

# CCLC - WELCOME HOME OLD EAST VILLAGE APARTMENTS

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6



**ARCHITECTURAL**  
Nicholson Sheffield Architects Inc.

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A2.1	Overall Floor Plan - Level P2 - Tower
A2.2	Overall Floor Plan - Level P1 - Tower
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A4.2	Exterior Elevations - Tower
A4.3	Exterior Elevations - 6 Storey Building
A4.4	Exterior Elevations - 6 Storey Building

**SITE ENGINEERING AND SERVICING**  
MTE

**LANDSCAPE**  
Ron Koudys Landscape Architects Inc.

**PHOTOMETRICS**  
Callidus

**STRUCTURAL**  
Structural Engineer

**MECHANICAL**  
Mechanical Engineer

**ELECTRICAL**  
Electrical Engineer


1	Issued for ZBA	2024.08.20
No.	Revision	Date



**NICHOLSON  
SHEFFIELD  
ARCHITECTS  
INC.**

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London, Ontario N6A 2R6  
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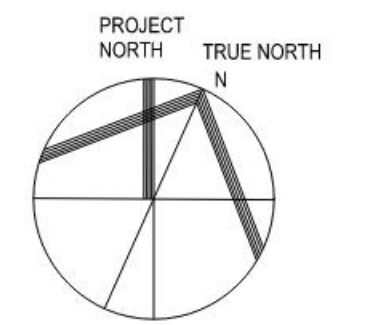
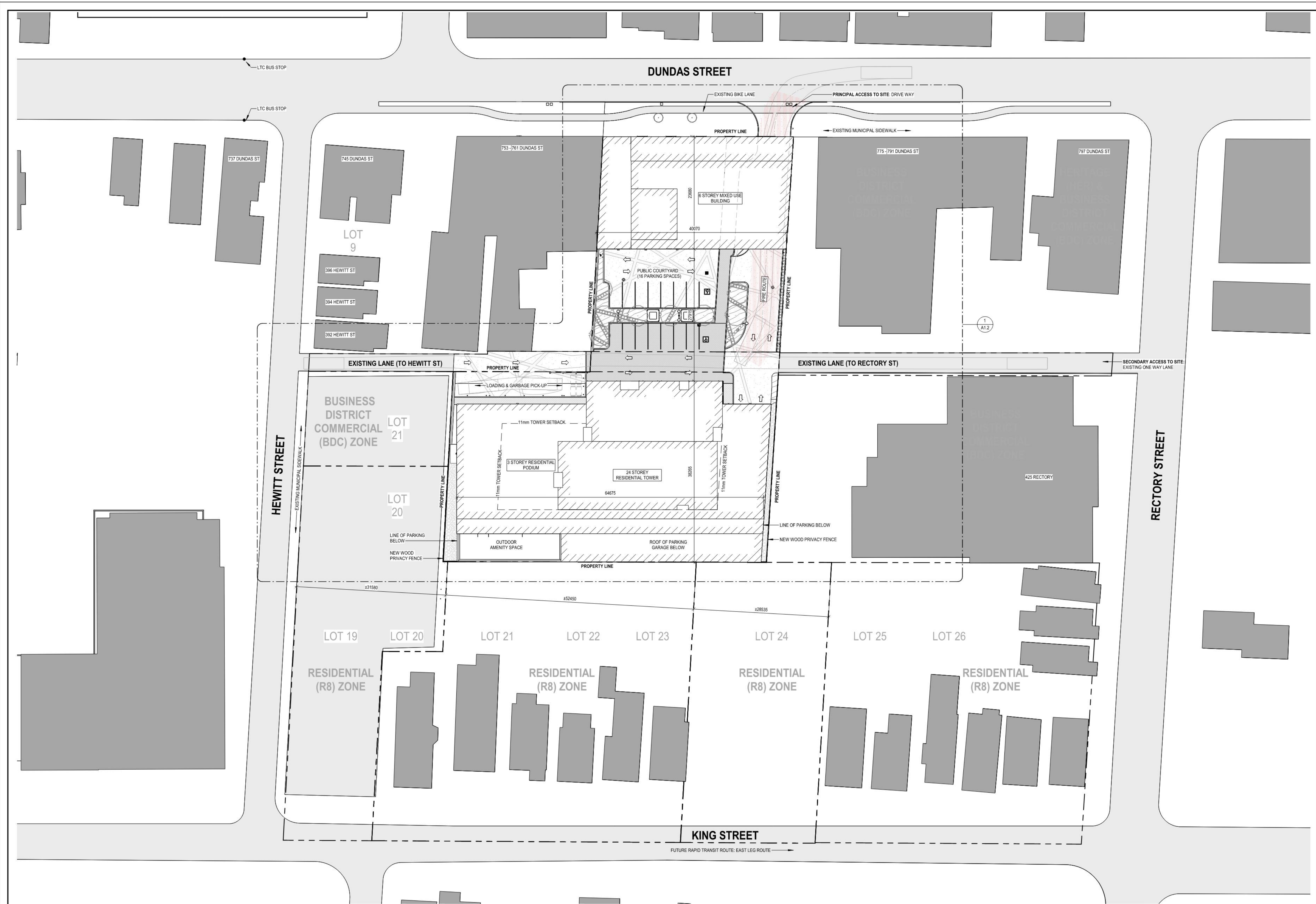
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Project  
**Welcome Home -  
Old East Village  
Apartments**

769 DUNDAS STREET, LONDON,  
ONTARIO N5W 2Z6

Drawing  
**Cover Sheet**

Project No.	21-21	Drawing No.	<b>A1.0</b>
Scale	1 : 1175		
Drawn by	OT/JR/BJ		
Checked by	TW/DP		
Date	August 20, 2024		



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Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Context Site Plan**

Project No.	21-21	Drawing No.	
Scale	1 : 350		
Drawn by	JR/DS/OT		<b>A1.1</b>
Checked by	Checker		
Date	August 20, 2024		

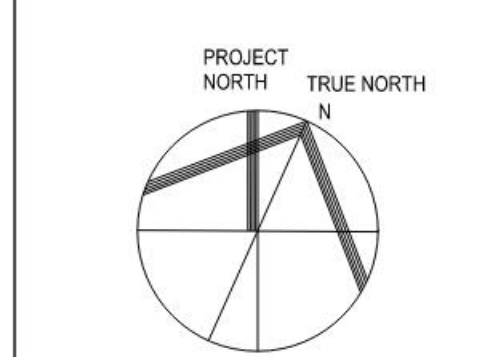
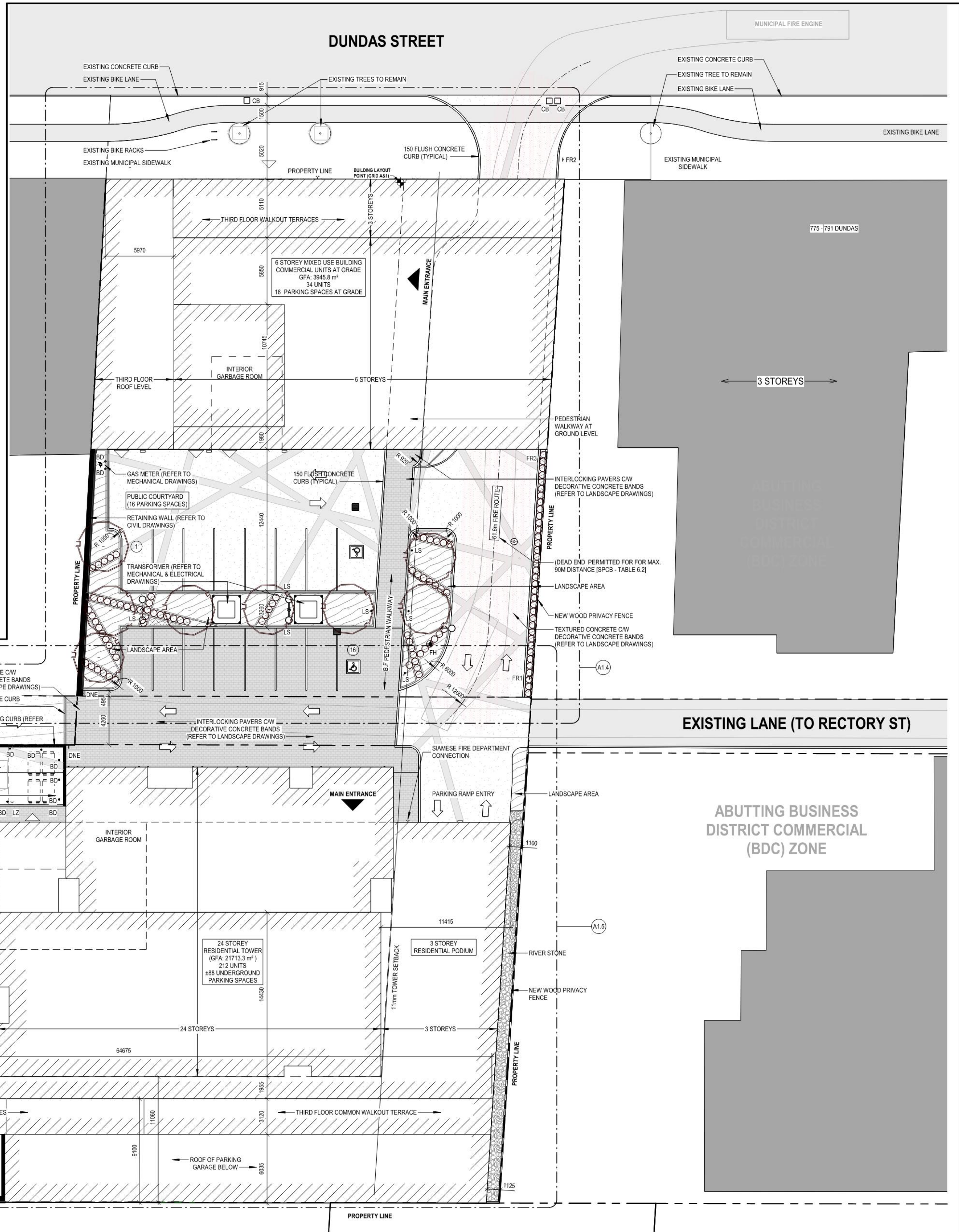
1 Context Site Plan  
 A1.1 1 : 350

Zoning Data Table		
Business District Commercial (BDC-19)		
Lot Area	4737 Sqm	
Dundas Street Facing 6-Storey Building		
Commercial Units	1 (At Grade)	
Residential Units	24 Units	
1-Bed Units	25	
2-Bed Units	6	
3-Bed Units	3	
Total Units	34	
Bedrooms	46	
24-Storey Building		
Residential Units	97	
1-Bed Units	113	
2-Bed Units	3	
Total Units	213	
Bedrooms	330	
Site Data & Regulations		
Total Units on Site	1 Commercial Unit; 247 Residential Units	
Regulations	Required	Proposed
	Dundas Street Facing 6-Storey Building	24-Storey Building
Parking (Visitor Parking added in Calculations)	-	16 Parking Spaces At Grade+ 85 Structured Underground Parking Spaces = 101 4% Barrier Free Parking (5 B.F. Spaces)
Lot Frontage (min)	8m	40.2
Front and Exterior Side Yard Depth (max)	0m	0m
Front Yard Depth (min)	1.2m per 3.0m of main building height or fraction thereof above 12...	0m
Rear Yard Setback (Abutting Residential) (min)	3m + (1.2) each 3m of building height above first 3m	0m
Interior Side Yard Setback (Abutting Residential) (min)	3m + (1.2m) each 3m of building height above the first 3m	1.8m
Interior Side Yard Setback (Abutting Non-Residential) (min)	0m	0m
Lot Coverage (max)	70%	50.7%
Gross Floor Area (max)	2000	3320.7 sq.m
Building Height (max)	12.0m	21.0m (8 storeys)
Density	-	521.3 Units/Hectare
Landscape Open Area Space (min)	-	8.6%
Height of First Storey (min)	-	4.6m
Tower Related Regulations	-	11m Tower Setback
Amenity Area (min)	-	Common Room & Walkout Terrace
Long Term Bicycle Parking (Indoors)	0.9 x Units	0.9 x 34 = 31 Bicycle Parking Spaces
Short Term Bicycle Parking (Outdoors)	0.1 x Units And min. 5 per Building	0.1 x 213 = 22 Bicycle Parking Spaces (min.)

- SITE GENERAL NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE GOOD ALL ASPHALT TO NEW CONDITION AS PER SPECIFICATIONS WHERE DAMAGED AND NOT INDICATED TO BE REPLACED. ALL REPAIRS TO BE DONE TO SATISFACTION OF CONSULTANT.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION AND/OR REMOVALS. REFER ALSO TO MECHANICAL, ELECTRICAL AND SITE SERVICES DRAWINGS.
  - REMOVE AND DISPOSE OF ALL UNSUITABLE SOIL, DEBRIS AND DEMOLISHED MATERIAL OFF SITE. REFER TO SITE SERVICING DRAWINGS AND GEOTECHNICAL REPORT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHORING REQUIRED. PROVIDE IN ACCORDANCE WITH STRUCTURAL DRAWINGS AND ENGINEER'S APPROVAL AS REQUIRED TO ENSURE THE STABILITY OF ALL EXISTING STRUCTURES AND COMPONENTS OF THE WORK POTENTIALLY AFFECTED BY THE NEW CONSTRUCTION.
  - PROVIDE CONSTRUCTION HOARDING AS REQUIRED. REFER TO DRAWING FOR LOCATIONS AND SPECIFICATIONS FOR MINIMUM REQUIREMENTS.
  - PROTECT EXISTING SERVICES TO REMAIN.
  - THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF THE EXISTING BUILDING CONDITIONS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED SOLELY FOR THE CONTRACTORS CONVENIENCE.
  - SNOW STORAGE IS TO BE SHIPPED OFF SITE

**SITE LEGEND**

	MAIN ENTRANCE		TREE PROTECTION BARRIER - REFER TO LANDSCAPE DRAWINGS FOR DETAIL
	SECONDARY ENTRANCE/EXIT		CONSTRUCTION HOARDING
	EXIT ONLY		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE PLAN)
	BARRIER FREE PARKING SYMBOL		TREE (REFER TO LANDSCAPE PLAN)
	VEHICULAR DIRECTION ARROW		GRASS
	BARRIER FREE PATH OF TRAVEL PAVEMENT MARKING		NEW ASPHALT - REFER TO SITE SERVICE DWGS. FOR TYPE
	FIRE ROUTE		EXISTING ASPHALT TO BE DEMOLISHED
	NEW FENCE		NEW CONCRETE SIDEWALK
	EXISTING FENCE TO BE REMOVED		NEW CONCRETE SIDEWALK (SWIRL BROOM FINISH)
	TRAFFIC SIGNS REFER TO DETAILS		EXISTING CONCRETE TO BE REMOVED
	FIRE HYDRANT - REFER TO CIVIL DWGS		INTERLOCKING PAVERS TYPE 'A'
	MAN HOLE - REFER TO CIVIL DWGS		TEXTURED CONCRETE CW CONCRETE BANDING
	CATCH BASIN - REFER TO CIVIL DWGS		EXISTING ROAD
	LIGHT STANDARD - REFER TO ELECTRICAL DWGS		
	BOLLARD - REFER TO DETAILS		
	FLAG POLE - REFER TO DETAILS		
	FIRE DEPARTMENT CONNECTION (WALL MOUNTED)		



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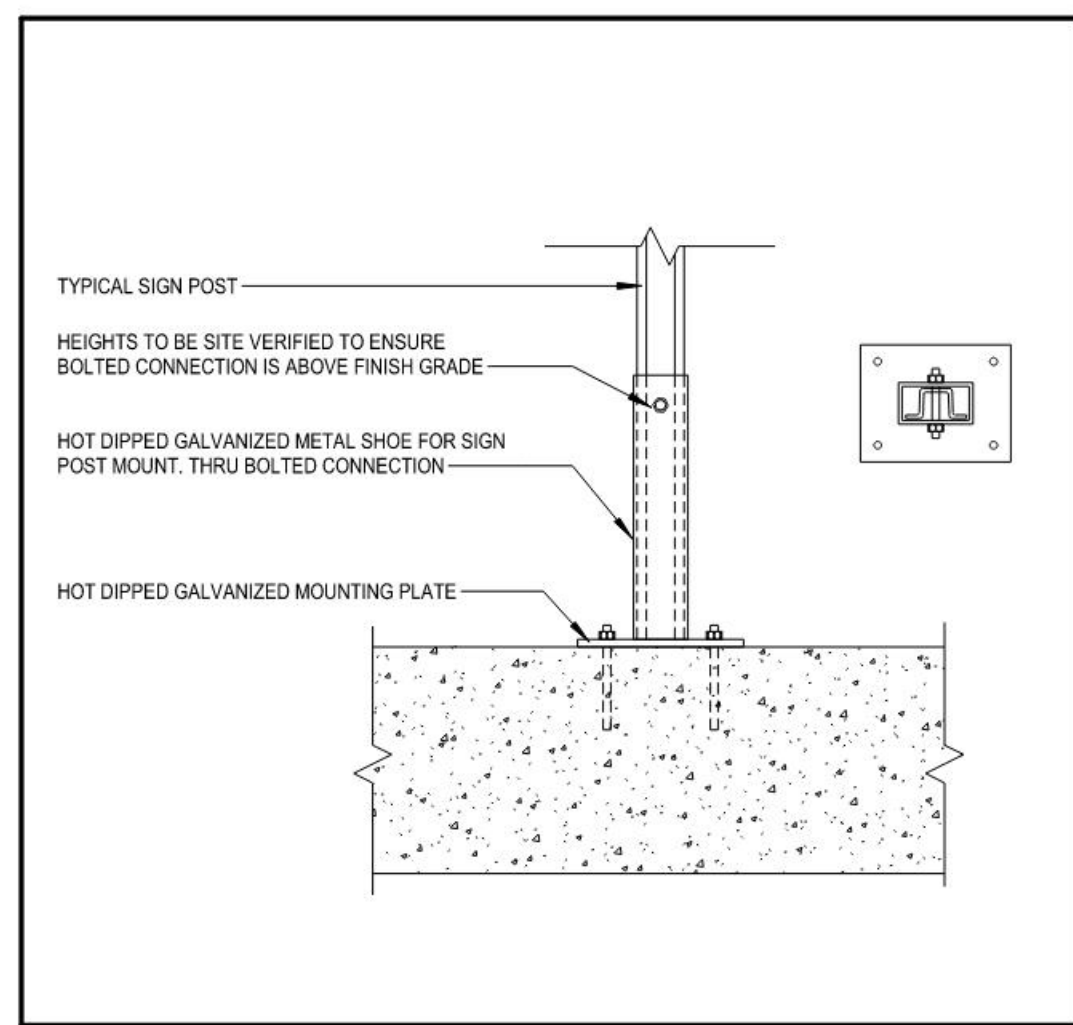
Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

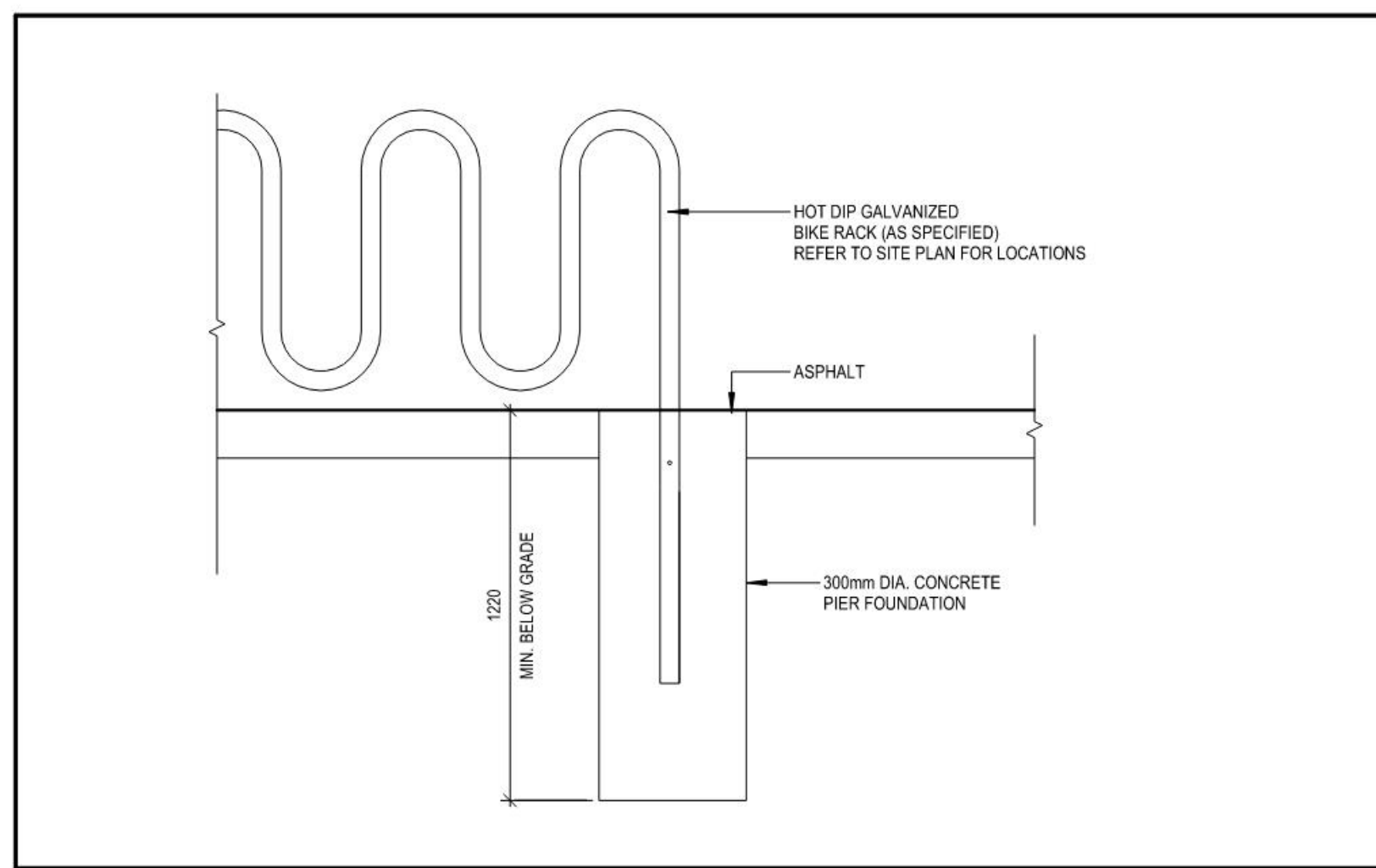
Drawing  
**Overall Site Plan**

Project No.	21-21	Drawing No.	A1.2
Scale	As Indicated		
Drawn by	OTJ/JR/DS		
Checked by	Checker		
Date	August 20, 2024		

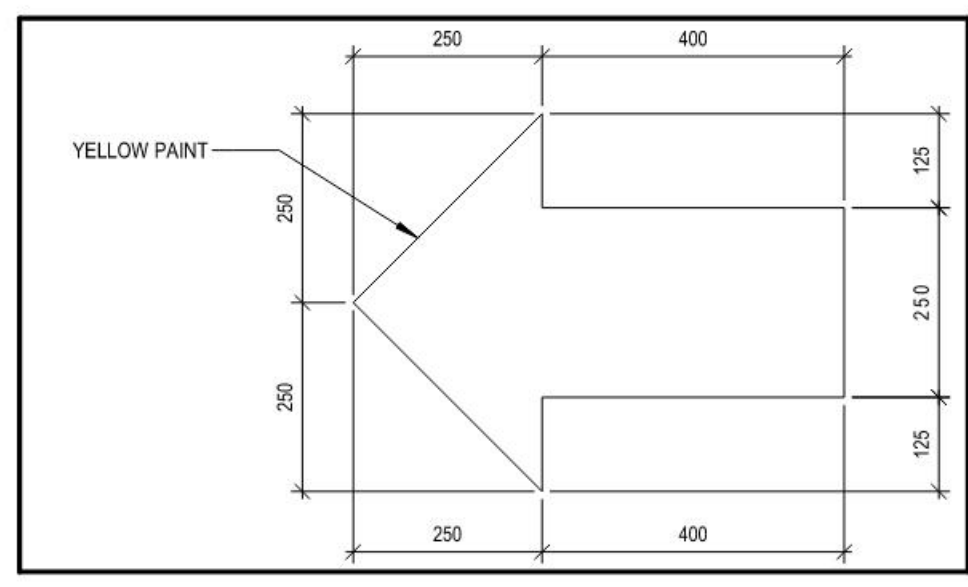
Firm Name: Nicholson Sheffield Architects Inc. 358 Talbot Street London, Ontario N6A 2R6		Building Code Reference:
Certificate of Practice Number: 4823		
Name of Project: LCCLC - 24-Storey Building		
Location: 769 Dundas Street, London, ON, N5W 2Z6		
Ontario Building Code Data Matrix Part 3		
3.00 Building Code	O_Reg_332/12 Last Amendment O_Reg_191/14	
3.01 Project Type	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of Use Description: New 24 Storey Residential Tower With 3 Storey Podium	[A] 1.1.2.
3.02 Major Occupancy Classification	Occupancy Use: Residential Group: C	3.1.2.1.(1)
3.03 Superimposed Major Occupancies	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: N/A	3.2.2.7.
3.04 Building Area (m <sup>2</sup> )	Description: Residential New Total: 15,576.57	[A] 1.4.1.2.
3.05 Gross Area (m <sup>2</sup> )	Description: Above Ground P1 floor = 2465.56 m <sup>2</sup> P2 floor = 1597.5 m <sup>2</sup> 1st floor = 2159.71 m <sup>2</sup> 2nd floor = 1461.52 m <sup>2</sup> 3rd floor = 1461.52 m <sup>2</sup> 4th-23rd floor = 830.65 m <sup>2</sup> 24th floor = 756.37 m <sup>2</sup> Total = 26515.18 m <sup>2</sup>	[A] 1.4.1.2.
3.06 Mezzanine Area (m <sup>2</sup> )	Description: N/A New Total	[A] 1.4.1.2.
3.07 Building Height	24 Storeys above grade 77.2 (m) Above grade 2 Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.
3.08 High Building	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	3.2.6.
3.09 Number of Streets/Firefighter access:	2 street(s)	3.2.2.10. & 3.2.5.
3.10 Building Classification (Size and Construction Relative to Occupancy)	3.2.2.4.2 Group/Div: Group C	3.2.2.20.-83.
3.11 Sprinkler System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Entire building <input type="checkbox"/> Selected floor areas <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None	3.2.1.5. & 3.2.2.17.
3.12 Standpipe System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.9.
3.13 Fire Alarm System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None	3.2.4.
3.14 Water Service/Supply is adequate:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	
3.15 Construction Type:	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	3.2.2.20.-83. & 3.2.1.4.
3.16 Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor Storage Building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & T.4.1.2.1.B
3.17 Seismic Hazard Index:	(If Fa Sa(0.2)) = Seismic design required for Table 4.1.1.18, Items 6 to 21: (If Fa Sa(0.2)) > 0.35 or Post-disaster <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	4.1.2.1.(3) & 4.1.8.18.(2)
3.18 Occupant Load:	Floor Level/Area Occupancy Type Based On Occupant Load (Persons) Level 1 Residential 3.1.17.1(1)(b) 40 Level 2 Residential 3.1.17.1(1)(b) 48 Level 3 Residential 3.1.17.1(1)(b) 24 Level 4 Residential 3.1.17.1(1)(b) 494 Level 5-23 Residential 3.1.17.1(1)(b) 26 Level 24 Residential 3.1.17.1(1)(b) 26 Total: 632	3.1.17.
3.19 Barrier-Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Access to B.F Units	3.8.
3.20 Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: New 24 Storey Residential Tower With 3 Storey Podium	3.3.1.2. & 3.3.1.19.
3.21 Required Fire Resistance Ratings:	Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating? Floors over basement N/A No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Floor 2HR.FRR 2HR.FRR No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Mezzanine 1HR.FRR 1HR.FRR No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof N/A N/A No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	3.3.2.20.-83. & 3.2.1.4.
3.22 Spatial Separation:	Wall EBF Area (m <sup>2</sup> ) L.D. (m) LH OR HL Required FRR (H) Construction Type Required Cladding Type Required Non-combustible Non-combustible Non-combustible Non-combustible Non-combustible Non-combustible Non-combustible Non-combustible	3.2.2.20.-83. & 3.2.3.
3.23 Plumbing Fixture Requirements:	Ratio: Male/Female = 50/50 Except as noted otherwise Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided See Note 1.	3.7.4.
3.24 Energy Efficiency:	Compliance Path: Climate Zone: Climate Zone 5	
3.25 Notes:	Note 1: Washroom Per Suite + 1 Universal Washroom	



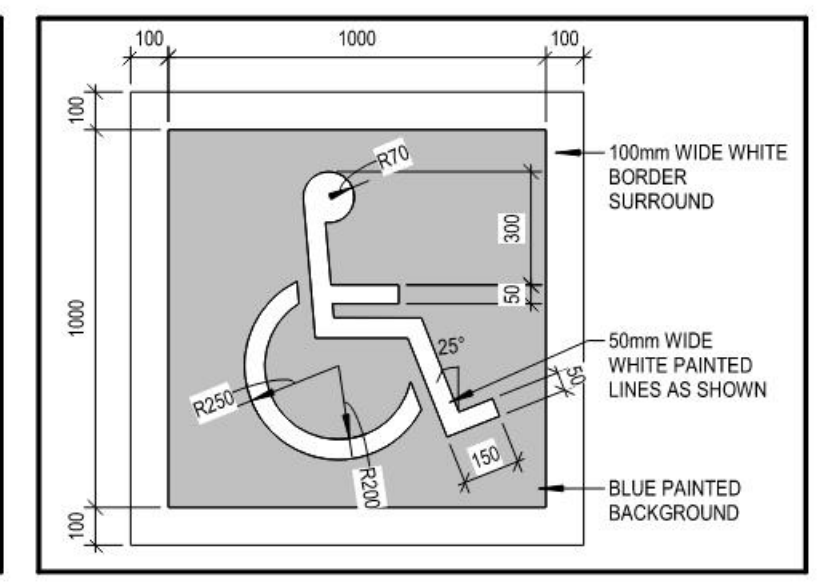
13 TYPICAL SIGN BASE ABOVE U/G PARKING  
A1.3 1:10



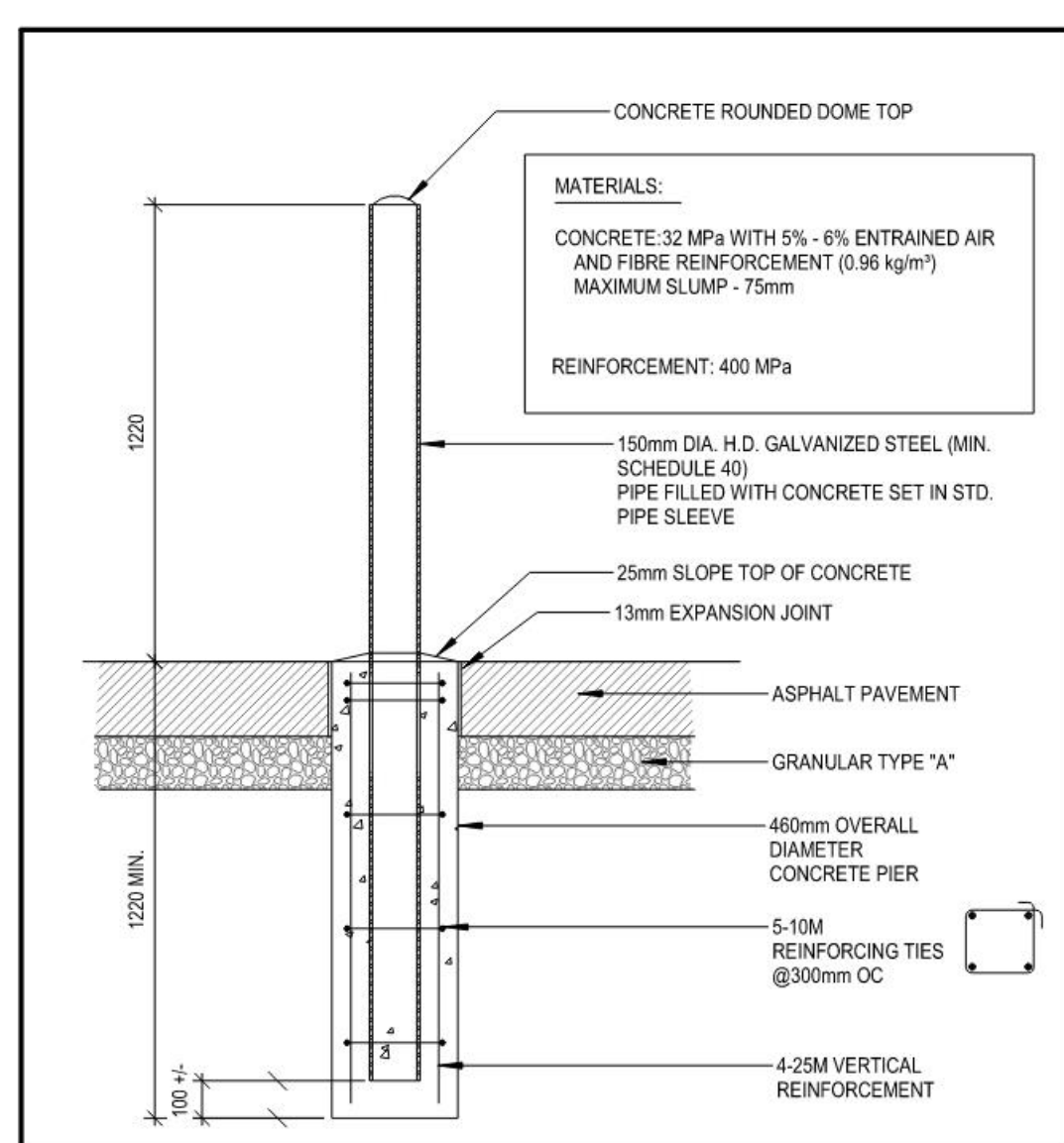
12 BIKE RACK ANCHORING DETAIL  
A1.3 1:20



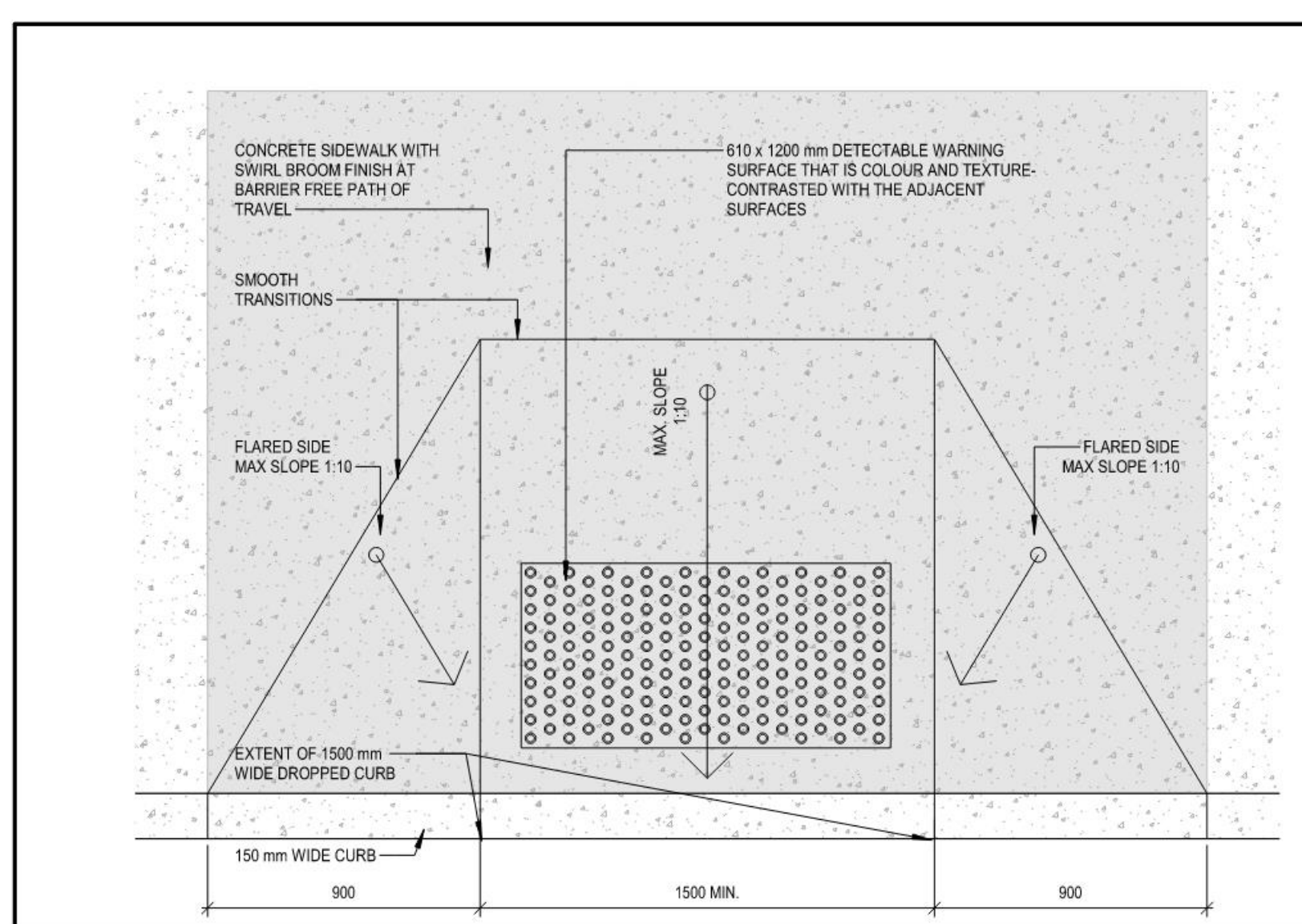
11 PARKING ARROW PAINT  
A1.3 1:10



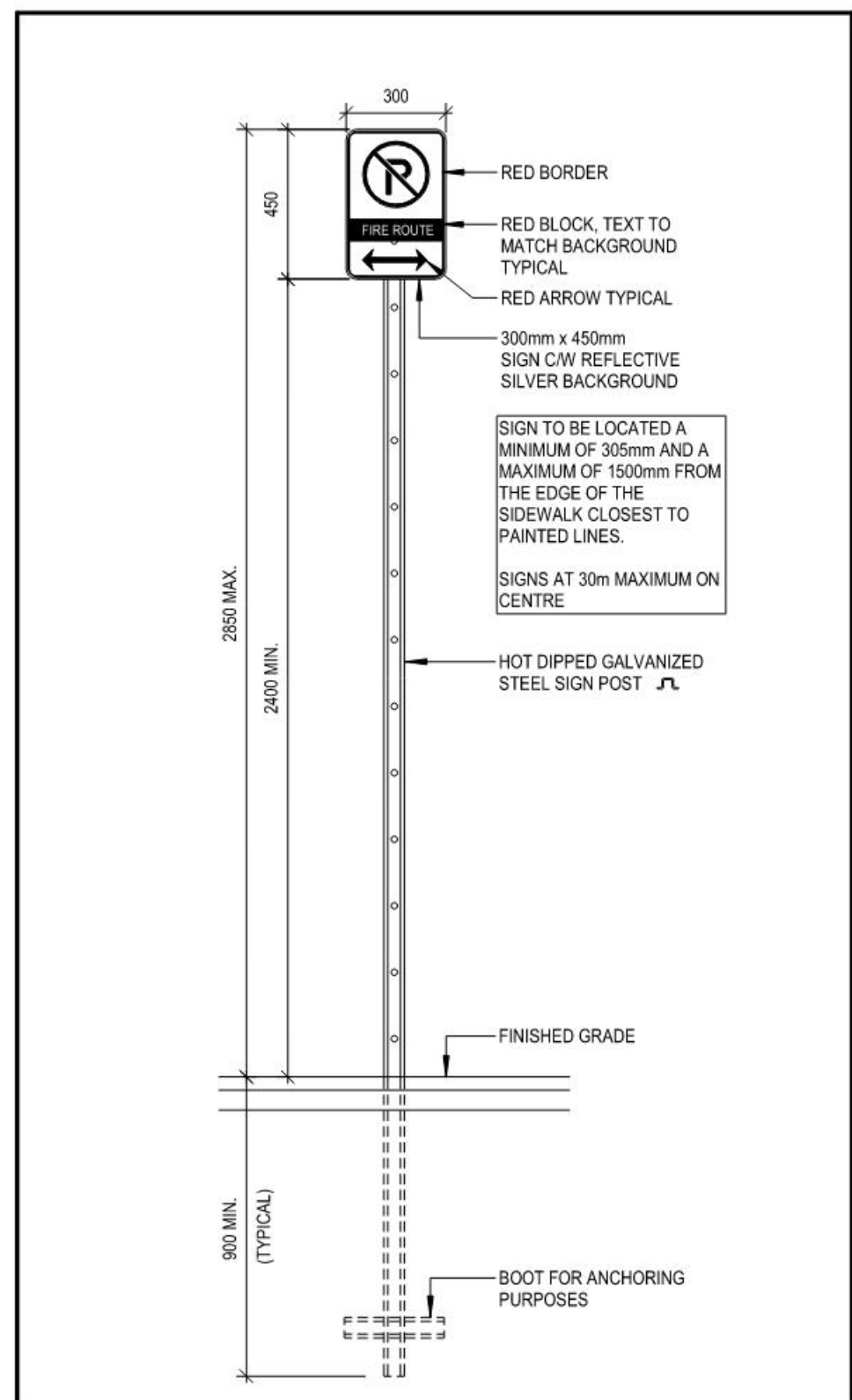
10 BF PAINT  
A1.3 1:20



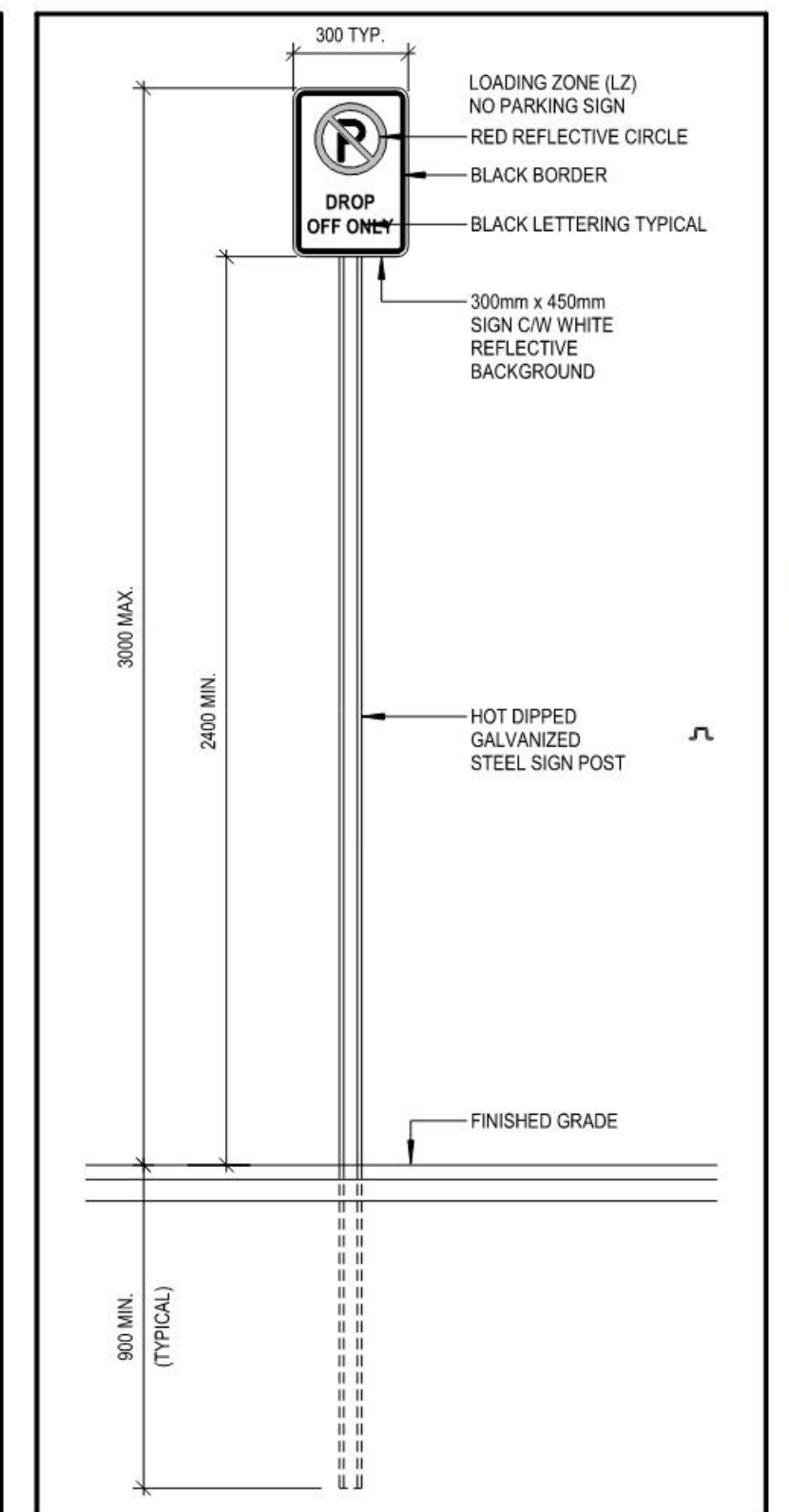
9 BOLLARD DETAIL  
A1.3 1:20



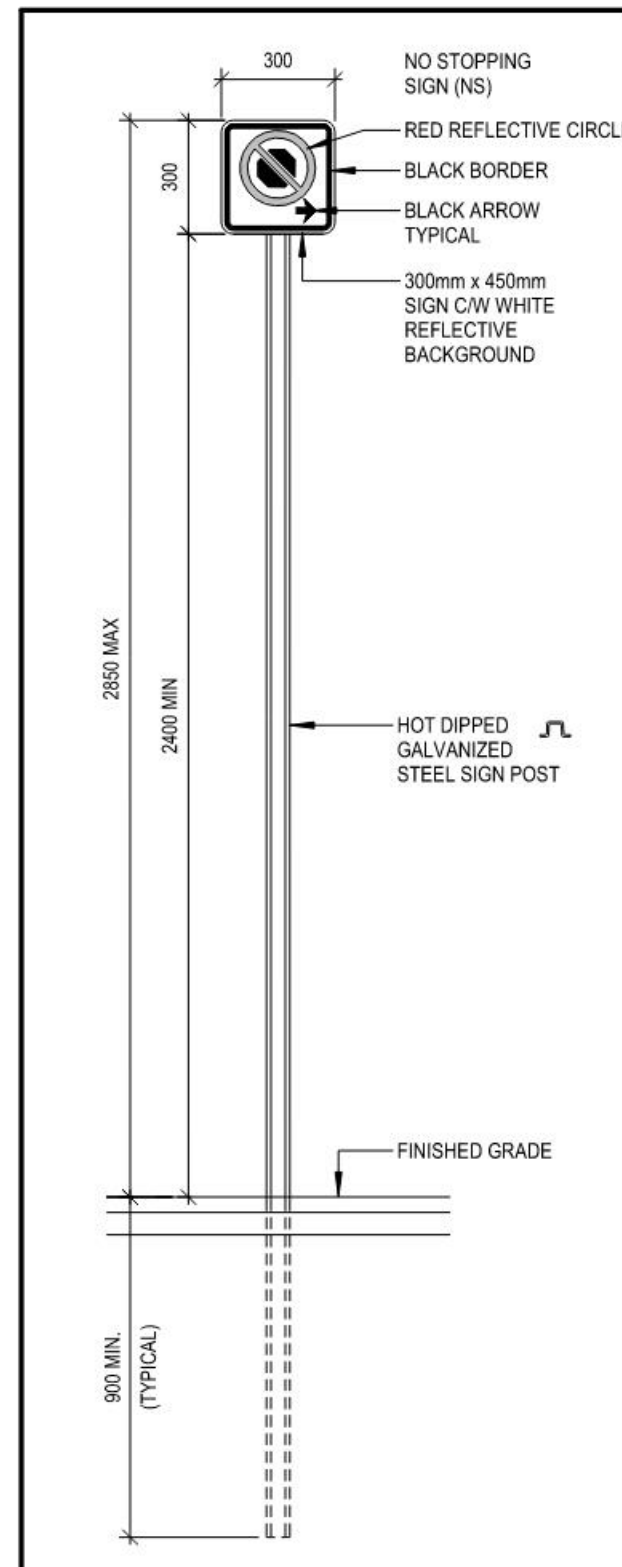
8 TYPICAL CURB CUT DETAIL  
A1.3 1:20



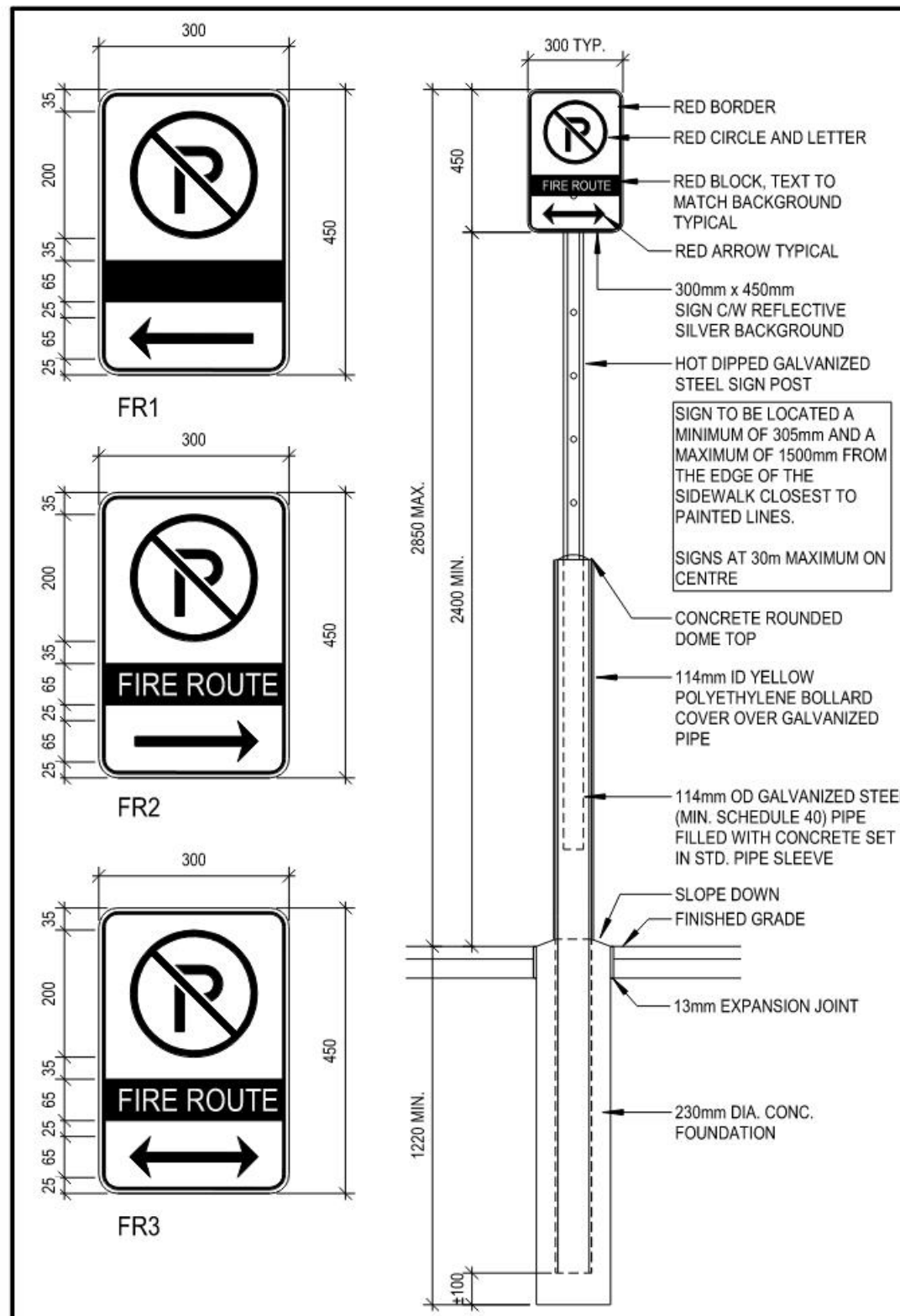
7 FIRE ROUTE SIGN (FR)  
A1.3 1:20



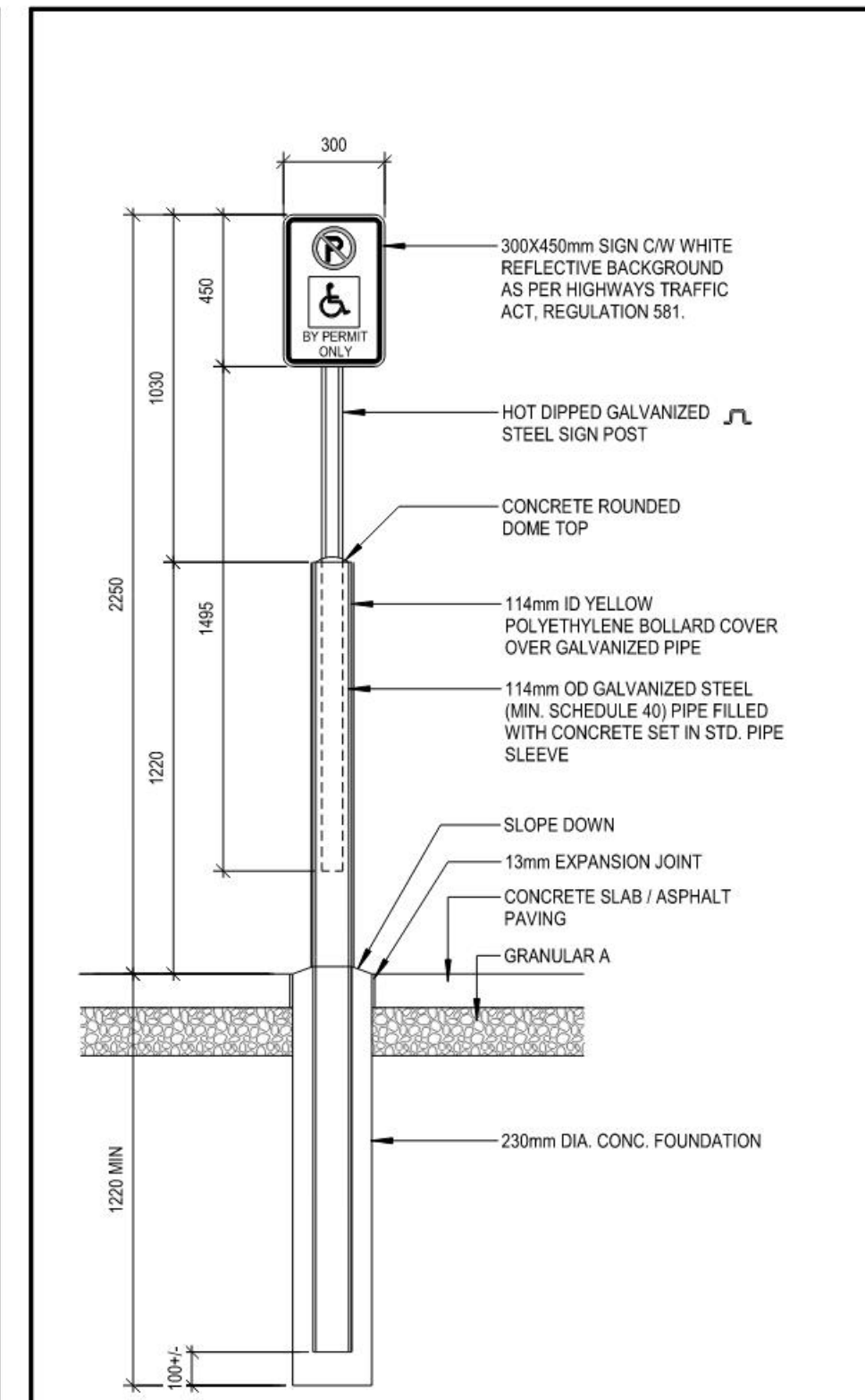
6 LOADING ZONE (LZ)  
A1.3 1:20



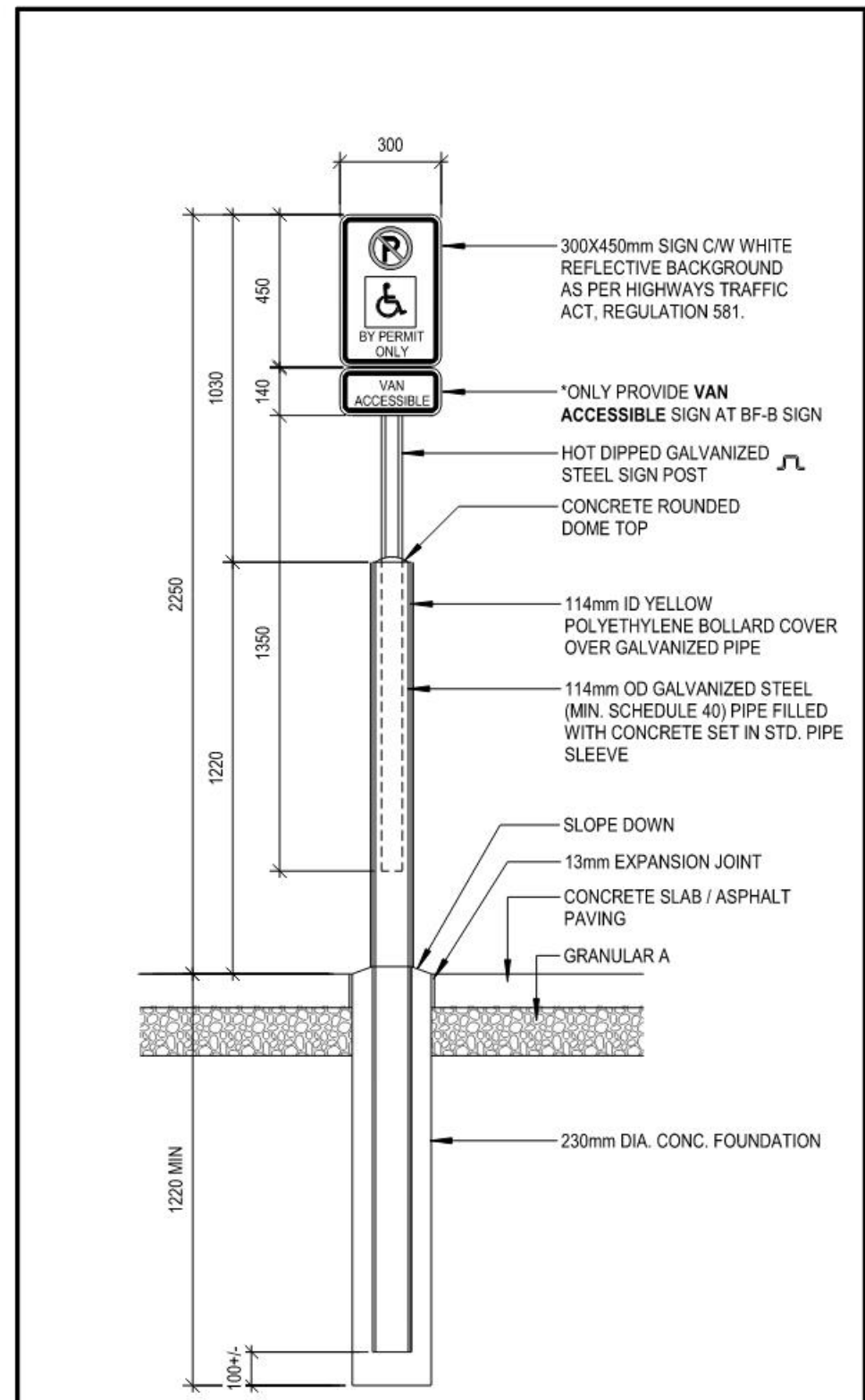
5 NO STOPPING (NS)  
A1.3 1:20



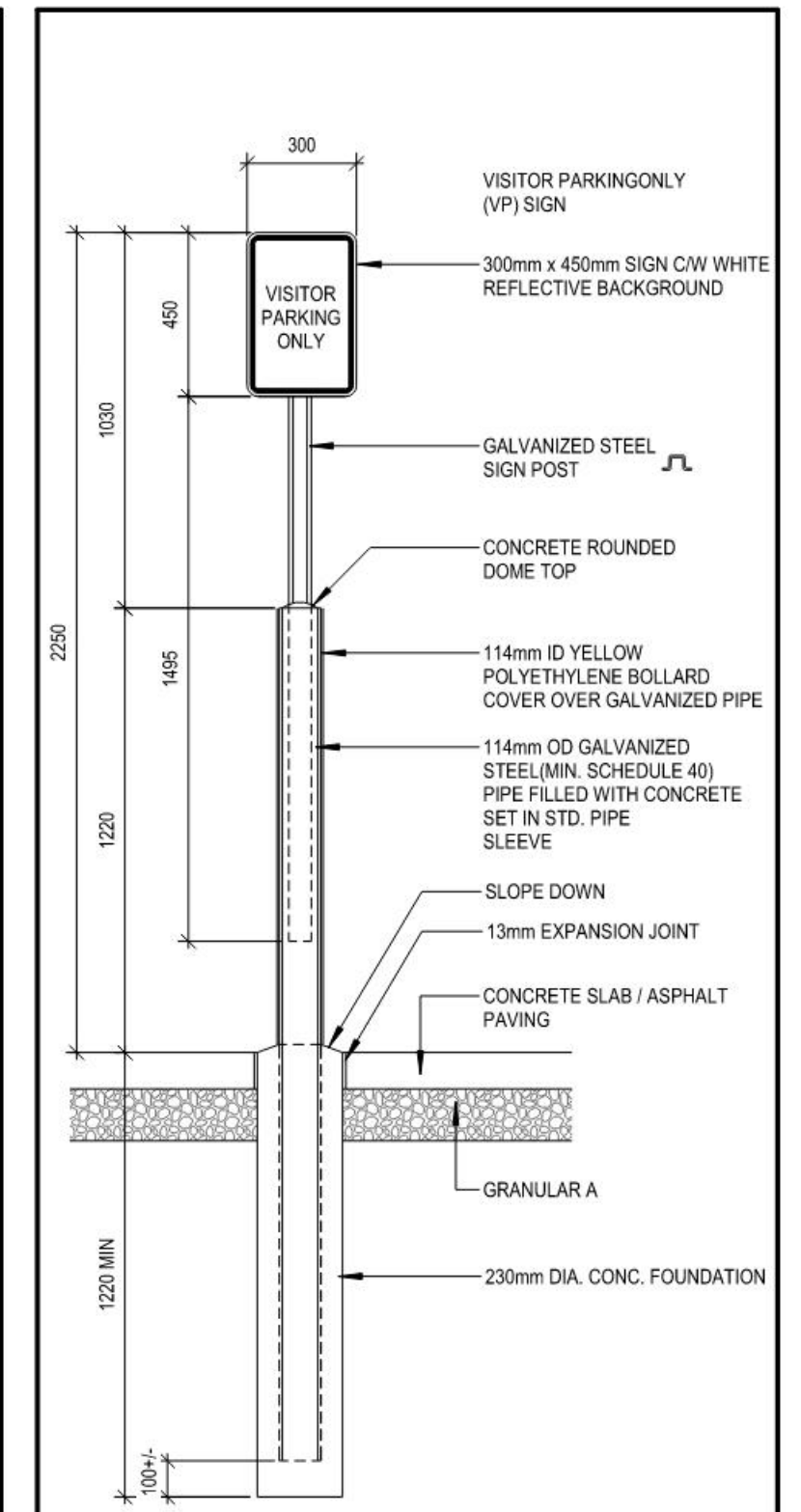
4 FIRE ROUTE SIGN (FR)  
A1.3 1:20



3 BARRIER FREE SIGN (BFA) - HARD FDN  
A1.3 1:20



2 BARRIER FREE SIGN (BFB) - HARD FDN  
A1.3 1:20



1 VISITOR PARKING (VP)  
A1.3 1:20

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Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Site Plan Details & OBC Matrix - 24 Storey Building**

Project No.	21-21	Drawing No.	
Scale	As Indicated		
Drawn by	JR		
Checked by	Checker		
Date	August 20, 2024		

A1.3

Firm Name: Nicholson Sheffield Architects Inc. 358 Talbot Street London, Ontario N6A 2R6		Building Code Reference																								
Certificate of Practice Number: 4823																										
Name of Project: LCCLC - Dundas Street Facing 5-Storey Building																										
Location: 769 Dundas Street, London, ON, N5W 2Z6																										
Ontario Building Code Data Matrix Part 3																										
3.00	Building Code: O_Reg_332/12 Last Amendment: O_Reg_191/14																									
3.01	Project Type: <input type="checkbox"/> Addition New Construction <input type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of Use Description: <u>New 6 Storey Residential Apartment Building With Commercial Units At Grade</u>	[A] 1.1.2.																								
3.02	Major Occupancy Classification: <u>Occupancy Group C</u> <u>Use Residential</u> Group E <u>Mercantile</u>	3.1.2.1.(1)																								
3.03	Superimposed Major Occupancies: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Description: <u>4 Commercial Units At Grade</u>	3.2.2.7.																								
3.04	Building Area (m <sup>2</sup> ): Description: <u>Mixed use Residential</u> Existing: <u>948.8 m<sup>2</sup></u> New: <u>948.8 m<sup>2</sup></u> Total: <u>1897.6 m<sup>2</sup></u>	[A] 1.4.1.2.																								
3.05	Gross Area (m <sup>2</sup> ): Description: <u>Mixed use Residential</u> Existing: <u>948.8 m<sup>2</sup></u> New: <u>948.8 m<sup>2</sup></u> Total: <u>1897.6 m<sup>2</sup></u>	[A] 1.4.1.2.																								
3.06	Mezzanine Area (m <sup>2</sup> ): Description: <u>N/A</u> Existing: <u>0 m<sup>2</sup></u> New: <u>0 m<sup>2</sup></u> Total: <u>0 m<sup>2</sup></u>	[A] 1.4.1.2.																								
3.07	Building Height: <u>6</u> Storeys above grade <u>20.99</u> (m) Above grade <u>0</u> Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.																								
3.08	High Building: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	3.2.6.																								
3.09	Number of Streets/Firefighter access: <u>1</u> street(s)	3.2.2.10. & 3.2.5.																								
3.10	Building Classification (Size and Construction Relative to Occupancy): <u>3.2.2.4.3</u> Group/Div: <u>Group C</u>	3.2.2.20-43.																								
3.11	Sprinkler System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None	3.2.1.5. & 3.2.2.17.																								
3.12	Standpipe System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.9.																								
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3.16	Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor Storage Building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & 4.1.2.1.B																								
3.17	Seismic Hazard Index: (If Fa Sa(0.2)) = <u>        </u> Seismic design required for Table 4.1.1.18, Items 6 to 21: (If Fa Sa(0.2)) ≥ 0.35 or Post-disaster <input type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1.(3) & 4.1.8.18.(2)																								
3.18	Occupant Load: <table border="1"><thead><tr><th>Floor Level/Area</th><th>Occupancy</th><th>Based On</th><th>Occupant Load (Person)</th></tr></thead><tbody><tr><td>Level 1</td><td>Commercial</td><td>T.3.1.17.1</td><td>Area/1.37m<sup>2</sup> Person 267/3.7 = 73</td></tr><tr><td>Level 2</td><td>Residential</td><td>3.1.17.1.(1)(b)</td><td>9x2=18x1=18</td></tr><tr><td>Level 3</td><td>Residential</td><td>3.1.17.1.(1)(b)</td><td>12x2=24x1=24</td></tr><tr><td>Level 4-6</td><td>Residential</td><td>3.1.17.1.(1)(b)</td><td>11x2=22x3=66</td></tr><tr><td colspan="3"></td><td><b>Total: 165</b></td></tr></tbody></table>	Floor Level/Area	Occupancy	Based On	Occupant Load (Person)	Level 1	Commercial	T.3.1.17.1	Area/1.37m <sup>2</sup> Person 267/3.7 = 73	Level 2	Residential	3.1.17.1.(1)(b)	9x2=18x1=18	Level 3	Residential	3.1.17.1.(1)(b)	12x2=24x1=24	Level 4-6	Residential	3.1.17.1.(1)(b)	11x2=22x3=66				<b>Total: 165</b>	3.1.17.
Floor Level/Area	Occupancy	Based On	Occupant Load (Person)																							
Level 1	Commercial	T.3.1.17.1	Area/1.37m <sup>2</sup> Person 267/3.7 = 73																							
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Level 4-6	Residential	3.1.17.1.(1)(b)	11x2=22x3=66																							
			<b>Total: 165</b>																							
3.19	Barrier-Free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: <u>Access to B.F Units</u>	3.8.																								
3.20	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: <u>New 6 Storey Residential Apartment Building</u>	3.3.1.2. & 3.3.1.19.																								
3.21	Required Fire Resistance Ratings: <table border="1"><thead><tr><th>Horizontal Assembly</th><th>Rating</th><th>Supporting Assembly (H)</th><th>Noncombustible in lieu of rating?</th></tr></thead><tbody><tr><td>Floors over basement</td><td>N/A</td><td>N/A</td><td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td></tr><tr><td>Floors</td><td>1HR FRR</td><td>1HR FRR</td><td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td></tr><tr><td>Mezzanine</td><td>1HR FRR</td><td>1HR FRR</td><td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td></tr><tr><td>Roof</td><td>N/A</td><td>N/A</td><td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td></tr></tbody></table>	Horizontal Assembly	Rating	Supporting Assembly (H)	Noncombustible in lieu of rating?	Floors over basement	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Floors	1HR FRR	1HR FRR	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Mezzanine	1HR FRR	1HR FRR	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Roof	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	3.3.2.20-43. & 3.3.1.4.				
Horizontal Assembly	Rating	Supporting Assembly (H)	Noncombustible in lieu of rating?																							
Floors over basement	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A																							
Floors	1HR FRR	1HR FRR	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A																							
Mezzanine	1HR FRR	1HR FRR	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A																							
Roof	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A																							
3.22	Spatial Separation: <table border="1"><thead><tr><th>Wall</th><th>EBF Area (m<sup>2</sup>)</th><th>L/D OR HL</th><th>Req'd FRR (H)</th><th>Construction Type Required</th><th>Cladding Type Required</th></tr></thead><tbody><tr><td></td><td></td><td></td><td></td><td><input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible</td><td><input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible</td></tr></tbody></table>	Wall	EBF Area (m <sup>2</sup> )	L/D OR HL	Req'd FRR (H)	Construction Type Required	Cladding Type Required					<input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible	3.2.2.20-43. & 3.2.3.												
Wall	EBF Area (m <sup>2</sup> )	L/D OR HL	Req'd FRR (H)	Construction Type Required	Cladding Type Required																					
				<input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible	<input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible																					
3.23	Plumbing Fixture Requirements: Ratio: <u>Male:Female = 50:50</u> Except as noted otherwise. Floor Level/Area: <u>        </u> Occupant Load: <u>        </u> CBC Reference: <u>        </u> Fixtures Required: <u>        </u> Fixtures Provided: <u>        </u> See Note 1.	3.7.4.																								
3.24	Energy Efficiency: Compliance Path: <u>        </u> Climate Zone: <u>Climate Zone 5</u>																									
3.25	Notes: <u>Note 1: Washroom Per Suite + 1 Universal Washroom</u>																									

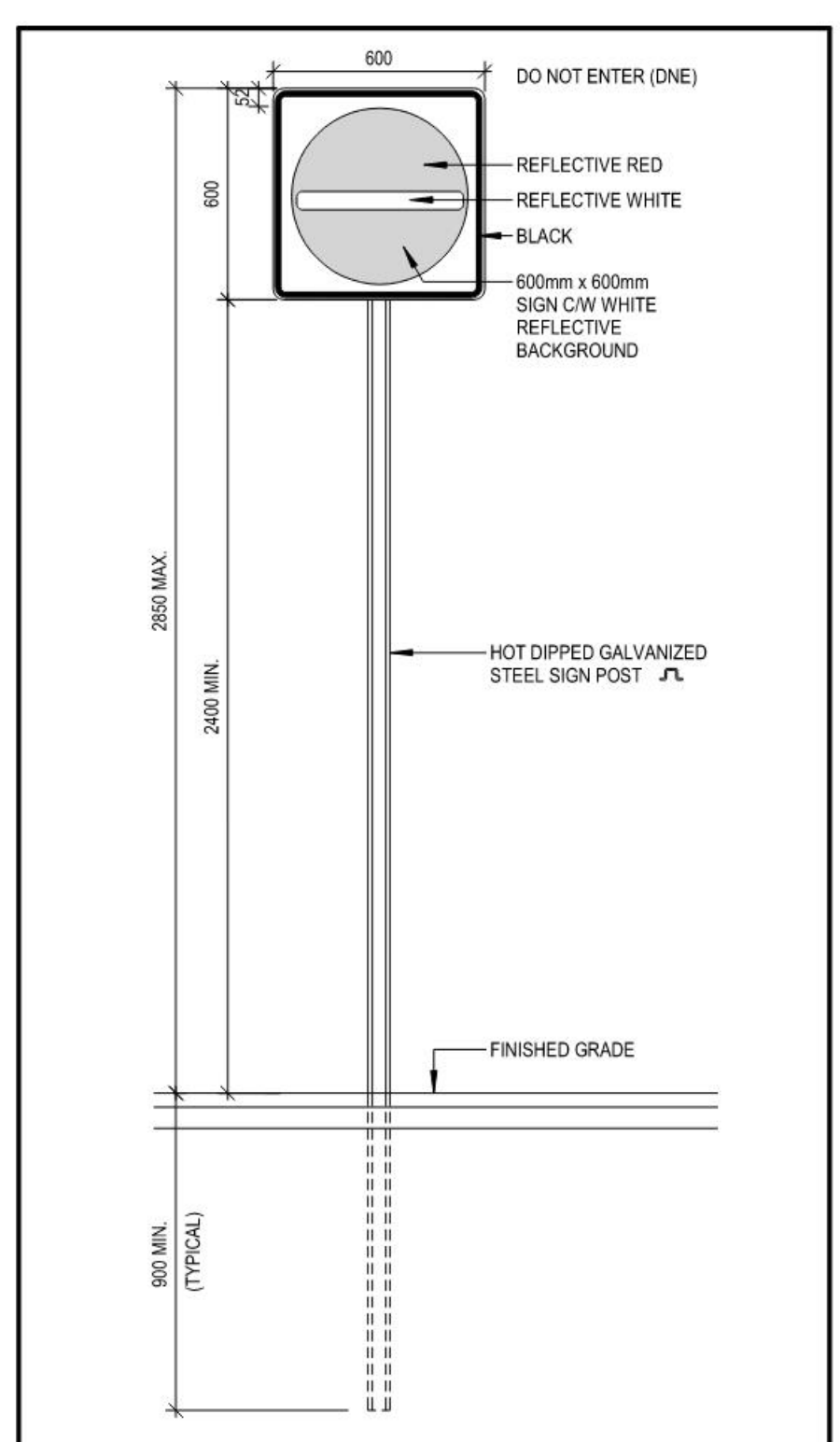
\* All references are to Division B of the OBC unless provided by (A) for Division A and (C) for Division C.

No.	Revision	Date
1	Issued for ZBA	2024.08.06

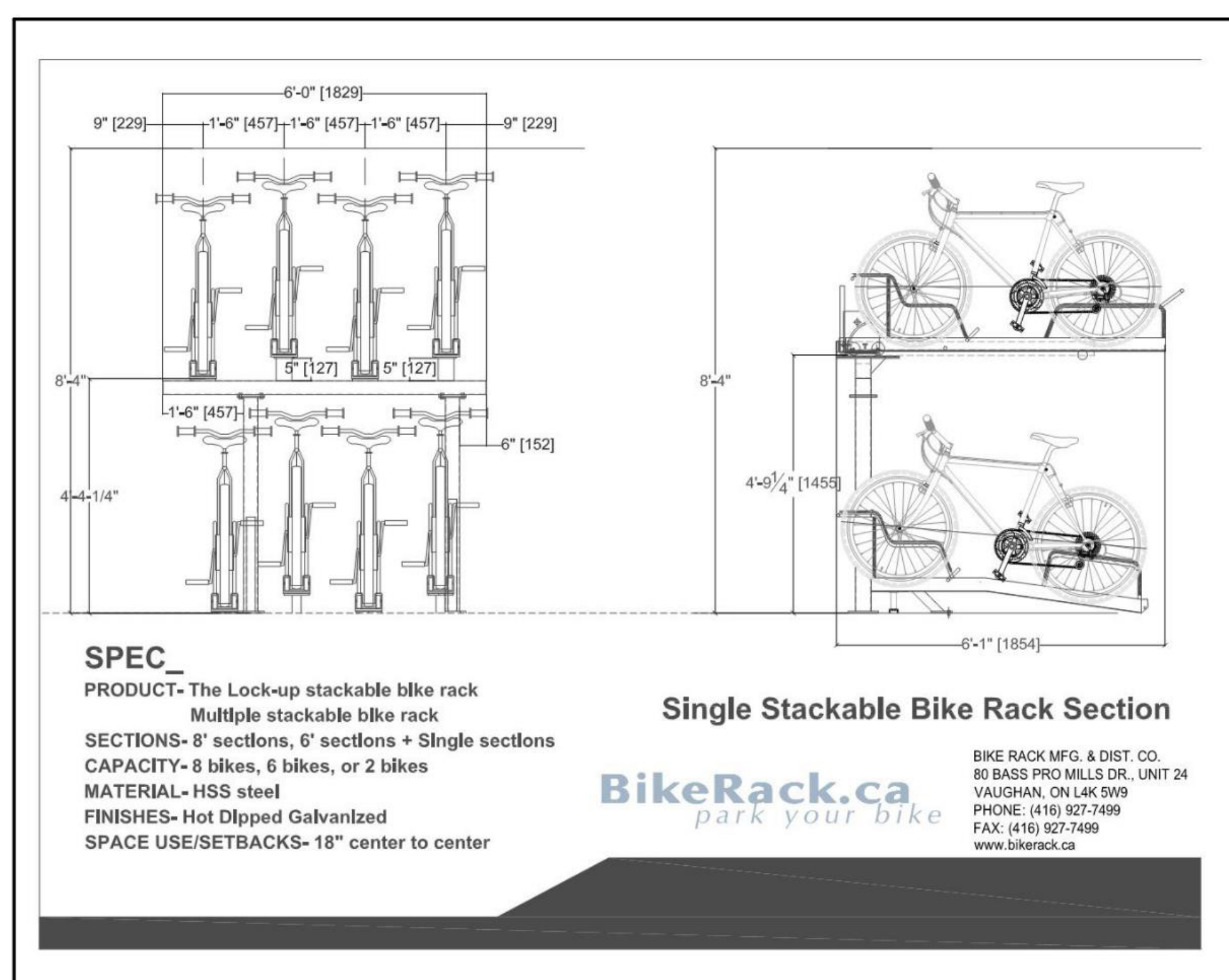


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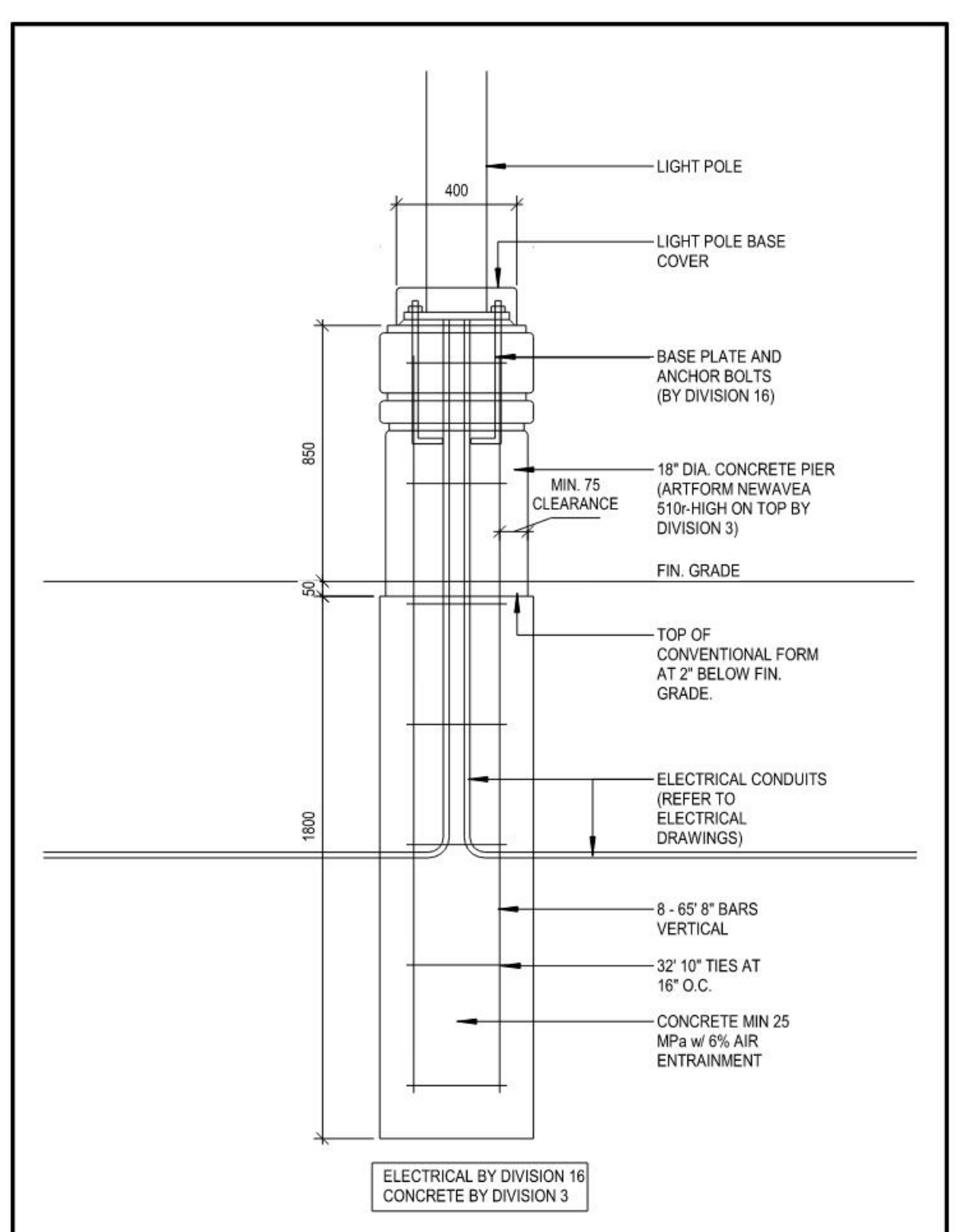
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**3 DO NOT ENTER (DNE)**  
A1.3b 1 : 20



**2 INTERNAL BIKE STORAGE - STACKED BIKE RACK (N.I.C.)**  
A1.3b 1 : 1



**1 LIGHT STANDARD DETAIL**  
A1.3b 1 : 20

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Project  
**Welcome Home - Old East Village Apartments**  
769 Dundas Street, London ON  
ONTARIO N5W 2Z6

Drawing  
**Site Plan Details & OBC Matrix - 6 Storey Building**

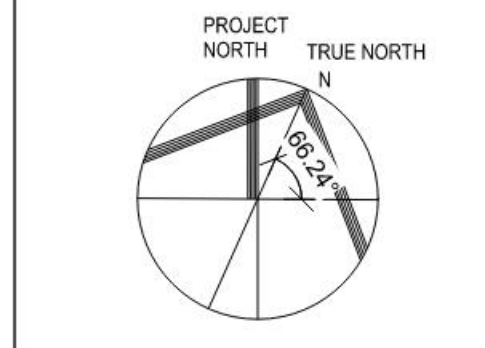
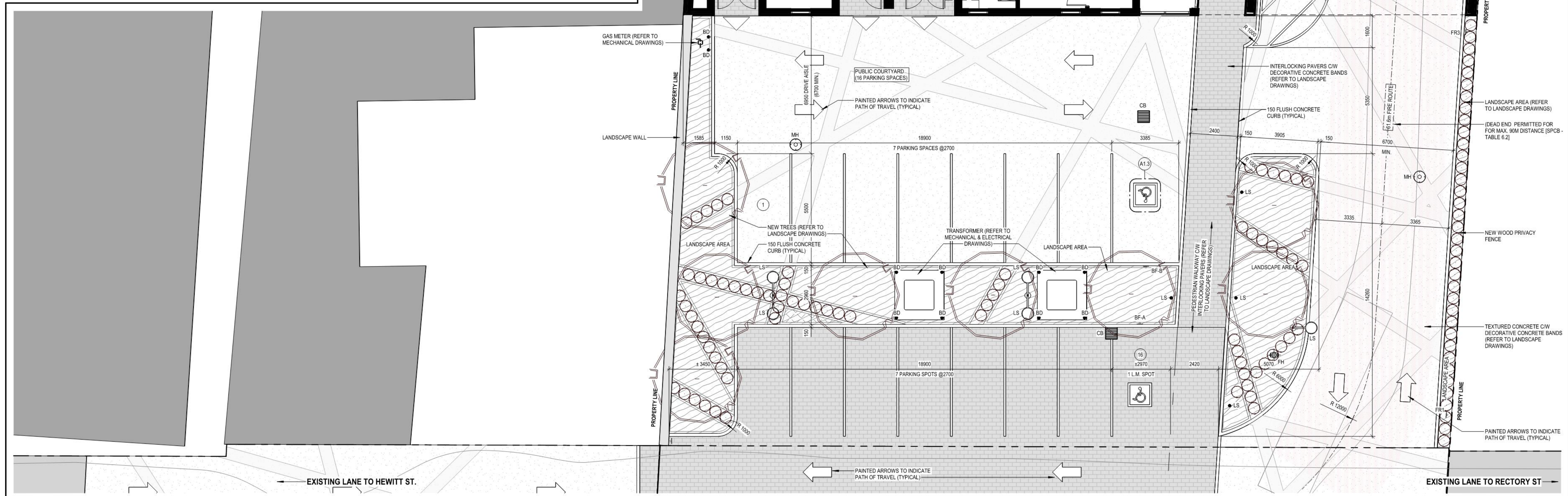
Project No.	21-21	Drawing No.	
Scale	As Indicated	Drawn by	JR/OT
Checked by	TW/DP	Date	August 21, 2024

**A1.3b**

- SITE GENERAL NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE TO MAKE GOOD ALL ASPHALT TO NEW CONDITION AS PER SPECIFICATIONS WHERE DAMAGED AND NOT INDICATED TO BE REPLACED. ALL REPAIRS TO BE DONE TO SATISFACTION OF CONSULTANT.
  2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION AND/OR REMOVALS. REFER ALSO TO MECHANICAL, ELECTRICAL AND SITE SERVICES DRAWINGS.
  3. REMOVE AND DISPOSE OF ALL UNSUITABLE SOIL, DEBRIS AND DEMOLISHED MATERIAL OFF SITE. REFER TO SITE SERVICING DRAWINGS AND GEOTECHNICAL REPORT.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHORING REQUIRED. PROVIDE IN ACCORDANCE WITH STRUCTURAL DRAWINGS AND ENGINEER'S APPROVAL AS REQUIRED TO ENSURE THE STABILITY OF ALL EXISTING STRUCTURES AND COMPONENTS OF THE WORK POTENTIALLY AFFECTED BY THE NEW CONSTRUCTION.
  5. PROVIDE CONSTRUCTION HOARDING AS REQUIRED. REFER TO DRAWING FOR LOCATIONS AND SPECIFICATIONS FOR MINIMUM REQUIREMENTS.
  6. PROTECT EXISTING SERVICES TO REMAIN.
  7. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF THE EXISTING BUILDING CONDITIONS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED SOLELY FOR THE CONTRACTORS CONVENIENCE.
  8. SNOW STORAGE IS TO BE SHIPPED OFF SITE.

**SITE LEGEND**

	MAIN ENTRANCE		TREE PROTECTION BARRIER - REFER TO LANDSCAPE DRAWINGS FOR DETAIL
	SECONDARY ENTRANCE/EXIT		CONSTRUCTION HOARDING
	EXIT ONLY		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE PLAN)
	BARRIER FREE PARKING SYMBOL		TREE (REFER TO LANDSCAPE PLAN)
	VEHICULAR DIRECTION ARROW		GRASS
	BARRIER FREE PATH OF TRAVEL PAVEMENT MARKING		NEW ASPHALT - REFER TO SITE SERVICE DWGS. FOR TYPE
	FIRE ROUTE		EXISTING ASPHALT TO BE DEMOLISHED
	NEW FENCE		NEW CONCRETE SIDEWALK
	EXISTING FENCE TO BE REMOVED		NEW CONCRETE SIDEWALK (SWIRL BROOM FINISH)
	TRAFFIC SIGNS REFER TO DETAILS		EXISTING CONCRETE TO BE REMOVED
	FIRE HYDRANT - REFER TO CIVIL DWGS		INTERLOCKING PAVERS TYPE 'A'
	MAN HOLE - REFER TO CIVIL DWGS		TEXTURED CONCRETE C/W CONCRETE BANDING
	CATCH BASIN - REFER TO CIVIL DWGS		EXISTING ROAD
	LIGHT STANDARD - REFER TO ELECTRICAL DWGS		
	BOLLARD - REFER TO DETAILS		
	FLAG POLE - REFER TO DETAILS		
	FIRE DEPARTMENT CONNECTION (WALL MOUNTED)		



No.	Revision	Date
1	Issued for ZBA	2024.08.20



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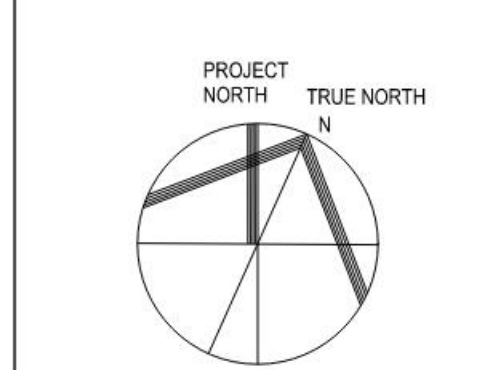
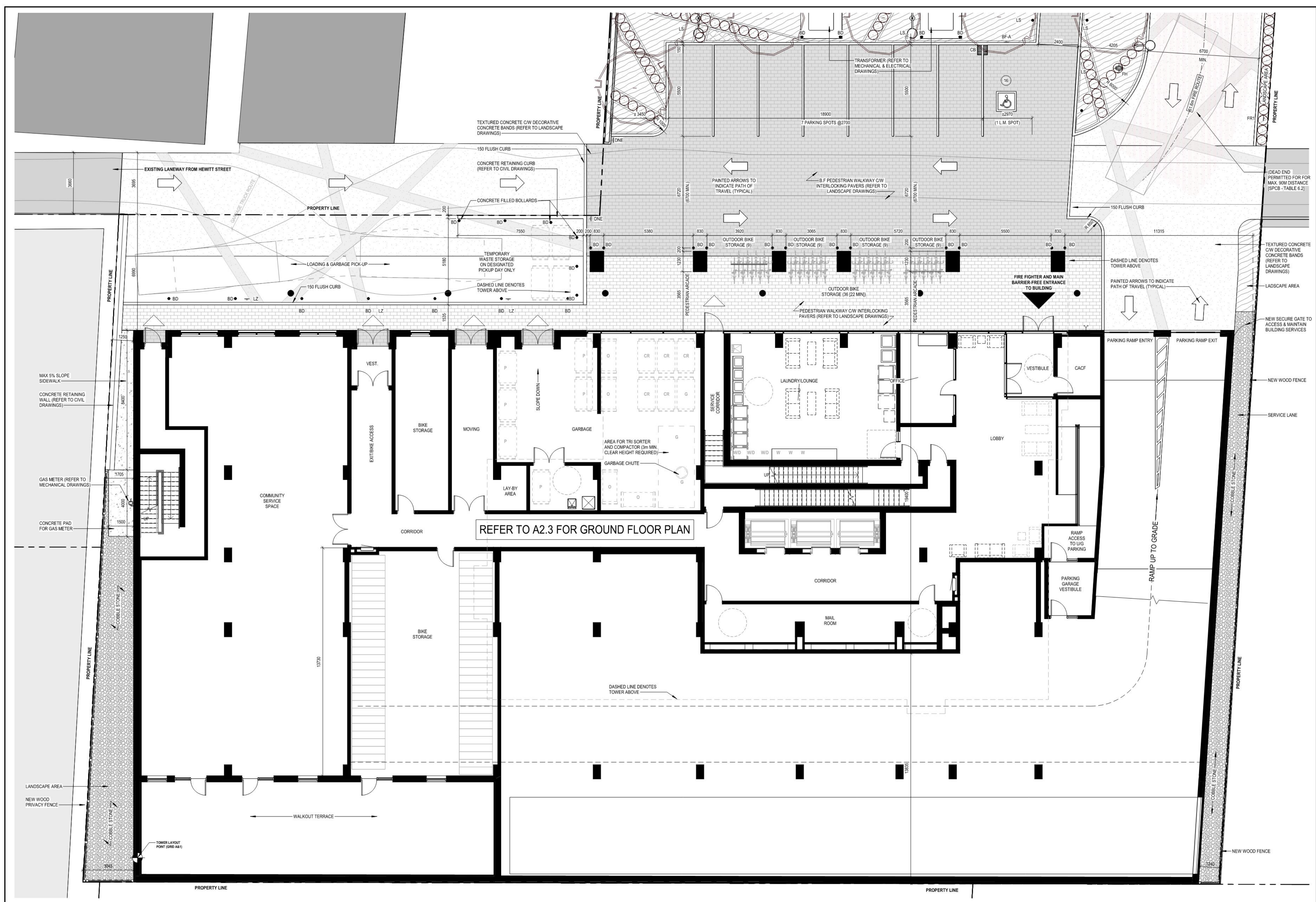
Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Enlarged Site Plan - 6 Storey Building**

Project No. 21-21  
 Scale As Indicated  
 Drawn by OTJ/R/DS  
 Checked by Checker  
 Date August 20, 2024  
 Drawing No. **A1.4**

1 ENLARGED SITE PLAN - NORTH  
 A1.4 1:100



No.	Revision	Date
1	Issued for ZBA	2024 08 20



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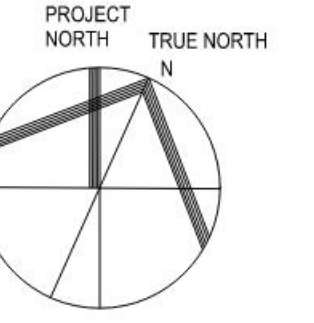
Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Enlarged Site Plan - Tower**

Project No.	21-21	Drawing No.	
Scale	1:100		
Drawn by	OT/JR/DS		<b>A1.5</b>
Checked by	TW/DP		
Date	August 20, 2024		

**1** ENLARGED SITE PLAN - SOUTH  
 A1.5 1:100



1	Issued for ZBA	2024.08.20
No.	Revision	Date



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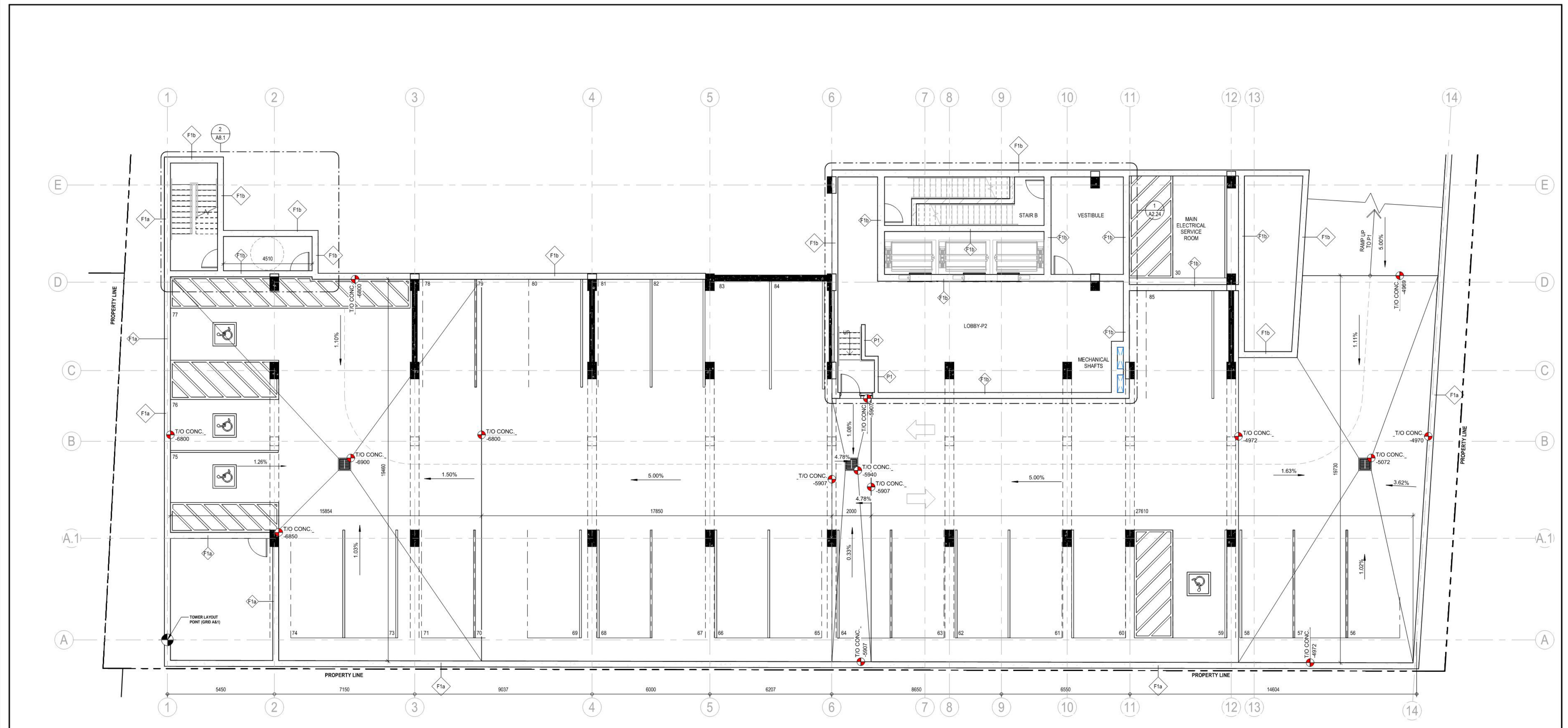
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769 DUNDAS STREET, LONDON,  
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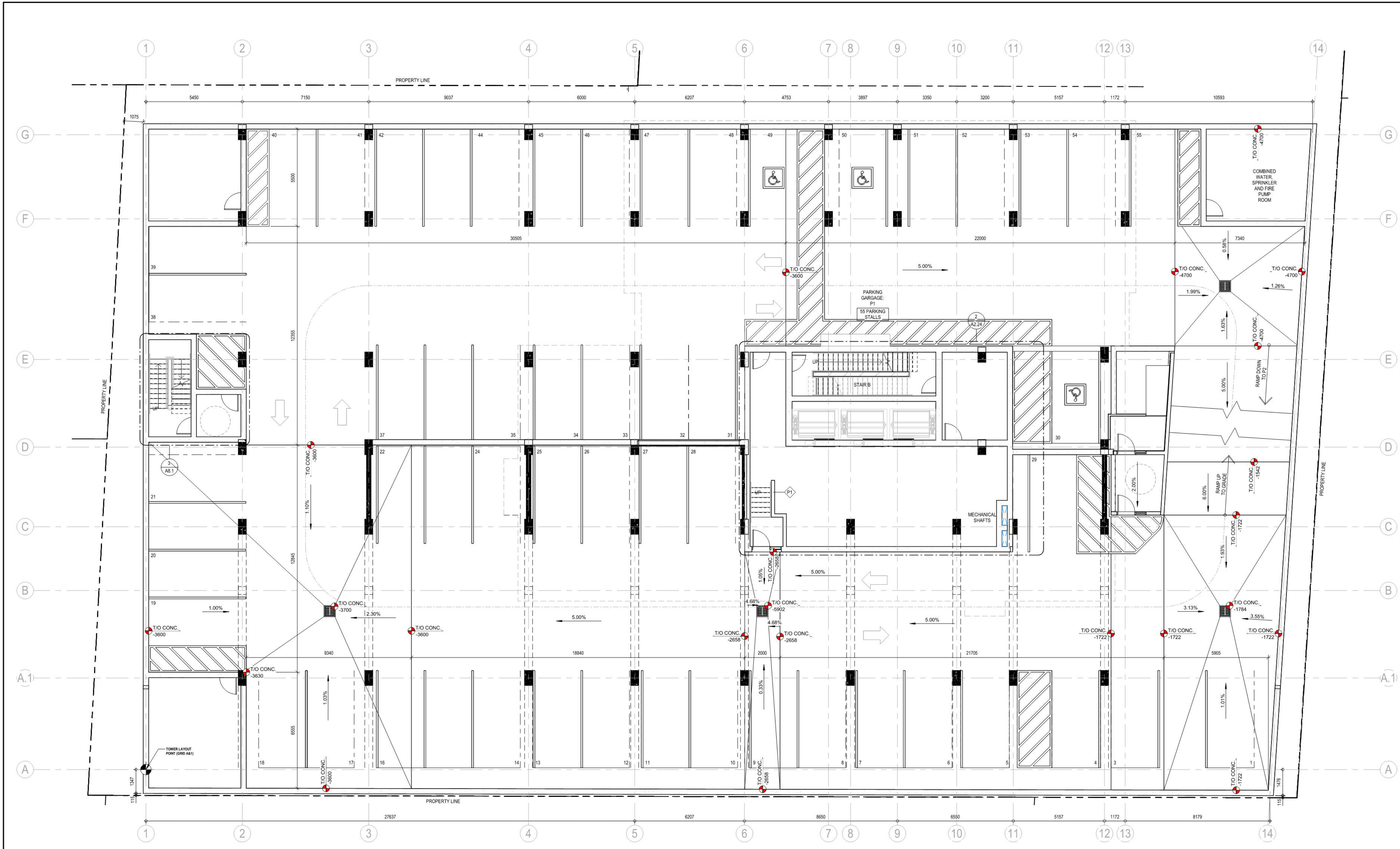
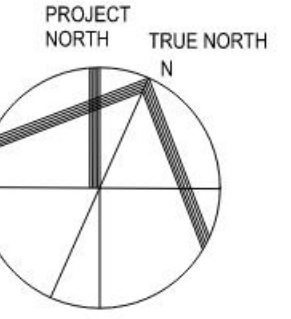
Drawing  
**Overall Floor Plan -  
Level P2 - Tower**

Project No.	21-21	Drawing No.
Scale	1 : 100	A2.1
Drawn by	DS/OT	
Checked by	Checker	
Date	August 20, 2024	



**1** OVERALL FLOOR PLAN - LEVEL P2  
A2.1 1 : 100





1	Issued for ZBA	2024.08.20
No.	Revision	Date



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Project  
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Old East Village  
Apartments**

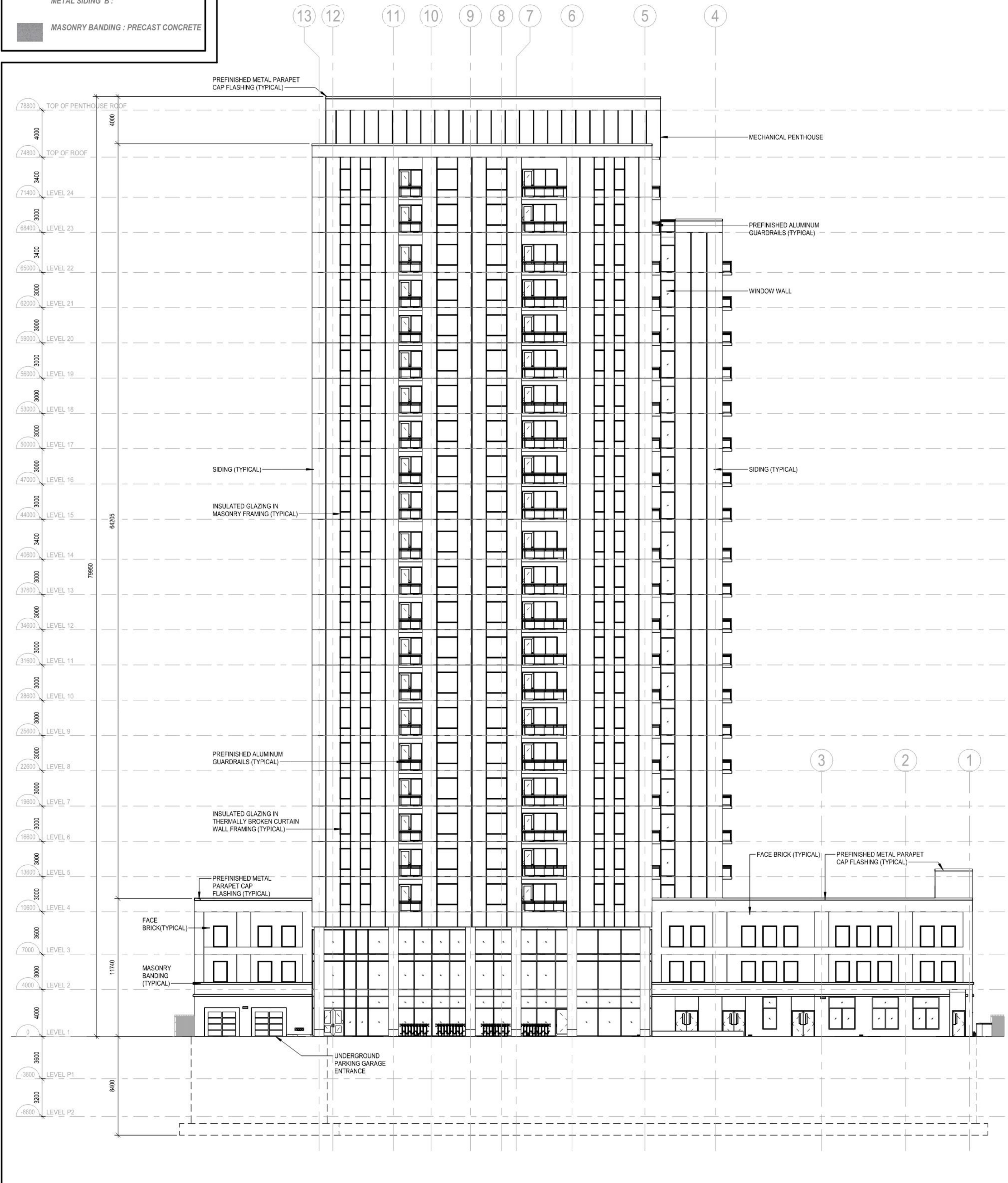
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Drawing  
**Overall Floor Plan -  
Level P1 - Tower**

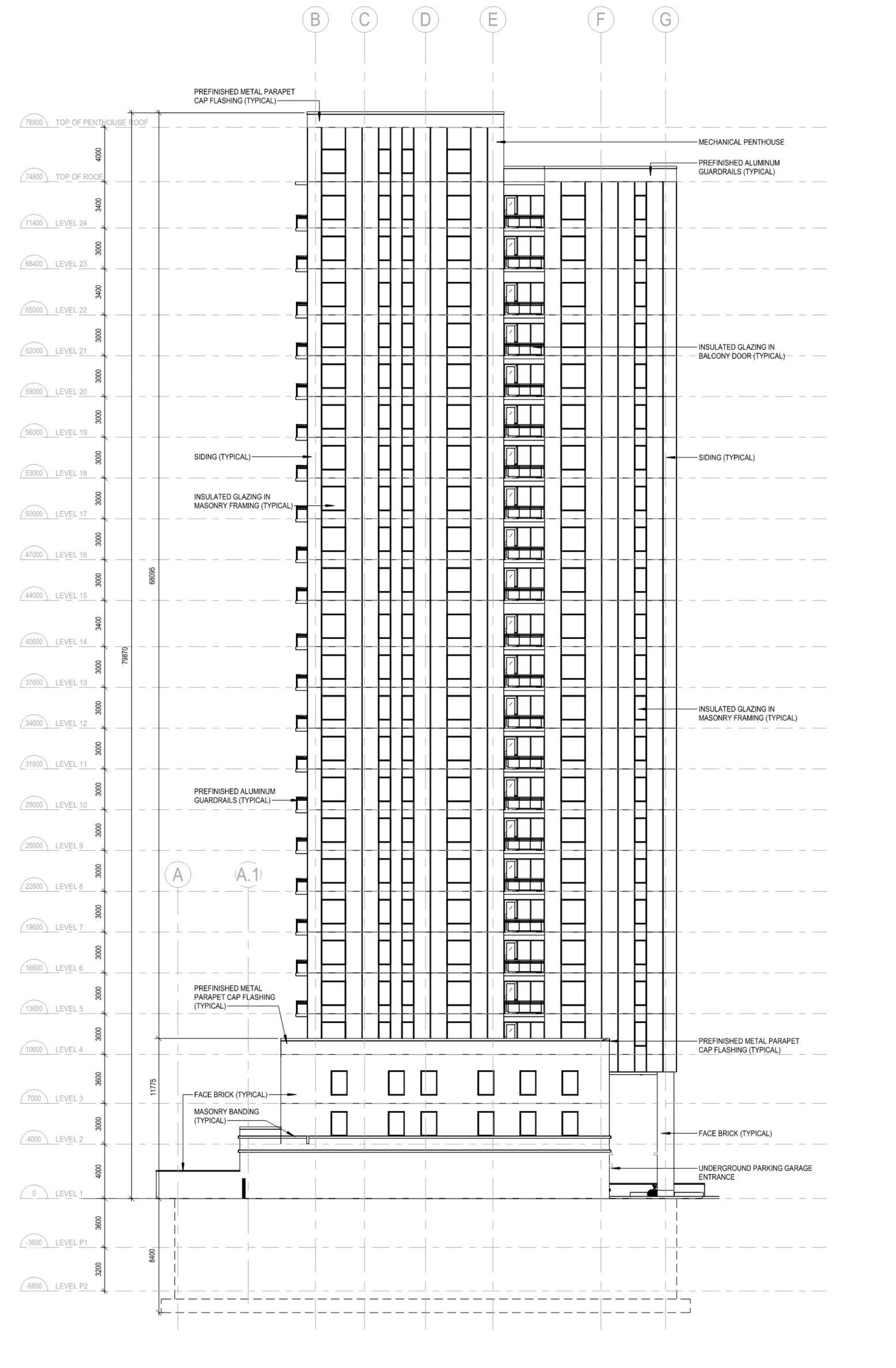
Project No.	21-21	Drawing No.	A2.2
Scale	1 : 100	Checked by	Checker
Drawn by	DS/OT	Date	August 20, 2024

**1** OVERALL FLOOR PLAN - LEVEL P1  
A2.2 1 : 100

MATERIAL LEGEND	
	FACE BRICK 'A':
	METAL SIDING 'A':
	METAL SIDING 'B':
	MASONRY BANDING : PRECAST CONCRETE



1 NORTH ELEVATION  
A4.1 1:200



2 EAST ELEVATION  
A4.1 1:200

No.	Revision	Date
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Project  
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Old East Village  
Apartments**

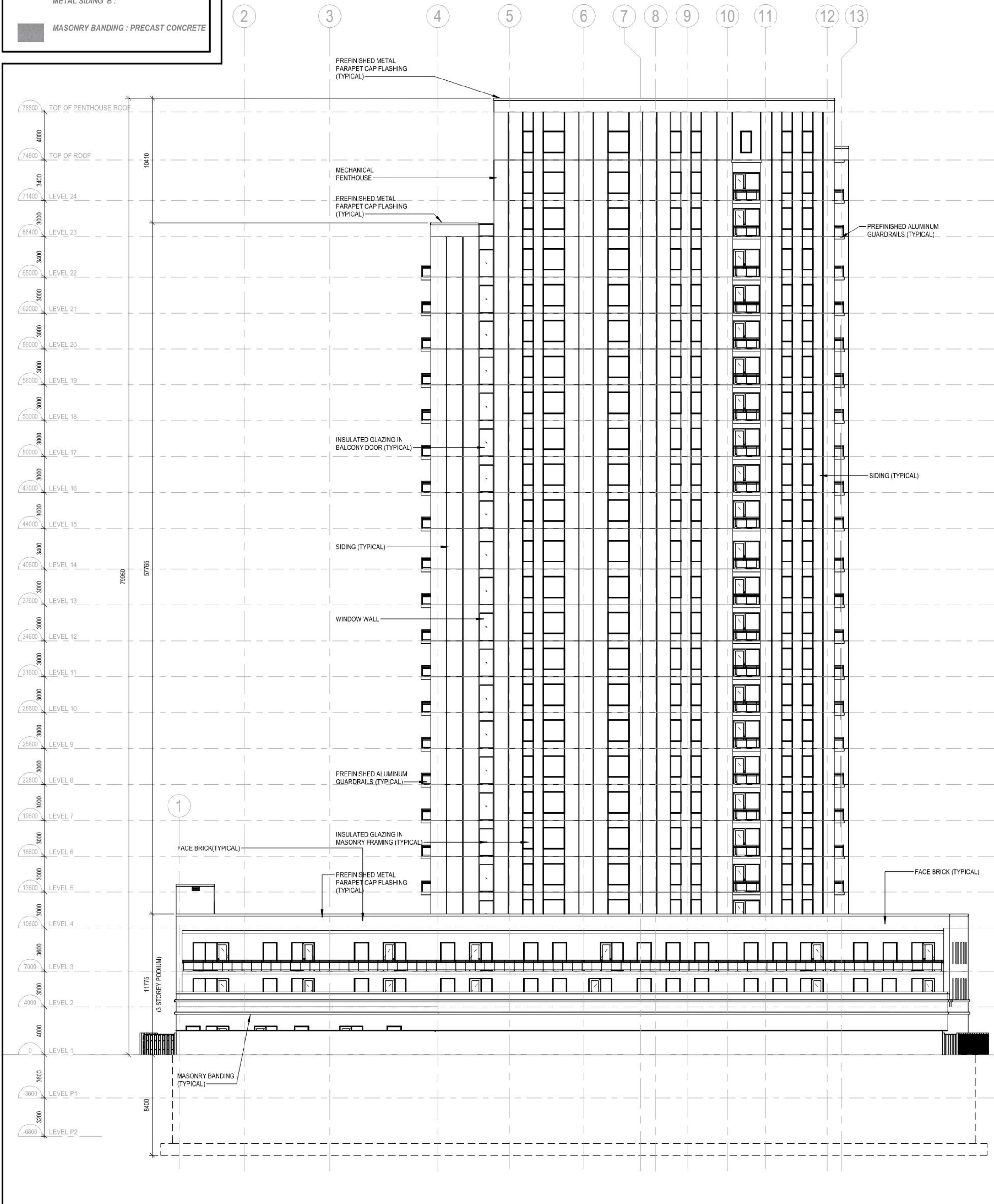
769 DUNDAS STREET, LONDON,  
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Drawing  
**Exterior Elevations  
- Tower**

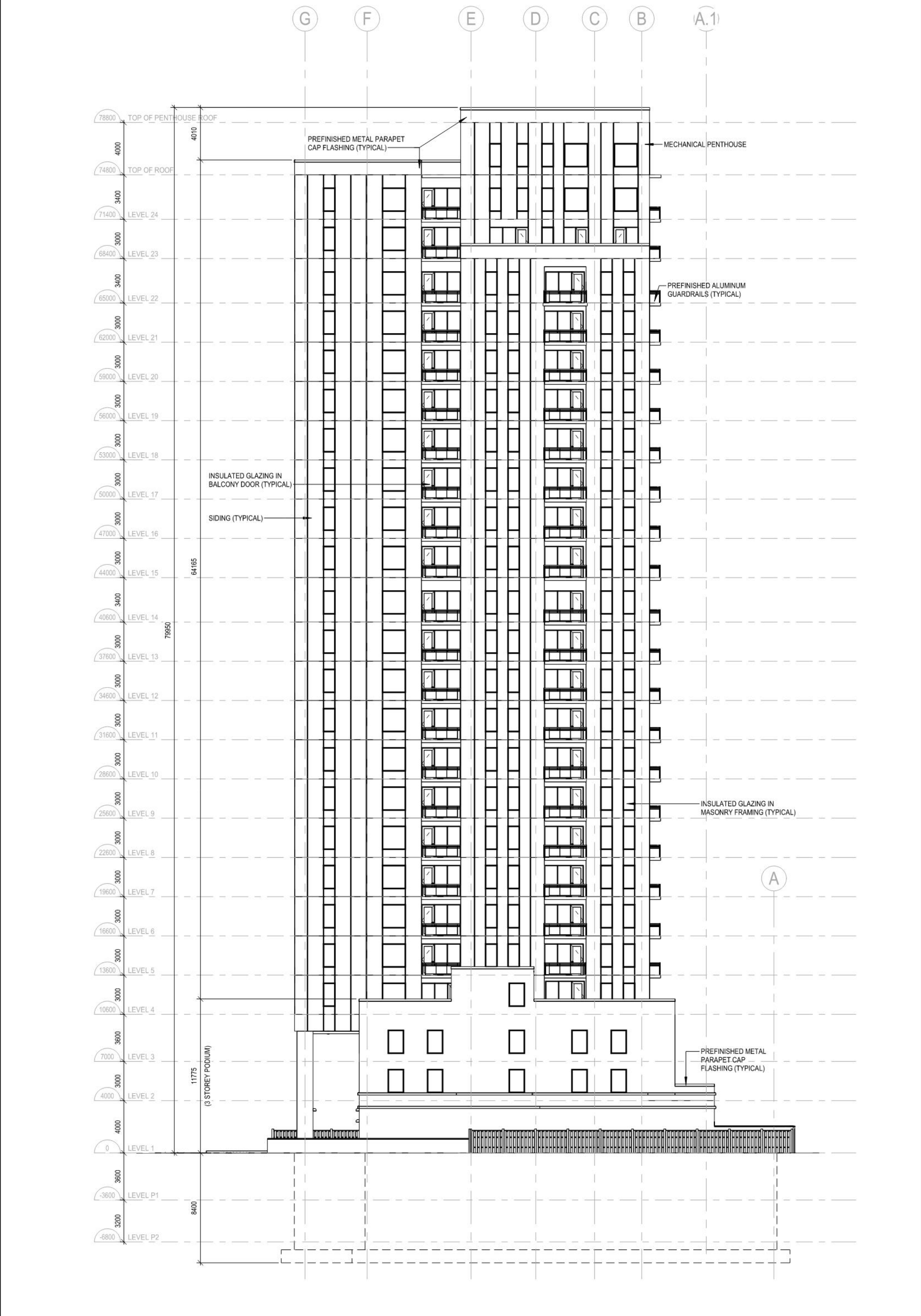
Project No.	21-21	Drawing No.	A4.1
Scale	As Indicated		
Drawn by	OT/JR		
Checked by	Checker		
Date	August 20, 2024		

**MATERIAL LEGEND**

- FACE BRICK 'A':
- METAL SIDING 'A':
- METAL SIDING 'B':
- MASONRY BANDING : PRECAST CONCRETE



**2 SOUTH ELEVATION**  
A4.2 1:200



**1 WEST ELEVATION**  
A4.2 1:200

1	Issued for ZBA	2024.08.20
No.	Revision	Date



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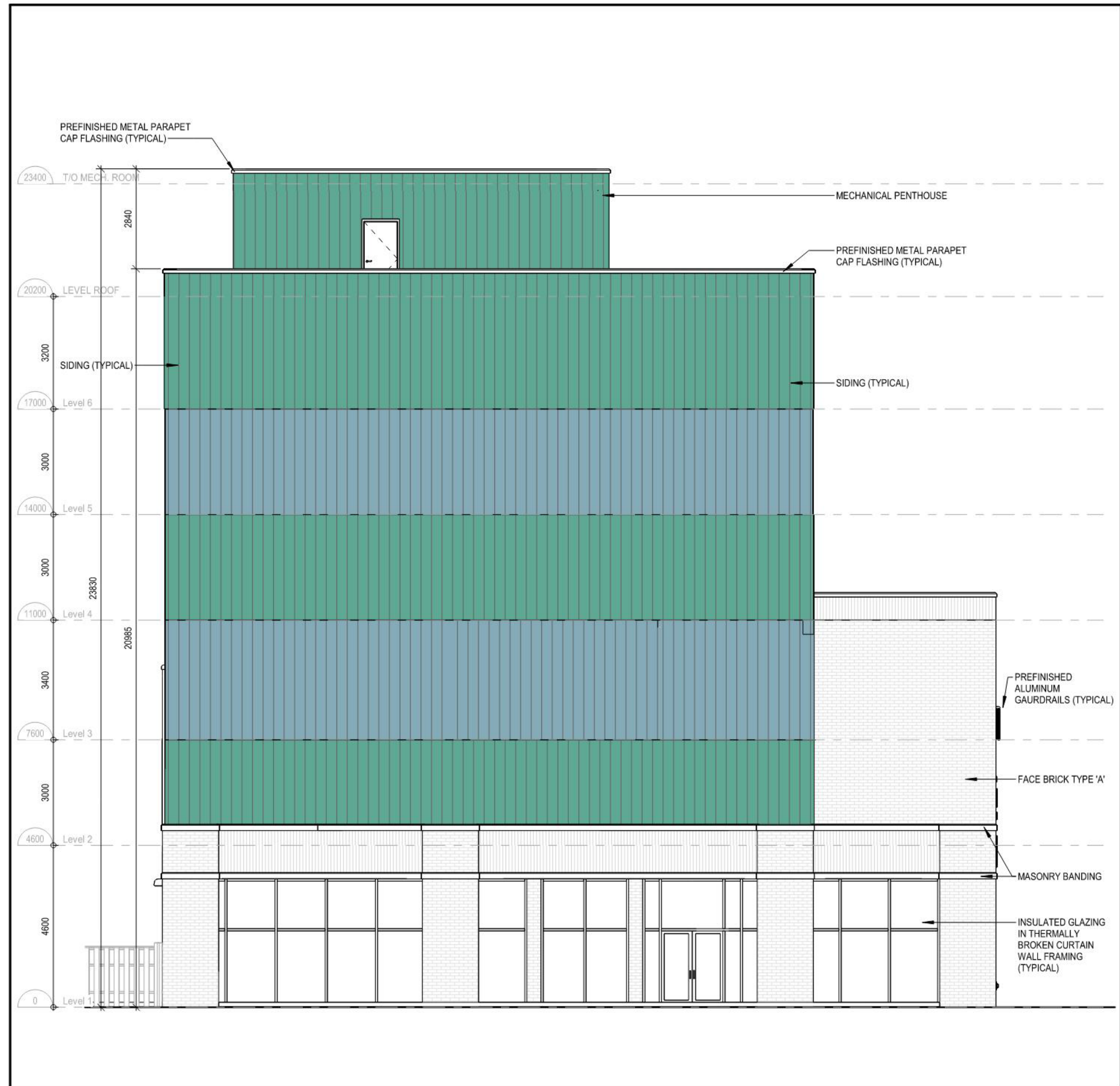
Project  
**Welcome Home - Old East Village Apartments**

769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Exterior Elevations - Tower**

Project No.	21-21	Drawing No.
Scale	As Indicated	A4.2
Drawn by	OT/JR	
Checked by	Checker	
Date	August 20, 2024	

MATERIAL LEGEND	
	FACE BRICK 'A':
	METAL SIDING 'A':
	METAL SIDING 'B':
	MASONRY BANDING : PRECAST CONCRETE



2 EXTERIOR ELEVATION - EAST  
A4.3 1:100



1 EXTERIOR ELEVATION - NORTH  
A4.3 1:100

No.	Revision	Date
1	Issued for ZBA	2024.08.06



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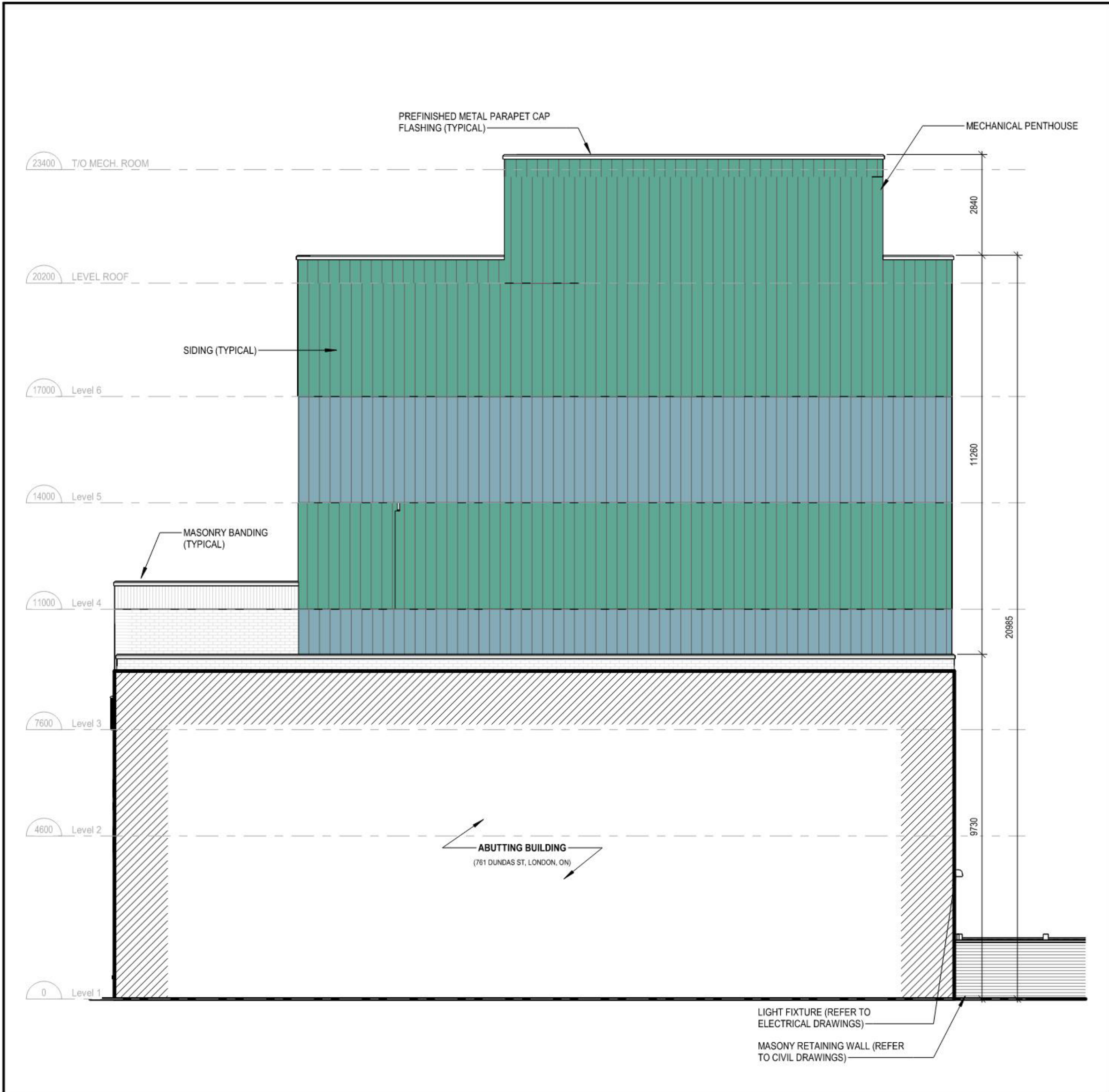
Project  
**Welcome Home - Old East Village Apartments**

769 Dundas Street, London ON  
 769 DUNDAS STREET, LONDON, ONTARIO N5W 2Z6

Drawing  
**Exterior Elevations - Dundas Apartment**

Project No.	21-21	Drawing No.
Scale	As Indicated	A4.3
Drawn by	JR/OT	
Checked by	TW/DP	
Date	August 21, 2024	

MATERIAL LEGEND	
	FACE BRICK 'A':
	METAL SIDING 'A':
	METAL SIDING 'B':
	MASONRY BANDING : PRECAST CONCRETE



1 EXTERIOR ELEVATION - WEST  
A4.4 1 : 100



3 EXTERIOR ELEVATION - SOUTH  
A4.4 1 : 100

No.	Revision	Date
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Project  
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Old East Village  
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769 Dundas Street, London ON  
769 DUNDAS STREET, LONDON,  
ONTARIO N5W 2Z6

Drawing  
**Exterior Elevations  
- Dundas  
Apartment**

Project No.	21-21	Drawing No.
Scale	As Indicated	<b>A4.4</b>
Drawn by	JR/OT	
Checked by	TW/DP	
Date	August 21, 2024	