PROPOSED 8 STOREY (77 UNIT) APARTMENT BUILDING: 80-82 BASELINE RD. LONDON, ON



SOUTH-EAST PERSPECTIVE VIEW

No.	Issued/Revision	Date
2	ISSUED FOR CLIENT REVIEW	2023.09.15
3	ISSUED FOR SPC/ZBA PRE-CON	2023.09.28
4	ISSUED FOR SPC/ZBA PRE-CON	2024.01.12
5	ISSUED FOR CLIENT REVIEW	2024.04.08
6	ISSUED FOR ZBA	2024.05.31

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK. DRAWINGS REMAIN PROPERTY OF PDTA ARCHITECT.

8 STOREY APARTMENT BLDG (77 UNITS) 80-82 BASELINE RD. W. LONDON, ON *TENDER INQUIRES CONTACT

13759741 Canada Inc.

C/O Moosa Sedu

Address: 861 Crosscreek Place London, ON Phone: 519-694-2515

E-mail: mozesproperties@yahoo.com





DRAWING DESCRIPTION:

SOUTH-EAST PERSPECTIVE VIEW



SOUTH-WEST PERSPECTIVE VIEW

No.	Issued/Revision	Date
2	ISSUED FOR CLIENT REVIEW	2023.09.15
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PROJECT:

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DRAWING DESCRIPTION:

SOUTH-WEST PERSPECTIVE VIEW

PROJ. NO. SBM-23-120

SCALE AS INDICATED

REVIEWED PDTA



LEGAL INFORMATION REFERENCE DOCUMENTS: 1. LEGAL INFO OBTAINED FROM CITY OF LONDON PARCEL PLAN LOT 6, PLAN 29 PROPERTY LINE N83'21'25"E (22.860) (GEOGRAPHIC TOWNSHIP OF WESTMINSTER) PARCELS, BUILDINGS AND EXISTING INFORMATION ARE APPROXIMATE AND PROPERTY LINE FOR REFERENCE ONLY. N\$7°/13'55"E (22.735) CITY OF LONDON CONCEPT IS PRELIMINARY AND HAS NOT BEEN REVIEWED BY THE CITY. COUNTY OF MIDDLESEX 1.5m LANDSCAPE STRIP THE PLAN IS COMPILED AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY. 1.5m LANDSCAPE STRIP THIS IS A COMPILED PLAN AND SHOULD NOT BE CONSIDERED A PICK-UP LOCATION. GARBAGE TO BE STORED / WITHIN THE BUILDING PLAN OF SURVEY. . CONCEPT PLAN IS PRELIMINARY AND HAS NOT BEEN REVIEWED BY UNLESS OTHERWISE PROPOSED SNOW PROPOSED SNOW STORAGE LOCATION REQUIRED FOR PICK-UP STORAGE LOCATION 32.40 5.00 KEY PLAN LIST OF DRAWINGS 12.0m REAR YARD DEPTH SHEET SP1 SITE PLAN & ZONING CHART 12.0m REAR YARD DEPTH 1.82 SHEET SP2 **DETAILS** 0.5m **ZONING DATA CHART** GROSS LOT AREA: BUILDING AREA: 594.19m² NET LOT AREA: 1909.51m² ASPHALT: 775.27m² LANDSCAPE AREA: 625.72m² No. ITEM ALTERNATE BARRIER FREE S/W PROPOSED ACCESS CURB RAMP, REFER TO 1 ZONES R9-7 DETAILS ON SP2 FOR MORE INFO. 2 LOT AREA (m² MIN.) 1000.0 1995.18 P-01 2 LOT FRONTAGE (m MIN) 30.0 45.72 3 FRONT YARD DEPTH (m) MIN. 3.0 0.96* R N/A R 4 EXTERIOR YARD DEPTH (m) MIN. 3.0 - EXTENT OF 2.1m SIDEWALK BLDG ABOVE EAST: 4.97* 5 INTERIOR SIDE YARD SETBACK (m) MIN. 4.97 WEST: 6.37* REAR YARD SETBACK (m) MIN. 12.0 21.31 INTERIOR SIDE YARD BIKE STORAGE 4.87* ENCROACHMENT (m MAX.) - EXTENT OF ROOM CANOPY ABOVE 8 LANDSCAPE OPEN SPACE (% MIN.) 9 LOT COVERAGE (% MAX.) 29.78 10 HEIGHT (m) MAX. 30.0 11 DENSITY (UNITS/ha MAX.) 150 386* BARRIER FREE S/W EXISTING WOOD ACCESS CURB RAMP, FENCE TO REMAIN REFER TO DETAILS ON *ZONING DEFICIENCY SP2 FOR MORE INFO PARKING DATA CHART SECONDARY EXISTING WOOD BARRIER FREE FENCE TO REMAIN -4,87 ENTRANCE \mathbb{R} OFF-STREET VEHICLE PARKING No. ITEM REQUIREMENT REQUIRED PROPOSED PROPOSED 8 STOREY APARTMENT BUILDING RESIDENTIAL 0.5 PER UNIT 22 SPACES* 39 SPACES AMENITY SPACE F.F.E. = TBD (APARTMENT) (77 UNITS) AREA: 79.6m² STAIRWELL BLDG AREA = $594.2 \text{m}^2 | 6,396 \text{ft}^2$ TOTAL PARKING GROSS FLOOR AREA = 4,585.5m²|49,358ft² SEE ABOVE 39 SPACES 22 SPACES* 4.57 RESIDENTIAL 1/10 RESIDENTIAL B SPACES 3 SPACES* 77 RESIDENTIAL UNITS (VISITOR PARKING) UNITS (77 UNITS) 2 SPACE 4% OF TOTAL PARKING (1 TYPE A, 4 B.F. PARKING WHERE 13-100 2 SPACE 1 TYPE B) SPACES PROVIDED BICYCLE PARKING No. ITEM REQUIREMENT REQUIRED PROPOSED 0.1 PER UNIT RESIDENTIAL 8 SPACES 8 SPACES (SHORT TERM) (77 UNITS) RESIDENTIAL 0.9 PER UNIT 72 SPACES PRINCIPAL BARRIER LANDSCAPE FEATURE 70 SPACES FREE ENTRANCE & (LONG TERM) (INTERIOR TO BLDG) (77 UNITS) WALL (MAX. 1.2m SHORT-TERM BIKE PARKING (8 FIRE FIGHTER ACCESS HIGH), REFER TO SPACES), REFER TO DETAILS ENTRANCE BLDG PLANS FOR ON SP2 FOR MORE INFO. -MORE INFO. *ZONING DEFICIENCY **LEGEND** SYMBOL: DESCRIPTION: PRINCIPAL BARRIER FREE ENTRANCE & 3.0m FRONT YARD DEPTH FIRE FIGHTER ACCESS ENTRANCE LANDSCAPE FEATURE WALL (MAX. 1.2m HIGH), REFER TO BLOG PLANS FOR MORE INFO. 1.5m SIDEWALK SECONDARY BARRIER FREE ENTRANCE 11.5m ROAD WIDENING (FROM & BASEELINE RD. W.) EMERGENCY EXIT PROPERTY LINE (22.85±) ENSURE RADII DOES NOT VARIES, REFER TO PLAN FOR USE OF EACH DOOR EXTEND BEYOND PROPERTY BOUNDARY -PROPOSED SIGNAGE: REFER TO DETAILS FOR MORE INFO. ALL EX. FIRE HYDRANT 🔍 PROPERTY LINE SIGNAGE TO BE ATTACHED TO ADJACENET WALL OR CURB NO SIGN XX-XPROPERTY LINE NO2*43'45"W (0.695) SHALL IMPEDE THE SIDEWALK CLEAR WIDTHS N02*38'45"W (0 695) -PROPERTY LINE N83°21'25"E (22.860) PROPOSED BUILDING PROPOSED SNOW STORAGE EX. MUNICIPAL SIDEWALK PROPOSED LANDSCAPE/RETAINING WALL PROPOSED BARRIER FREE S/W ACCESS CURB RAMP, REFER TO DETAILS FOR ADDITIONAL INFO.

ISSUED FOR DATE

01 ISSUED FOR CLIENT REVIEW 2023.07.13

02 ISSUED FOR CLIENT REVIEW 2023.09.15

03 ISSUED FOR SPC/ZBA PRE—CON 2023.09.28

04 RE—ISSUED FOR ZBA PRE—CON 2024.01.12

05 RE—ISSUED FOR ZBA PRE—CON 2024.01.16

06 ISSUED FOR ZBA 2024.03.18

FIRE DEPARTMENT CONNECTION

PROPOSED FIRE HYDRANT

8 STOREY APARTMENT BUILDING
(77 RESIDENTIAL UNITS)
80-82 BASELINE RD. W. LONDON, ON

**TENDER INQUIRIES CONTACT

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EX. BIKE LANE

PRELIMINARY FOR REVIEW ONLY

BASELINE RD. W.

DRAWING DESCRIPTION

SITE PLAN & ZONING CHART

- MUNICIPAL SIDEWALK TO BE REMOVED & REPLACED WITH NEW CONC. SIDEWALK AT ACCESS POINT.

LIST OF STANDARD DETAILS:

ONTARIO PROVINCIAL STANDARDS:
OPSD 219.110 LIGHT-DUTY SILT FENCE BARRIER OPSD 219.180 STRAW BALE FLOW CHECK DAM

CAST IRON, SQUARE FRAME FISH TYPE COVER OPSD 400.050 MAINTENANCE HOLE, CAST IRON COVER AND SQUARE FRAME OPSD 401.010 OPSD 600.110 CONCRETE BARRIER CURB PRECAST CONCRETE CURB

METHOD OF TERMINATION FOR CONCRETE CURB WITH GUTTER OPSD 608.010 OPSD 701.010 PRECAST CONCRETE MAINTENANCE HOLE, 1200mm DIAMETER OPSD 705.010 PRECAST CONCRETE CATCH BASIN, 600mmX600mm OPSD 1109.011 CATHODIC PROTECTION FOR PVC WATERMAIN SYSTEMS

CITY OF LONDON STANDARDS:

SR-1.1 CONCRETE SIDEWALK ABUTTING CURB AND GUTTER
SR-1.2 CONCRETE SIDEWALK RAMPS

BEDDING STANDARD FOR GRAVITY AND PRESSURE PIPE SW-1.0 PRECAST CONCRETE CATCH BASIN - MAINTENANCE HOLE MAINTENANCE HOLE ADJUSTMENT UNIT DETAIL SW-5.0 MAINTENANCE HOLE CAST IRON, WATERTIGHT COVER AND SQUARE FRAME SW - 5.3CATCH BASIN FRAME AND GRATE 'FISH GRATE'

PRIVATE DRAIN CONNECTION SW-6.0 W-CS-1 SHT.1 HYDRANT AND VALVE INSTALLATION W-CS-1 SHT.2 TRACER WIRE INSTALLATION W-CS-12 SHT.2 GRIP RING RESTRAINER ASSEMBLY

W-CS-12 SHT.3 TYPICAL RESTRAINT DETAILS

WASTE MANAGEMENT

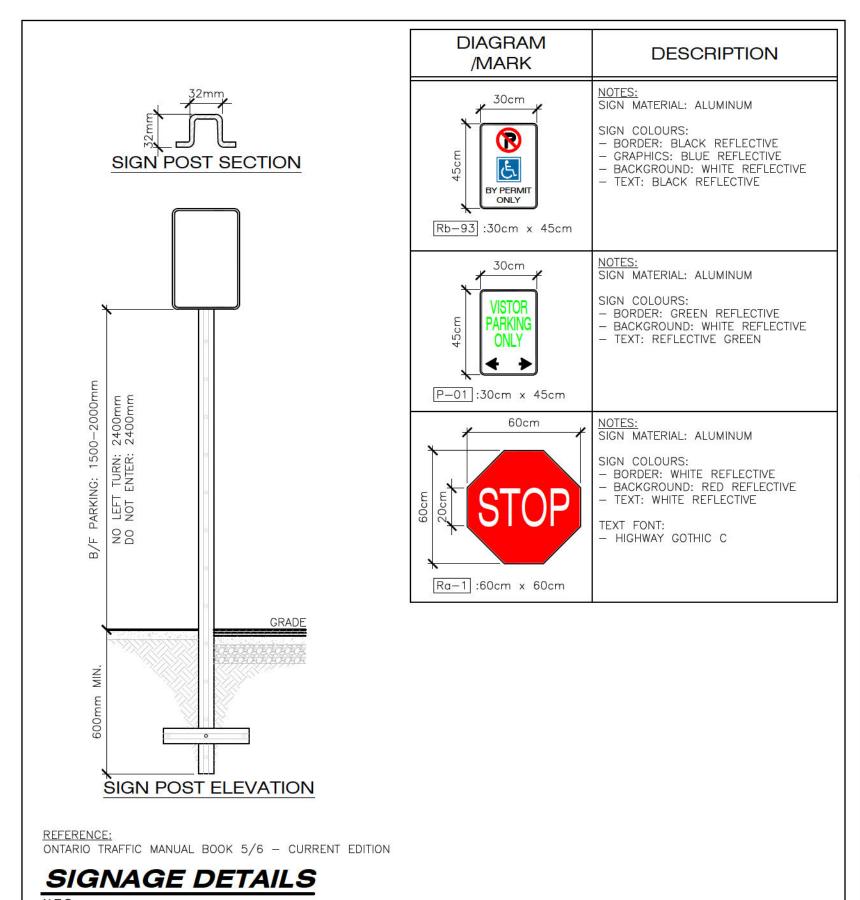
GARBAGE TO BE STORED <u>INTERNALLY</u> AND BE PLACED IN PICK-UP AREA AS NOTED ON SITE PLAN FOR PICK-UP. CONTRACTOR TO COORDINATE PICK-UP WITH RELEVANT PARTIES.

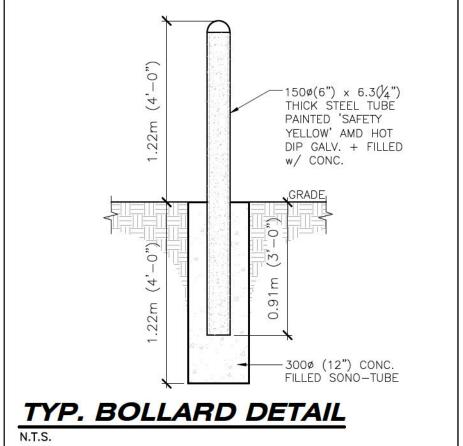
CANADA POST

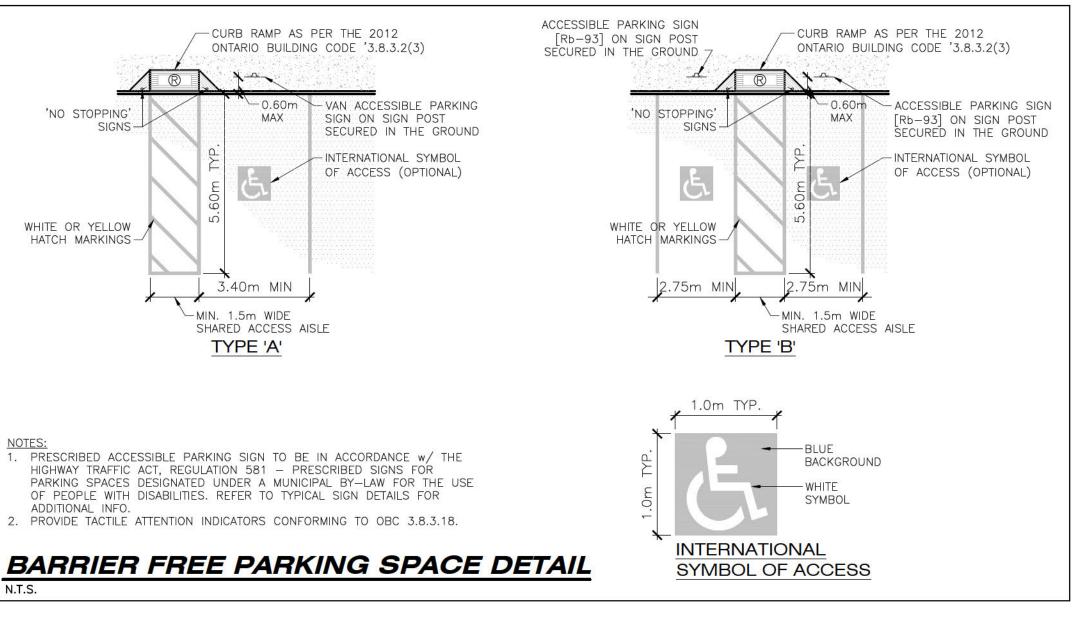
MAIL DELIVERY TO BE DETERMINED BY CANADA POST.

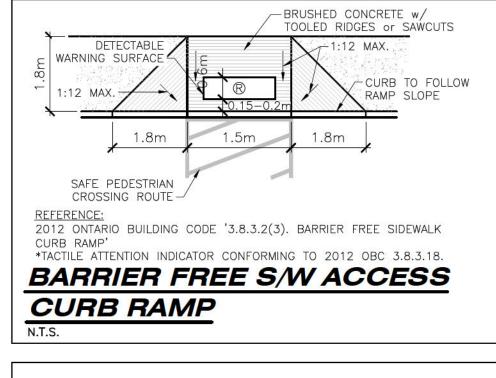
BUILDING CLASSIFICATION

APARTMENT BUILDING - GROUP C OCCUPANCY PART 3 OF THE ONTARIO BUILDING CODE











T.S.	
2.28m (90") LONG HIGH HIGH 150 150 150 150 150 150 150 15	
UNIT MODEL: 8 SLOT TRADITIONAL COLOUR: TEXTURED BLACK	

		100
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05	RE-ISSUED FOR ZBA PRE-CON	2024.01.16
06	ISSUED FOR ZBA	2024.03.18

PROJECT: 8 STOREY APARTMENT BUILDING (77 RESIDENTIAL UNITS) 80-82 BASELINE RD. W. LONDON, ON CLIENT: *TENDER INQUIRIES CONTACT 13759741 Canada Inc. C/O: Moosa Sedu Address: 861 Crosscreek Place London ON Phone: 519-694-2515 E-mail: mozesproperties@yahoo.com



PRELIMINARY FOR REVIEW ONLY

- BRUSHED CONCRETE w/
TOOLED RIDGES or SAWCUTS

CURB TO FOLLOW RAMP SLOPE

2.0%

2012 ONTARIO BUILDING CODE '3.8.3.2(3). BARRIER FREE SIDEWALK

*TACTILE ATTENTION INDICATOR CONFORMING TO 2012 OBC 3.8.3.18.

ALTERNATE BARRIER FREE

S/W ACCESS CURB RAMP

DETECTABLE WARNING SURFACE

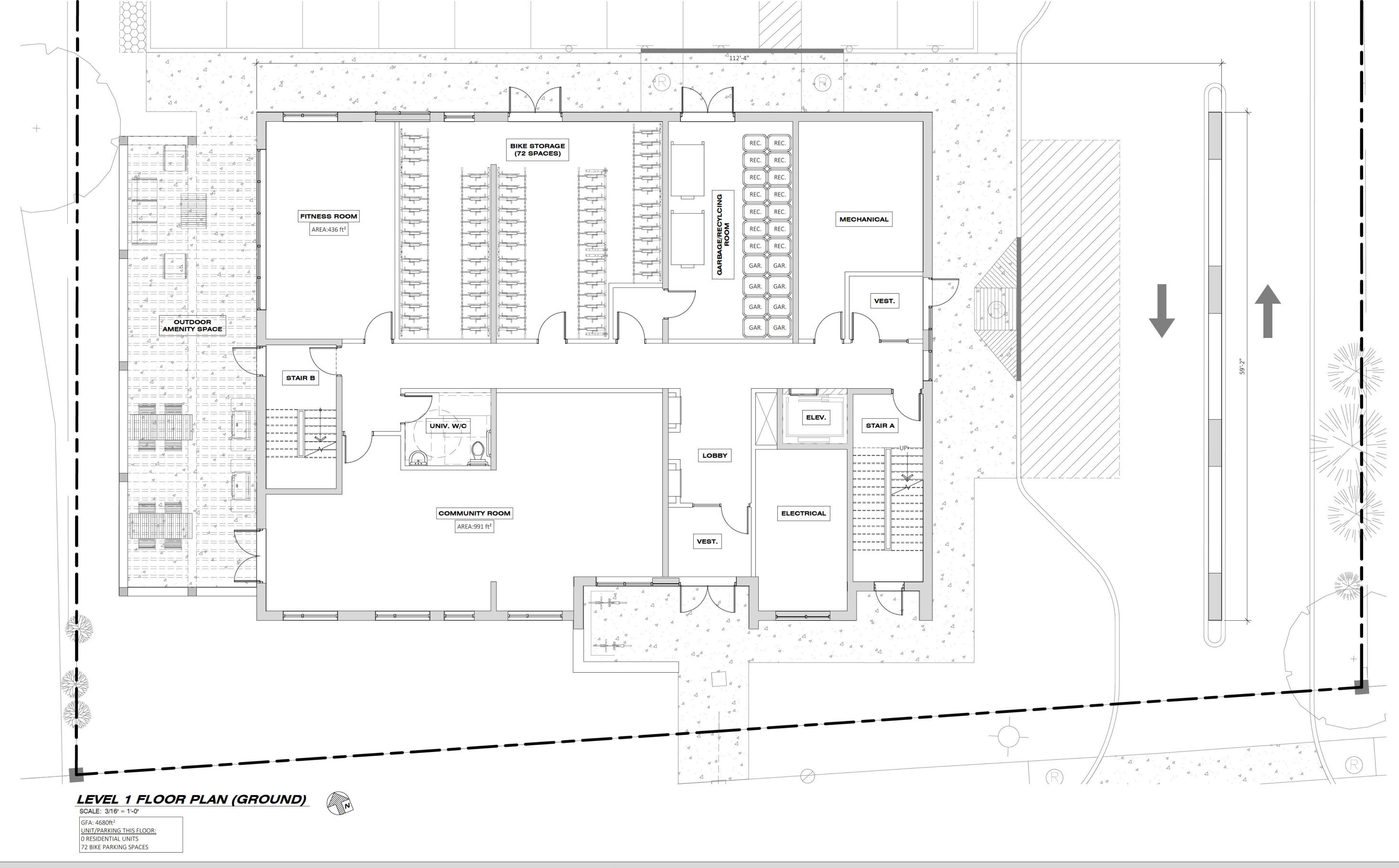
SAFE PEDESTRIAN CROSSING ROUTE -

REFERENCE:

DRAWING DESCRIPTION SITE PLAN DETAILS

SP2

PROJECT SUMMARY				
Level	Area	STUDIO	1 BED	2 BED
LEVEL 1 (GROUND)	4587 ft ²	0	0	0
LEVEL 2	6396 ft ²	4	5	2
LEVEL 3	6396 ft ²	4	5	2
LEVEL 4	6396 ft ²	4	5	2
LEVEL 5	6396 ft ²	4	5	2
LEVEL 6	6396 ft ²	4	5	2
LEVEL 7	6394 ft ²	4	5	2
LEVEL 8	6396 ft ²	4	5	2
TOTAL:	49358 ft ²	28	35	14



Issued/Revision 2 ISSUED FOR CLIENT REVIEW 2023.09.15 2023.09.28 3 ISSUED FOR SPC/ZBA PRE-CON 4 ISSUED FOR SPC/ZBA PRE-CON 2024.01.12 5 ISSUED FOR CLIENT REVIEW 2024.04.08 6 ISSUED FOR ZBA 2024.05.31

8 STOREY APARTMENT BLDG (77 UNITS) 80-82 BASELINE RD. W. LONDON, ON

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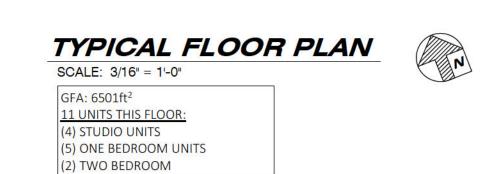
LEVEL 1 FLOOR PLAN

PROJ. NO. SBM-23-1200 REVIEWED Checker DRAWN Author

DWG #

PROJECT SUMMARY				7Y
Level	Area	STUDIO	1 BED	2 BED
LEVEL 1 (GROUND)	4587 ft²	0	0	0
LEVEL 2	6396 ft ²	4	5	2
LEVEL 3	6396 ft ²	4	5	2
LEVEL 4	6396 ft ²	4	5	2
LEVEL 5	6396 ft ²	4	5	2
LEVEL 6	6396 ft ²	4	5	2
LEVEL 7	6394 ft ²	4	5	2
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8 STOREY APARTMENT
BLDG (77 UNITS)
80-82 BASELINE RD. W.
LONDON, ON

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PRELIMINARY FOR REVIEW ONLY

SOUTH ELEVATION (BASELINE RD)

PROJ. NO. SBM-23-1200

SCALE AS INDICATED

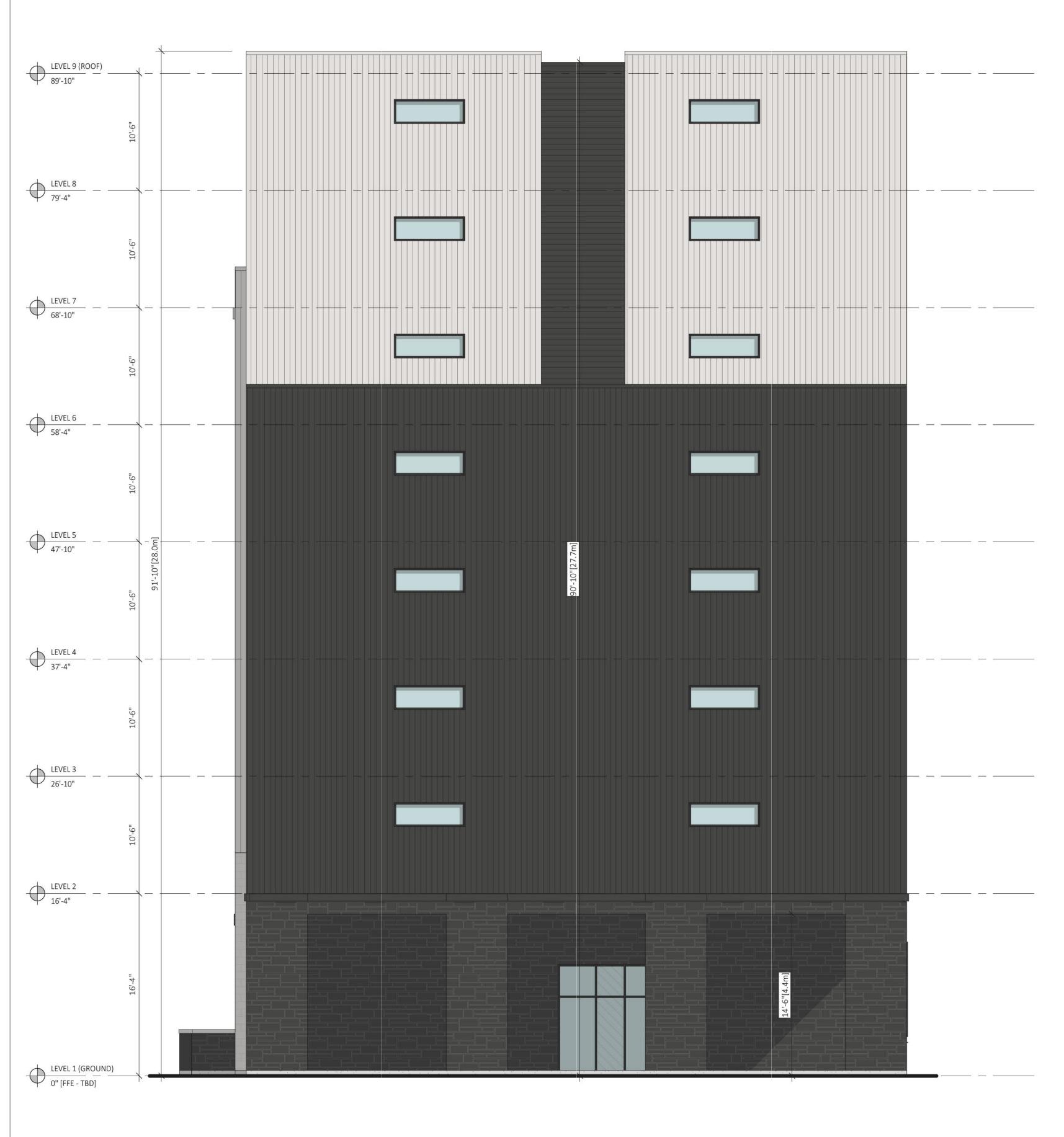
REVIEWED Checker





PROJ. NO. SBM-23-1200 REVIEWED Checker

6 ISSUED FOR ZBA



EAST ELEVATION SCALE: 3/16" = 1'-0"

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DRAWING DESCRIPTION:

EAST ELEVATION

PROJ. NO. SBM-23-1200 REVIEWED Checker

MATERIAL LEGEND

COLOUR

BLACK

WHITE, MATERIAL SELECTION TBD

BY OWNER

BLACK, MATERIAL

BLACK, MATERIAL SELECTION TBD BY

OWNER

WHITE, MATERIAL SELECTION TBD BY

OWNER

BLACK, MATERIAL SELECTION TBD BY

OWNER

WHITE, MATERIAL SELECTION TBD BY

OWNER

BLACK (COLBY OR EQUAL)

BLACK (COLBY OR EQUAL)

CONCRETE

GREY

SELECTION TBD BY OWNER

DESCRIPTION

PRE-FINISHED METAL CAP

FLASHING

BLOCK VENEER

STONE VENEER

VERTICAL SIDING

VERTICAL SIDING

HORIZONTAL SIDING

HORIZONTAL SIDING

PRECAST BANDING (90x390x590

SMOOTH TEXTURE)

EXPOSED CONCRETE FOUNDATION

(FINISH SMOOTH)

PB1 PRECAST SILL/BANDING (SHOULDICE 424 SLOPED SILL OR EQUAL)

PRECAST BANDING (90x390x590 SHOULDICE DIMENSIONAL STONE,





O" [FFE - TBD] **WEST ELEVATION** SCALE: 3/16" = 1'-0" Issued/Revision CLIENT: 2 ISSUED FOR CLIENT REVIEW 2023.09.15 *TENDER INQUIRES CONTACT **8 STOREY APARTMENT** 3 ISSUED FOR SPC/ZBA PRE-CON 2023.09.28 13759741 Canada Inc. 4 ISSUED FOR SPC/ZBA PRE-CON BLDG (77 UNITS) 2024.01.12

LONDON, ON

80-82 BASELINE RD. W.

2024.04.08

2024.05.31

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DRAWING DESCRIPTION:

WEST ELEVATION

PROJ. NO. SBM-23-1200 REVIEWED Checker DRAWN Author



MATERIAL LEGEND

COLOUR

BLACK

WHITE, MATERIAL SELECTION TBD

BY OWNER

BLACK, MATERIAL

BLACK, MATERIAL SELECTION TBD BY

OWNER

WHITE, MATERIAL SELECTION TBD BY

OWNER

BLACK, MATERIAL SELECTION TBD BY

OWNER

WHITE, MATERIAL SELECTION TBD BY

OWNER

BLACK (COLBY OR EQUAL)

BLACK (COLBY OR EQUAL)

CONCRETE

GREY

SELECTION TBD BY OWNER

DESCRIPTION

PRE-FINISHED METAL CAP

FLASHING

BLOCK VENEER

STONE VENEER

VERTICAL SIDING

VERTICAL SIDING

HORIZONTAL SIDING

HORIZONTAL SIDING

PRECAST BANDING (90x390x590

SHOULDICE DIMENSIONAL STONE, SMOOTH TEXTURE)

EXPOSED CONCRETE FOUNDATION

(FINISH SMOOTH)

PB1 PRECAST SILL/BANDING (SHOULDICE 424 SLOPED SILL OR EQUAL)