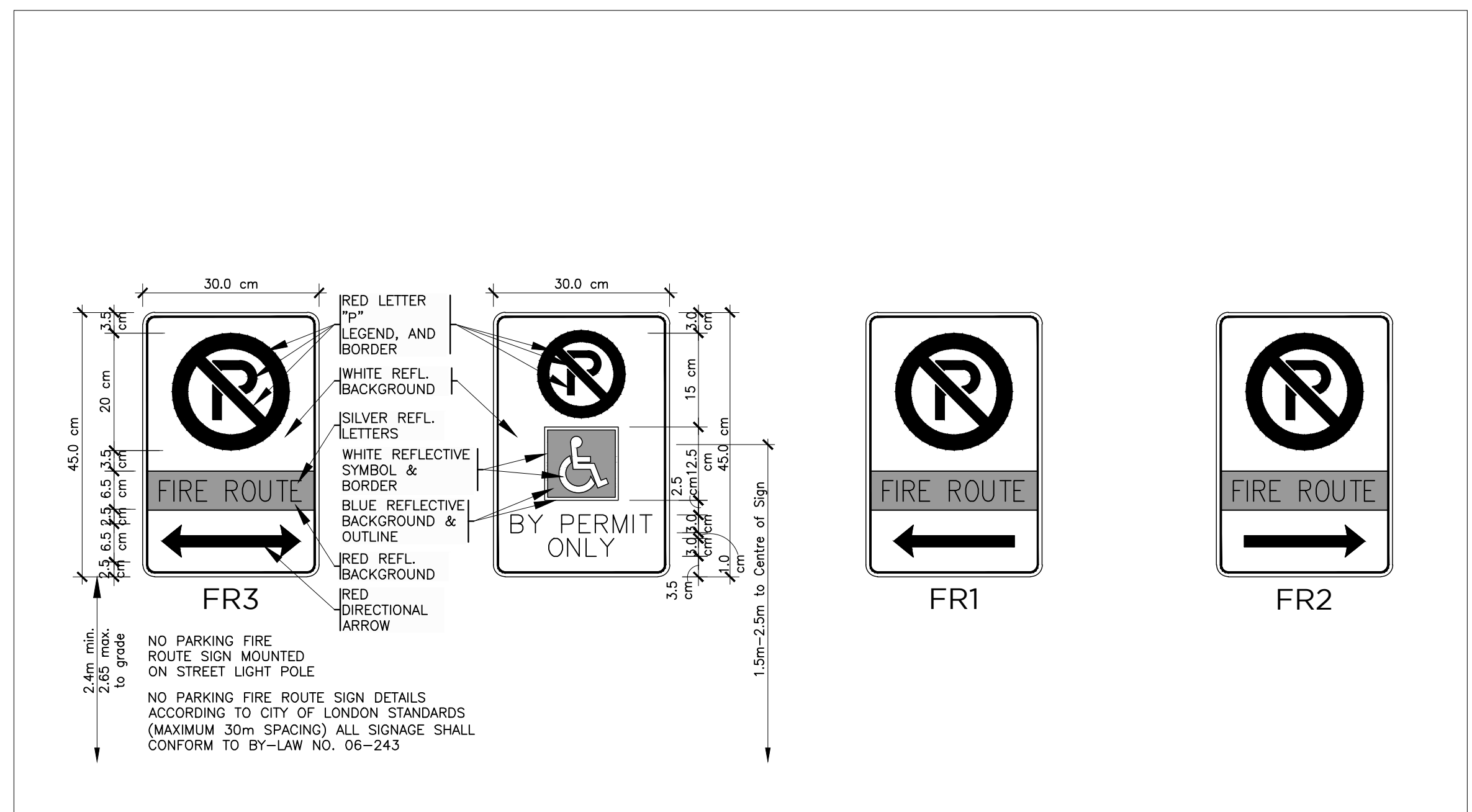
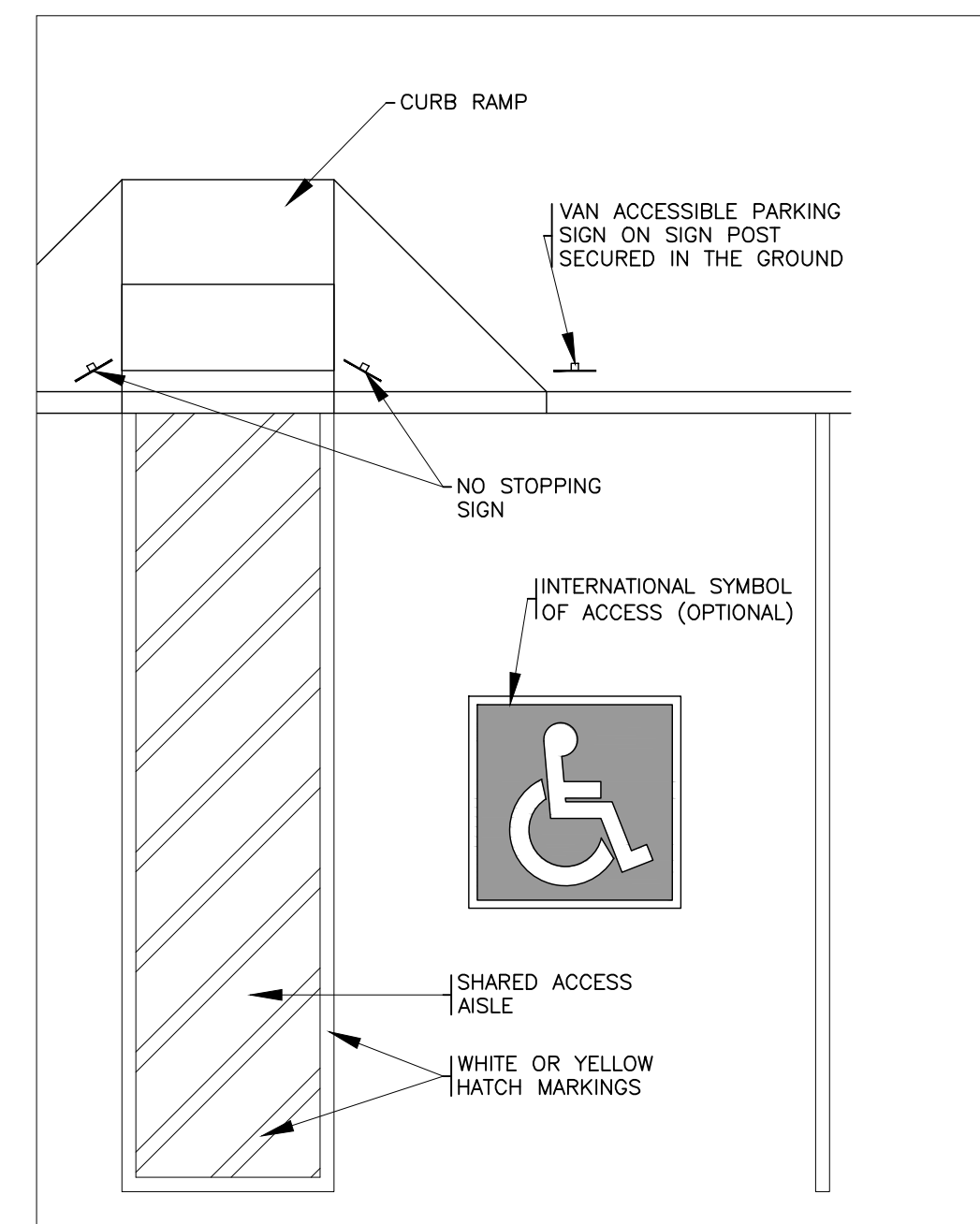


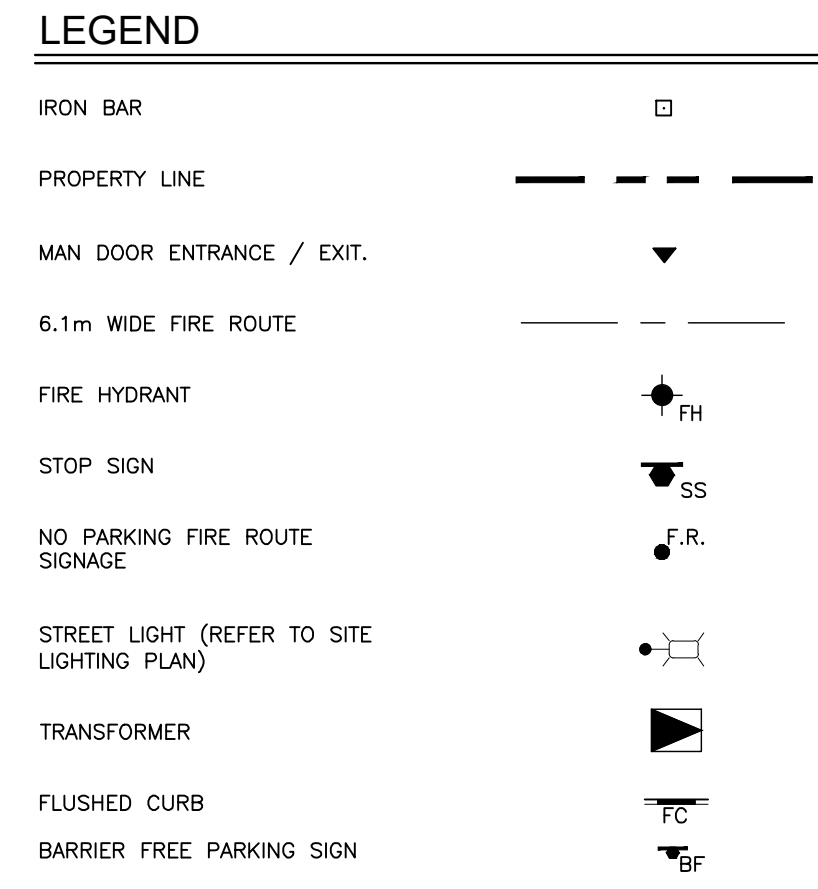
1 SITE PLAN
A1.01 1:150



2 FIRE ROUTE & BARRIER FREE SIGN DETAIL
A1.01 N.T.S.



3 TYPE 'A' BF PARKING DETAILS
A1.01 N.T.S.



STACKED BACK-TO-BACK TOWNHOUSES (20 UNITS)
EXISTING ZONING - R1-10
PROPOSED ZONING - R8-4

REGULATION	REQUIRED	PROPOSED
LOT AREA (MINIMUM)	1,000 sq.m.	2,197.32 sq.m
LOT FRONTAGE (MINIMUM)	30.0 m	32.6 m
FRONT YARD (MINIMUM)	7.00 m	*3.20 m
INTERIOR SIDE YARD WEST (MIN)	4.8 m	*3.06 m
INTERIOR SIDE YARD EAST (MIN)	4.8 m	8.77 m
REAR YARD (MINIMUM)	4.8 m	9.28 m
LANDSCAPE OPEN SPACE (MIN)	30.00% (659.20 sq.m.)	43.91% (964.73 sq.m.)
LOT COVERAGE (MAXIMUM)	40.00% (878.93 sq.m.)	28.21% (619.85 sq.m.)
BUILDING HEIGHT (MAXIMUM)	13.0 m	11.30 m
OFF STREET PARKING (MINIMUM)	0.5 SPACES PER DWELLING UNIT = 10 SPACES	10 SPACES
VISITOR PARKING (MINIMUM)	1 SPACE PER 10 UNITS = 2 SPACES	2 SPACES
BARRIER FREE PARKING (MINIMUM)	1 SPACE	1 SPACE (TYPE A)
DENSITY (MAXIMUM) PER LOT AREA	75 UNITS/HECTARE (75x0.2197 = 16 UNITS)	*91 UNITS/HECTARE (91x0.2197 = 20 UNITS)

* VARIANCE REQUIRED FROM R8-4.

Project Information



PALUMBO HOMES
3 STOREY STACKED BACK-TO-BACK TOWNHOUSES
279 Sarnia Road, London, ON.

Set Issuance

No.	Date	Description
1	2023.09.15	ISSUED FOR SPA
2	2023.11.17	ISS. TO CONSULTANTS

Sheet Information

SITE PLAN

Project No. 15328
Project Start Date: XXXX-XX-XX
File: 279 Sarnia Road - Site Plan.dwg
Drawn by: MGL
Scale: AS NOTED

PRELIMINARY
A1.01
Plot Date | Time - 2023-11-30 4:20:37 PM