284-305)</b>		
<b>305</b>	<i>“Where new development is being constructed adjacent to heritage designated properties, building materials should be sympathetic to the materials and architectural style of the heritage property.”</i>	The proposed material palette and architectural detailing is sympathetic to nearby designated and listed properties. Lower levels will be clad primarily in brick, with segments of varied (vertical) patterning provided at the cornice, around windows, and in a horizontal band above the first storey. Features such as the paired/tripled windows (and Juliette balcony enclosures) reflect the Italianate style while appearing distinct from the original buildings.
<b>SPECIFIC POLICIES FOR THE PROTECTION, CONSERVATION AND STEWARDSHIP OF CULTURAL HERITAGE RESOURCES (583-607)</b>		
<b>586</b>	<i>“The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved.”</i>	As part of the proposed development, two listed heritage structures will be removed from the subject lands. These structures lack the architectural merit to be considered exemplary of the Victorian or Georgian style, and each has been altered significantly from its original state. They were not considered key contributors to the heritage character of the Old East Village Main Street.
<b>RAPID TRANSIT AND URBAN CORRIDORS: MAIN STREET (844-848)</b>		
<b>848.1</b>	<i>“Cultural heritage resources shall be conserved in conformity with the Cultural Heritage policies of this Plan and in accordance with the Ontario Heritage Act. Development proposals adjacent to cultural heritage resources will be required to assess potential impact on these cultural heritage resources and design new development to avoid and mitigate such impact.”</i>	The proposed development will not have any measurable impact on properties designated under Part IV of the OHA. The proposal will impact cultural heritage resources positively by supporting the regeneration of a historic main street and providing a continuous street wall that is well-proportioned with active uses at-grade. Many details and materials in the proposed building design are inspired by existing heritage buildings along Dundas Street. Potential impact of the proposed development on other cultural heritage resources is evaluated in the following section (Section 5.2).

## 5.2 Impacts + Conservation Principles

To assess potential negative impacts of the proposed development, this Heritage Impact Assessment considers *InfoSheet #5* from the provincial policy document *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*. This document lists seven potential negative impacts of new development proximate to heritage resources which are discussed in the following table:

Impact	Response
<p><b>Destruction</b> of any, or part of any, significant heritage attributes or features.</p>	<p>Two heritage structures will be removed from the subject lands as part of the proposed development. Both are listed on the City's Register of Cultural Heritage Resources. However, they are considered modest and unremarkable from an architectural heritage perspective, and each has been modified significantly from its original state. They are not considered key contributors to the heritage character of this section of Dundas Street.</p>
<p><b>Alteration</b> that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>The proposed development is sympathetic to existing heritage properties in the area. The six-storey mixed-use building proposed at the front of the subject lands is massed and scaled to blend with the historic fabric of Dundas Street (step-back above third-storey, continuous street wall, 0m front yard setback, consistent cornice line, etc.). Taller forms, including the 24 ST tower, are situated away from Dundas Street to maintain the historic main street character. The proposed articulation and architectural detailing will also support compatibility, with regular openings at ground level, paired/tripled windows on upper storeys, and varied brick patterns with stone band accents.</p>
<p><b>Shadows</b> created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.</p>	<p>Shadows resulting from the proposed development reflect established standards in the neighbourhood, as Dundas Street is often shaded by the existing street wall (especially the south sidewalk). This condition is anticipated on a dense and narrow main street. Note: Shadows will not be cast onto any parks or private gardens/yards.</p>
<p><b>Isolation</b> of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The proposed development will not result in the relocation of any buildings and therefore will not isolate any heritage attributes.</p>



<p><b>Obstruction</b> of significant views or vistas within, from, or of built and natural features.</p>	<p>The proposed development will not obstruct any significant views or vistas. The six-storey building proposed for the northern portion of the subject lands will frame the street and fill a gap in the established street wall while maintaining appropriate proportionality and scaling.</p>
<p><b>Land Use Change</b> such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.</p>	<p>The proposed redevelopment will result in the introduction of a new land use (residential) at a greater intensity than the current use of the subject lands. The commercial/community space (and residential lobby) proposed at the ground level represent a continuation of the historic function of the subject lands and will contribute positively to the function of the Old East Village Main Street.</p>
<p><b>Land Disturbance</b> such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.</p>	<p>It is not anticipated that the proposed development will cause any adverse affects to heritage resources by way of land disturbance. Infill and building additions are a common type of development and potential impacts (such as vibration) can be mitigated during the construction phase.</p>

*Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* also sets out eight principles for the conservation of historic properties (discussed below):

Principle	Response
<p><b>Respect for Documentary Evidence</b></p>	<p>This HIA was prepared with regard for the documentary evidence, including a 2022 Cultural Heritage Evaluation Report by Stantec Consulting. The existing buildings on the subject lands will be documented before their demolition as required.</p>
<p><b>Respect for Original Location</b></p>	<p>No buildings are proposed to be moved off-site as part of the proposed development. The existing buildings are not considered to be exemplary and do not have significant architectural merit.</p>
<p><b>Respect for Historic Material</b></p>	<p>The proposed development is finished in materials that are commonly found in the area, primarily brick with stone accents. These materials will respect the established character and material palette along the Old East Village Main Street.</p>
<p><b>Respect for Original Fabric</b></p>	<p>The proposed design will respect the fabric of the area, with brick detailing inspired by proximate Italianate and Victorian buildings.</p>

<b>Respect for the Building's History</b>	The proposed development will reintroduce a communal and commercial function to the subject lands, similar to the historic function of 763-769 Dundas Street (hotel).
<b>Reversibility</b>	The proposed changes to the subject lands will not be reversible; however, the existing heritage buildings will be documented before their removal if deemed necessary.
<b>Legibility</b>	The proposed development will be distinguishable from existing heritage structures through massing, fenestration patterns, material treatments, and other elements discussed throughout this report. During the detail design stage, it is recommended that material details and architectural features (such as reveals) be used to further differentiate the proposed addition from the existing heritage buildings.
<b>Maintenance</b>	The proposed development will not impact the maintenance of any existing heritage structures.

## 6.0 MITIGATION RECOMMENDATIONS

Overall, the proposed development largely meets the heritage goals and objectives set out by the Province of Ontario and City of London. While the proposed development generally represents an appropriate and compatible form of development, this Assessment concludes with some minor recommendations that would improve its function and appearance along the Old East Village Main Street:

1. Ensure future tenants of the ground floor community/commercial spaces serve a public function, offering amenity for residents of the proposed development as well as the surrounding neighbourhood. The former Queen's Hotel at 763-769 Dundas Street played an important role in public life from its opening in the 1860s through its closure in 1982. A London Public Library branch or other community use would return a public element to the subject lands that would enhance this section of Dundas Street and the broader Old East Village; and,
2. During the detail design stage, it is recommended that signage designed to contribute to the streetscape along Dundas Street. A variety of sign typologies can be found along the Old East Village Main Street, including building-mounted, blade-style projecting panels, awnings, posts/pylons, and window displays. A combination of these (and others) should be used to support a vibrant pedestrian realm.

The proposed development exemplifies the intent of the relevant provincial and municipal policies, and the above recommendations are provided for consideration only. Overall, the proposal represents a positive addition along Dundas Street and will serve as a good example of intensification along a historic main street.

## 7.0 REFERENCES

- Avery, Derek (2003). *Victorian & Edwardian Architecture*. ISBN: 1904449026. London: Chaucer Press.
- City of Brampton (N.D.). *Heritage Impact Assessment Terms of Reference*. Brampton, Ontario.
- City of London (2019). *Register of Cultural Heritage Resources*. London, Ontario.
- City of London (2021). *The London Plan*. London, Ontario.
- Government of Ontario (2006). *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*.
- Government of Ontario (2024). *Ontario Heritage Act, R.S.O. 1990, c. O.18*.
- Government of Ontario (2024). *Planning Act, R.S.O. 1990, c. P.13*.
- Government of Ontario (2020). *Provincial Policy Statement, 2020*.
- Stantec Consulting (2022). *Cultural Heritage Evaluation Report: 763-769 Dundas Street, London, Ontario: Final Report*.



**Zelinka Priamo Ltd.**

LAND USE PLANNERS

**MICHAEL UTTLEY, *M.Arch, B.U.R.PI***

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Master of Architecture (M.Arch), Carleton University, 2024

Bachelor of Urban and Regional Planning (B.U.R.PI), Toronto Metropolitan University, 2016

**PROFESSIONAL EXPERIENCE**

Planner/Urban Designer, Zelinka Priamo Ltd., 2016 to Present

Architectural/Interior Designer, Freelance, 2020 to 2022

**PUBLICATIONS AND AWARDS**

Paper Presentation/Panelist, Society for the Study of Architecture in Canada 49th Annual Conference, 2024

Recipient, Azrieli School of Architecture & Urbanism Departmental Scholarship, 2019 to 2024

Finalist, Canadian Centre for Architecture Charrette, 2019

Winner, Reimagining O'Keefe Lane Design Competition, 2016

Recipient, Ryerson University SURP Award for Superior Performance in Design, 2013

Recipient, Ryerson University Dean's Essay Prize, 2013

**PROFESSIONAL ASSOCIATIONS**

Member, Society for the Study of Architecture in Canada

**SELECT PROJECT EXPERIENCE**

**Heritage Impact Assessments**

566-578 Colborne St – Intensification of a Part IV Property

Victor Anastasiadis

763-773 Dundas St – Redevelopment of a Listed Property

London Cross Cultural Learning Centre

**Urban Design Briefs, UDPRP**

18 Elm St – Four-storey affordable housing building with daycare

Housing Development Corporation

30 & 100 Villagewalk Blvd – Three twelve-storey apartment buildings

Auburn Developments

101-107 Base Line Rd W – Nine-storey apartment building

Bluestone Properties

129 Pond Mills Rd – Eleven-storey apartment building

Bluestone Properties

Old Victoria Hospital – Seven-building affordable housing development

Vision SoHo Alliance

415 Oxford St W – Two 22-storey apartment buildings and open space

Rand Developments

735 Southdale Rd W – Four apartment buildings with public open space

Royal Premier Homes

954 Gainsborough Rd – Nine-storey apartment building and townhouses

Royal Premier Homes

1390 Dundas Street – Five-storey long-term care facility

Southbridge Healthcare LP

1521 Sunningdale Rd W – Plan of Subdivision (residential)

Auburn Developments

2525 Sheffield Blvd – Two apartment buildings with open space

Bluestone Properties

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### **Planning & Design Reports**

21-41 Meadowlily Rd N – 84-unit cluster townhouse development	Royal Premier Homes
129 Meadowlily Rd S – 166-unit cluster townhouse development	Damas Development & CHAM
129-131 Base Line Rd W – Fourteen-storey apartment building	Royal Premier Homes
537 Crestwood Drive – Single-detached dwelling	Star Homes
608 Commissioners Rd W – Six-storey apartment building	Copia Developments
1235 Richmond St – Unit reconfiguration in existing apartment building	Adobe Varsity Living
2060 Dundas St – Six-storey apartment building	

### **Due Diligence Reports**

171 St. George St – Determining historic land use permissions	Scott Petrie LLP
240 Waterloo St – Land use permissions	Creative Property Developments
301 York St – Land use permissions and massing model	
533 Clarence St – Building assessment	
1574 Gore Rd – Land use permissions	Perfect Concept Realty

### **COMMITTEES AND VOLUNTEER WORK**

Committee Member, Houses Opening Today Toronto (HOTT), Housing Development & Proposals Committee  
Labourer/Fundraiser, Habitat for Humanity