

PROPOSED 8 STOREY (77 UNIT) APARTMENT BUILDING: 80-82 BASELINE RD. LONDON, ON



SOUTH-EAST PERSPECTIVE VIEW

No.	Issued/Revision	Date
2	ISSUED FOR CLIENT REVIEW	2023.09.15
3	ISSUED FOR SPC/ZBA PRE-CON	2023.09.28
4	ISSUED FOR SPC/ZBA PRE-CON	2024.01.12
5	ISSUED FOR CLIENT REVIEW	2024.04.08
6	ISSUED FOR ZBA	2024.05.31

PROJECT:

**8 STOREY APARTMENT
BLDG (77 UNITS)
80-82 BASELINE RD. W.
LONDON, ON**

CLIENT:

*TENDER INQUIRES CONTACT
13759741 Canada Inc.
C/O Moosa Sedu
Address: 861 Crosscreek Place London, ON
Phone: 519-694-2515
E-mail: mozesproperties@yahoo.com



PRELIMINARY FOR
REVIEW ONLY

DRAWING DESCRIPTION:

**SOUTH-EAST
PERSPECTIVE VIEW**

PROJ. NO: SBM-23-1200
SCALE: AS INDICATED
REVIEWED: PDA
DRAWN: OMP

A001

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK. DRAWINGS REMAIN PROPERTY OF PDA ARCHITECT.



SOUTH-WEST PERSPECTIVE VIEW

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A002

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LEGAL INFORMATION

PART OF
LOT 6, PLAN 29
 (GEOGRAPHIC TOWNSHIP OF WESTMINSTER)
 NOW IN THE
CITY OF LONDON
 COUNTY OF MIDDLESEX



KEY PLAN
 N.T.S.

LIST OF DRAWINGS

SHEET SP1	SITE PLAN & ZONING CHART
SHEET SP2	DETAILS

ZONING DATA CHART

GROSS LOT AREA:	1995.18m ²	BUILDING AREA:	594.19m ²
NET LOT AREA:	1909.51m ²		
ASPHALT:	775.27m ²	LANDSCAPE AREA:	625.72m ²
No. ITEM	REQUIRED	PROPOSED	
1 ZONES	R9-7		
2 LOT AREA (m ² MIN.)	1000.0	1995.18	
3 LOT FRONTAGE (m MIN.)	30.0	45.72	
4 FRONT YARD DEPTH (m) MIN.	3.0	0.96*	
5 EXTERIOR YARD DEPTH (m) MIN.	3.0	N/A	
6 INTERIOR SIDE YARD SETBACK (m) MIN.	12.0	EAST: 4.97*	
7 REAR YARD SETBACK (m) MIN.	12.0	WEST: 6.37*	
8 INTERIOR SIDE YARD ENCROACHMENT (m MAX.)	3.0	4.87*	
9 LANDSCAPE OPEN SPACE (% MIN.)	30	31.36	
10 LOT COVERAGE (% MAX.)	30	29.78	
11 HEIGHT (m) MAX.	45	30.0	
12 DENSITY (UNITS/ha MAX.)	150	386*	

*ZONING DEFICIENCY

PARKING DATA CHART

OFF-STREET VEHICLE PARKING			
No. ITEM	REQUIREMENT	REQUIRED	PROPOSED
1 RESIDENTIAL (APARTMENT)	0.5 PER UNIT (77 UNITS)	39 SPACES	22 SPACES*
2 TOTAL PARKING	SEE ABOVE	39 SPACES	22 SPACES*
3 RESIDENTIAL (VISITOR PARKING)	1/10 RESIDENTIAL UNITS (77 UNITS)	8 SPACES	3 SPACES*
4 B.F. PARKING	4% OF TOTAL PARKING WHERE 13-100 SPACES PROVIDED	2 SPACE	2 SPACE (1 TYPE A, 1 TYPE B)
BICYCLE PARKING			
No. ITEM	REQUIREMENT	REQUIRED	PROPOSED
1 RESIDENTIAL (SHORT TERM)	0.1 PER UNIT (77 UNITS)	8 SPACES	8 SPACES
2 RESIDENTIAL (LONG TERM)	0.9 PER UNIT (77 UNITS)	70 SPACES	72 SPACES (INTERIOR TO BLDG)

*ZONING DEFICIENCY

LEGEND

SYMBOL:	DESCRIPTION:
	PRINCIPAL BARRIER FREE ENTRANCE & FIRE FIGHTER ACCESS ENTRANCE
	SECONDARY BARRIER FREE ENTRANCE
	EMERGENCY EXIT
	VARIES, REFER TO PLAN FOR USE OF EACH DOOR
	PROPOSED SIGNAGE: REFER TO DETAILS FOR MORE INFO. ALL SIGNAGE TO BE ATTACHED TO ADJACENT WALL OR CURB NO SIGN SHALL IMPEDE THE SIDEWALK CLEAR WIDTHS
	PROPOSED BUILDING
	PROPOSED SNOW STORAGE
	PROPOSED LANDSCAPE/RETAINING WALL
	PROPOSED BARRIER FREE S/W ACCESS CURB RAMP, REFER TO DETAILS FOR ADDITIONAL INFO.
	FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT

REFERENCE DOCUMENTS:

1. LEGAL INFO OBTAINED FROM CITY OF LONDON PARCEL PLAN

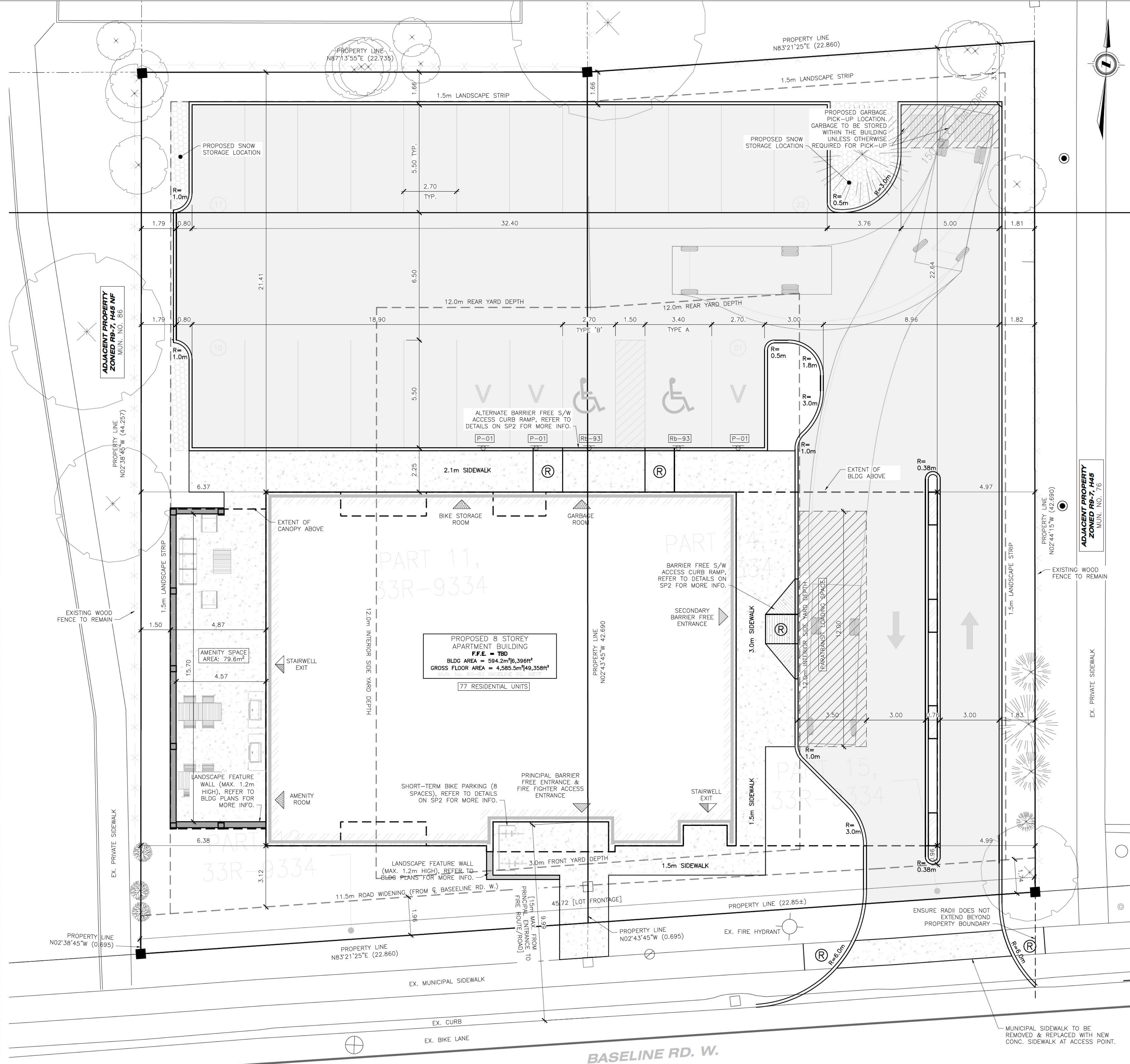
PARCELS, BUILDINGS AND EXISTING INFORMATION ARE APPROXIMATE AND FOR REFERENCE ONLY.

CONCEPT IS PRELIMINARY AND HAS NOT BEEN REVIEWED BY THE CITY.

THE PLAN IS COMPILED AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.

DISCLAIMER:
 1. THIS IS A COMPILED PLAN AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.
 2. CONCEPT PLAN IS PRELIMINARY AND HAS NOT BEEN REVIEWED BY THE CITY.

CONCEPTUAL DESIGN FOR DISCUSSION PURPOSES ONLY



#	ISSUED FOR	DATE
01	ISSUED FOR CLIENT REVIEW	2023.07.13
02	ISSUED FOR CLIENT REVIEW	2023.09.15
03	ISSUED FOR SPG/ZBA PRE-COM	2023.09.28
04	RE-ISSUED FOR ZBA PRE-COM	2024.01.12
05	RE-ISSUED FOR ZBA PRE-COM	2024.01.16
06	ISSUED FOR ZBA	2024.03.18

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8 STOREY APARTMENT BUILDING
(77 RESIDENTIAL UNITS)
80-82 BASELINE RD. W. LONDON, ON

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DRAWING DESCRIPTION
SITE PLAN & ZONING CHART

LIST OF STANDARD DETAILS:

ONTARIO PROVINCIAL STANDARDS:	
OPSD 219.110	LIGHT-DUTY SILT FENCE BARRIER
OPSD 219.180	STRAW BALE FLOW CHECK DAM
OPSD 400.050	CAST IRON, SQUARE FRAME FISH TYPE COVER
OPSD 401.010	MAINTENANCE HOLE, CAST IRON COVER AND SQUARE FRAME
OPSD 600.110	CONCRETE BARRIER CURB
OPSD 603.020	PRECAST CONCRETE CURB
OPSD 608.010	METHOD OF TERMINATION FOR CONCRETE CURB WITH GUTTER
OPSD 701.010	PRECAST CONCRETE MAINTENANCE HOLE, 1200mm DIAMETER
OPSD 705.010	PRECAST CONCRETE CATCH BASIN, 600mmX600mm
OPSD 1109.011	CATHODIC PROTECTION FOR PVC WATERMAIN SYSTEMS
CITY OF LONDON STANDARDS:	
SR-1.1	CONCRETE SIDEWALK ABUTTING CURB AND GUTTER
SR-1.2	CONCRETE SIDEWALK RAMPS
SW-1.0	BEDDING STANDARD FOR GRAVITY AND PRESSURE PIPE
SW-4.0	PRECAST CONCRETE CATCH BASIN - MAINTENANCE HOLE
SW-5.0	MAINTENANCE HOLE ADJUSTMENT UNIT DETAIL
SW-5.3	MAINTENANCE HOLE CAST IRON, WATERTIGHT COVER AND SQUARE FRAME
SW-5.5	CATCH BASIN FRAME AND GRATE 'FISH GRATE'
SW-6.0	PRIVATE DRAIN CONNECTION
W-CS-1 SHT.1	HYDRANT AND VALVE INSTALLATION
W-CS-1 SHT.2	TRACER WIRE INSTALLATION
W-CS-12 SHT.2	GRIP RING RESTRAINER ASSEMBLY
W-CS-12 SHT.3	TYPICAL RESTRAINT DETAILS

WASTE MANAGEMENT

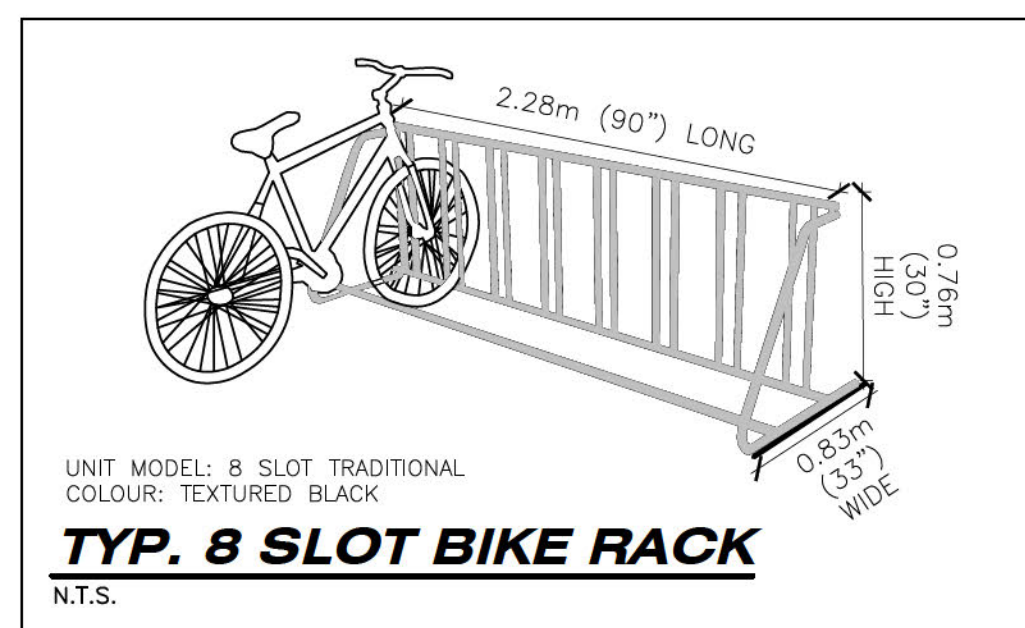
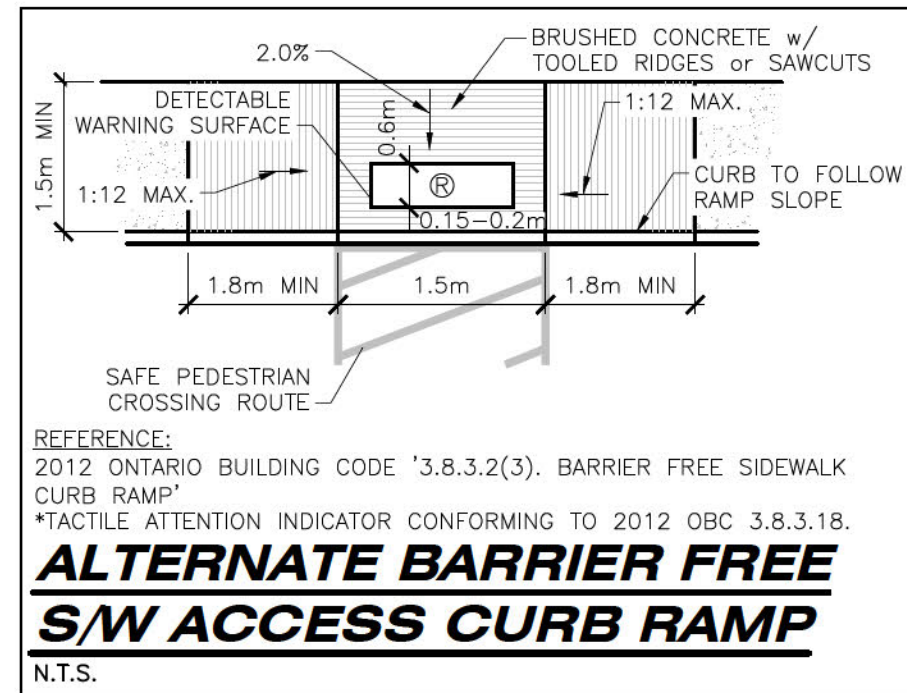
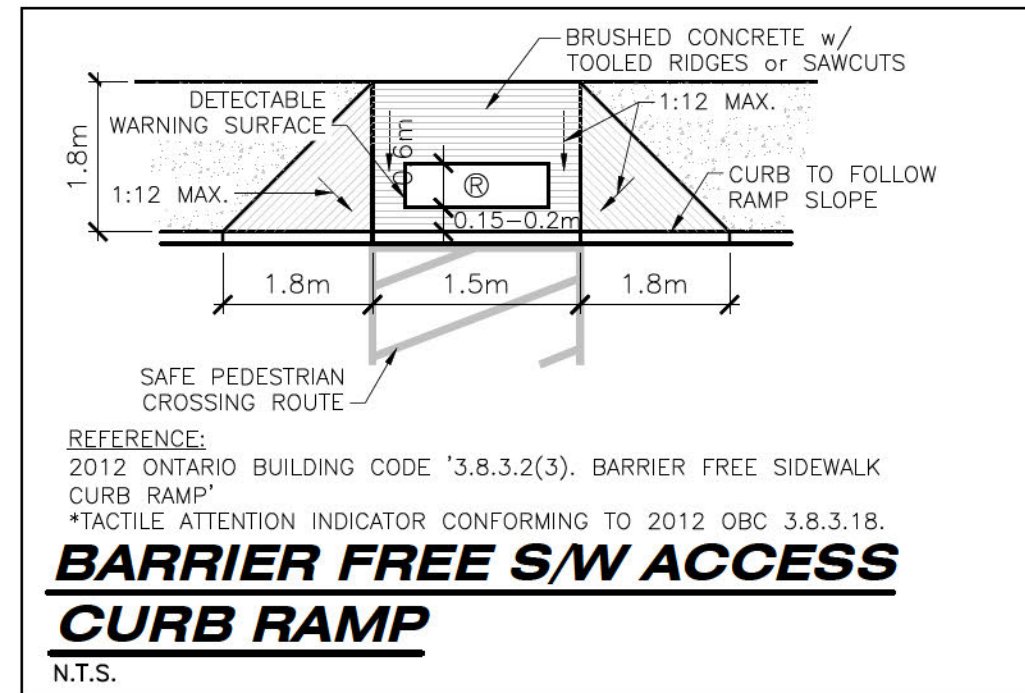
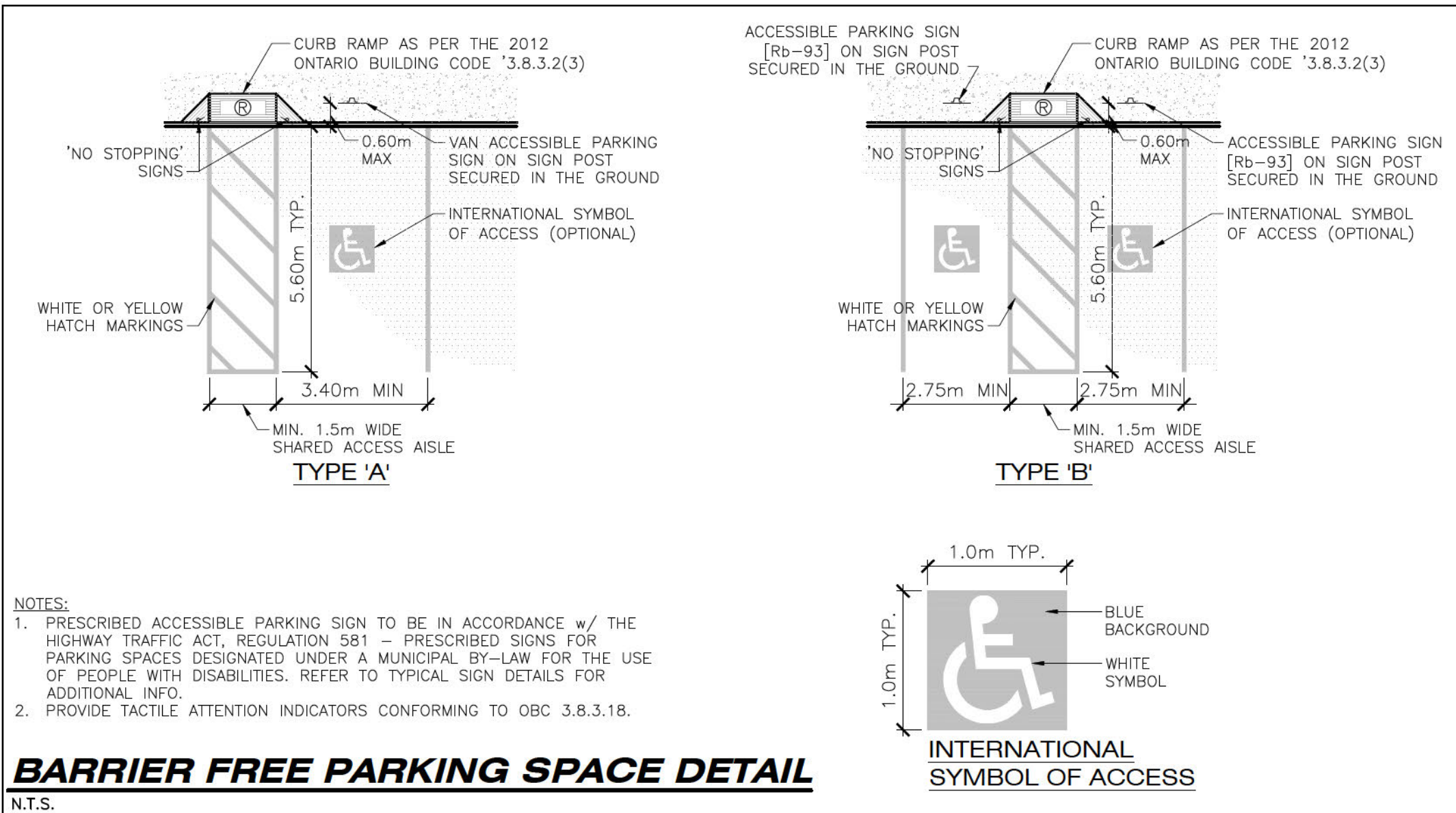
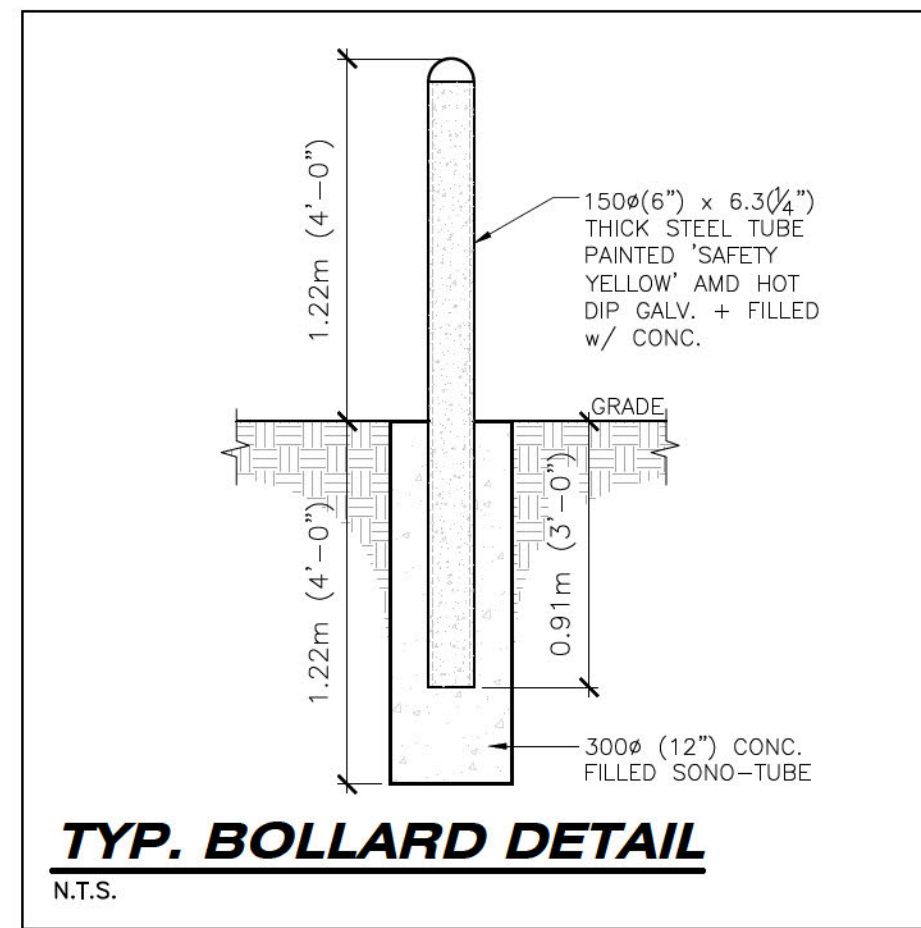
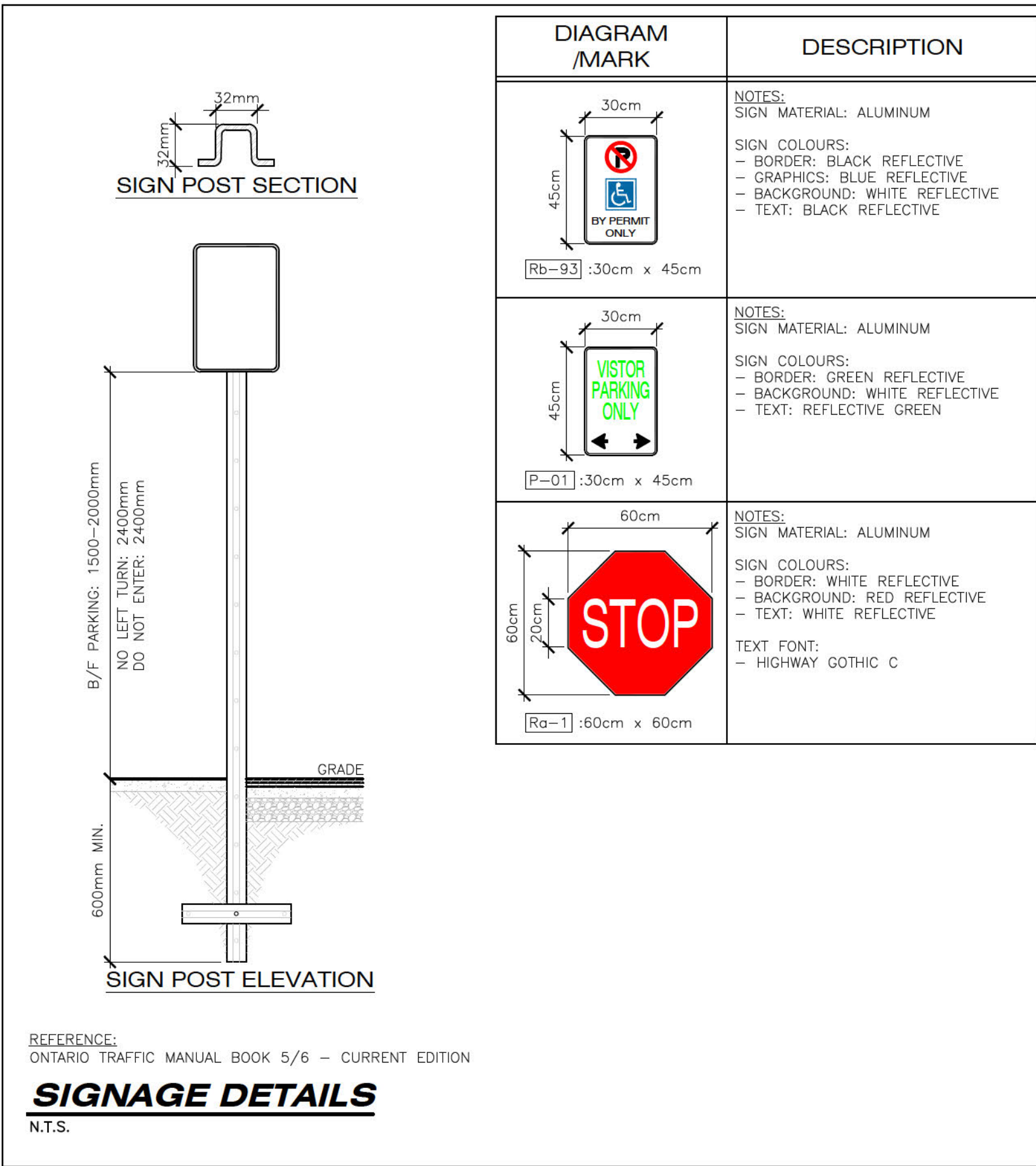
GARBAGE TO BE STORED INTERNALLY AND BE PLACED IN PICK-UP AREA AS NOTED ON SITE PLAN FOR PICK-UP, CONTRACTOR TO COORDINATE PICK-UP WITH RELEVANT PARTIES.

CANADA POST

MAIL DELIVERY TO BE DETERMINED BY CANADA POST.

BUILDING CLASSIFICATION

APARTMENT BUILDING - GROUP C OCCUPANCY PART 3 OF THE ONTARIO BUILDING CODE



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05	RE-ISSUED FOR ZBA PRE-CON	2024.01.16
06	ISSUED FOR ZBA	2024.03.18

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(77 RESIDENTIAL UNITS)
80-82 BASELINE RD. W. LONDON, ON**

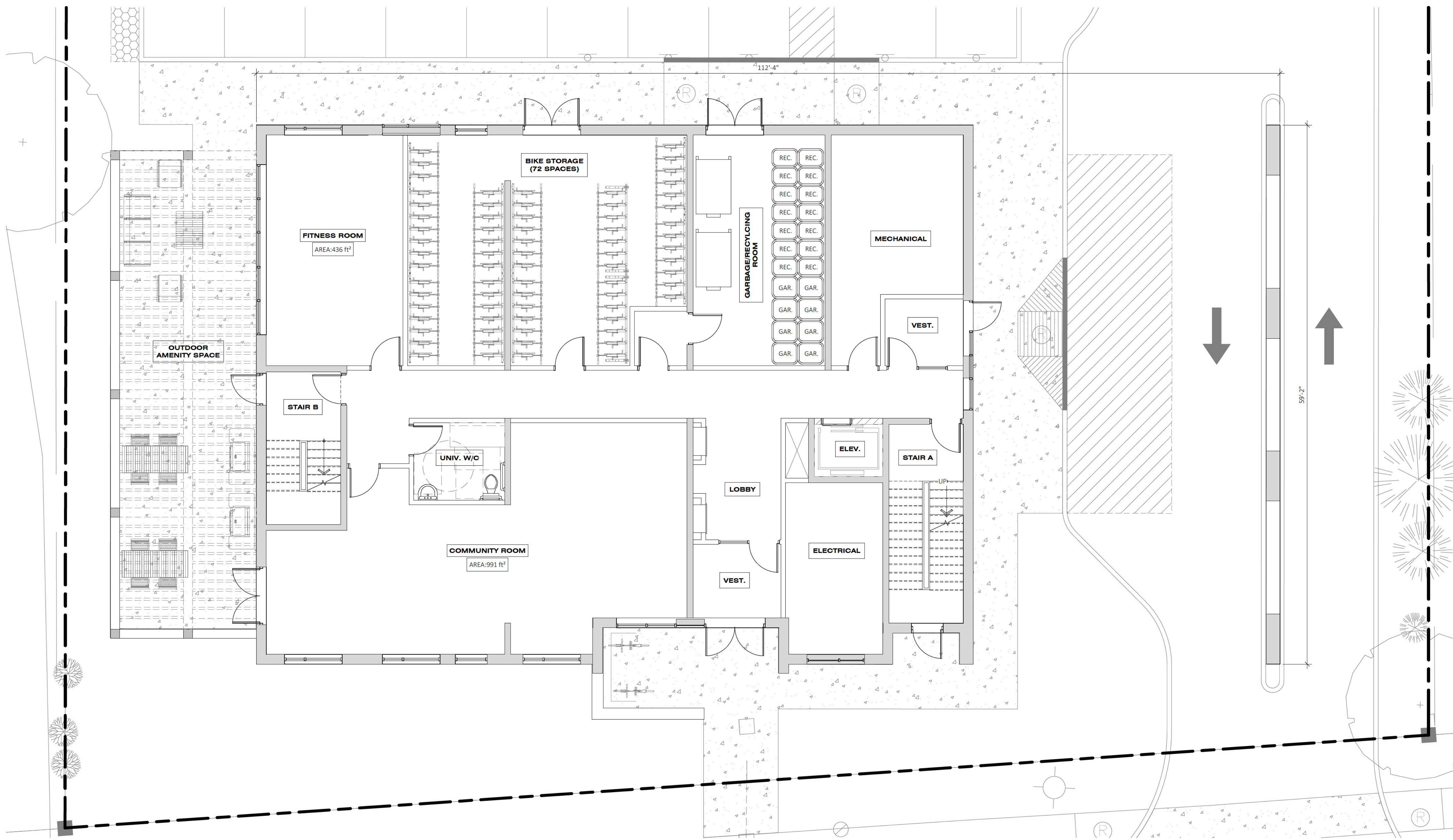
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PRELIMINARY FOR REVIEW ONLY

DRAWING DESCRIPTION
SITE PLAN DETAILS

PROJECT SUMMARY				
Level	Area	STUDIO	1 BED	2 BED
LEVEL 1 (GROUND)	4587 ft ²	0	0	0
LEVEL 2	6396 ft ²	4	5	2
LEVEL 3	6396 ft ²	4	5	2
LEVEL 4	6396 ft ²	4	5	2
LEVEL 5	6396 ft ²	4	5	2
LEVEL 6	6396 ft ²	4	5	2
LEVEL 7	6394 ft ²	4	5	2
LEVEL 8	6396 ft ²	4	5	2
TOTAL:	49358 ft ²	28	35	14



LEVEL 1 FLOOR PLAN (GROUND)
 SCALE: 3/16" = 1'-0"
 GFA: 4680ft²
 UNIT/PARKING THIS FLOOR:
 0 RESIDENTIAL UNITS
 72 BIKE PARKING SPACES

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PROJECT:
8 STOREY APARTMENT BLDG (77 UNITS)
80-82 BASELINE RD. W. LONDON, ON

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DRAWING DESCRIPTION:

LEVEL 1 FLOOR PLAN

PROJ. NO: SBM-23-1200
 SCALE: AS INDICATED
 REVIEWED: Checker
 DRAWN: Author

A100

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TOTAL:	49358 ft ²	28	35	14



TYPICAL FLOOR PLAN

SCALE: 3/16" = 1'-0"

GFA: 6501ft²
 11 UNITS THIS FLOOR:
 (4) STUDIO UNITS
 (5) ONE BEDROOM UNITS
 (2) TWO BEDROOM



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TYPICAL FLOOR PLAN

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 REVIEWED Checker
 DRAWN Author

A101

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MATERIAL LEGEND

TAG	DESCRIPTION	COLOUR	HATCH
F1	PRE-FINISHED METAL CAP FLASHING	BLACK	[Hatch]
BR1	BLOCK VENEER	WHITE, MATERIAL SELECTION TBD BY OWNER	[Hatch]
ST1	STONE VENEER	BLACK, MATERIAL SELECTION TBD BY OWNER	[Hatch]
VS1	VERTICAL SIDING	BLACK, MATERIAL SELECTION TBD BY OWNER	[Hatch]
VS2	VERTICAL SIDING	WHITE, MATERIAL SELECTION TBD BY OWNER	[Hatch]
HS1	HORIZONTAL SIDING	BLACK, MATERIAL SELECTION TBD BY OWNER	[Hatch]
HS2	HORIZONTAL SIDING	WHITE, MATERIAL SELECTION TBD BY OWNER	[Hatch]
PB1	PRECAST SILL/BANDING (SHOULDICE 424 SLOPED SILL OR EQUAL)	BLACK (COLBY OR EQUAL)	[Hatch]
PB2	PRECAST BANDING (90x390x590 SHOULDICE DIMENSIONAL STONE, SMOOTH TEXTURE)	BLACK (COLBY OR EQUAL)	[Hatch]
PP1	EXPOSED CONCRETE FOUNDATION (FINISH SMOOTH)	CONCRETE GREY	[Hatch]



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SOUTH ELEVATION (BASELINE RD)

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DRAWN Author

A400

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NORTH ELEVATION

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NORTH ELEVATION

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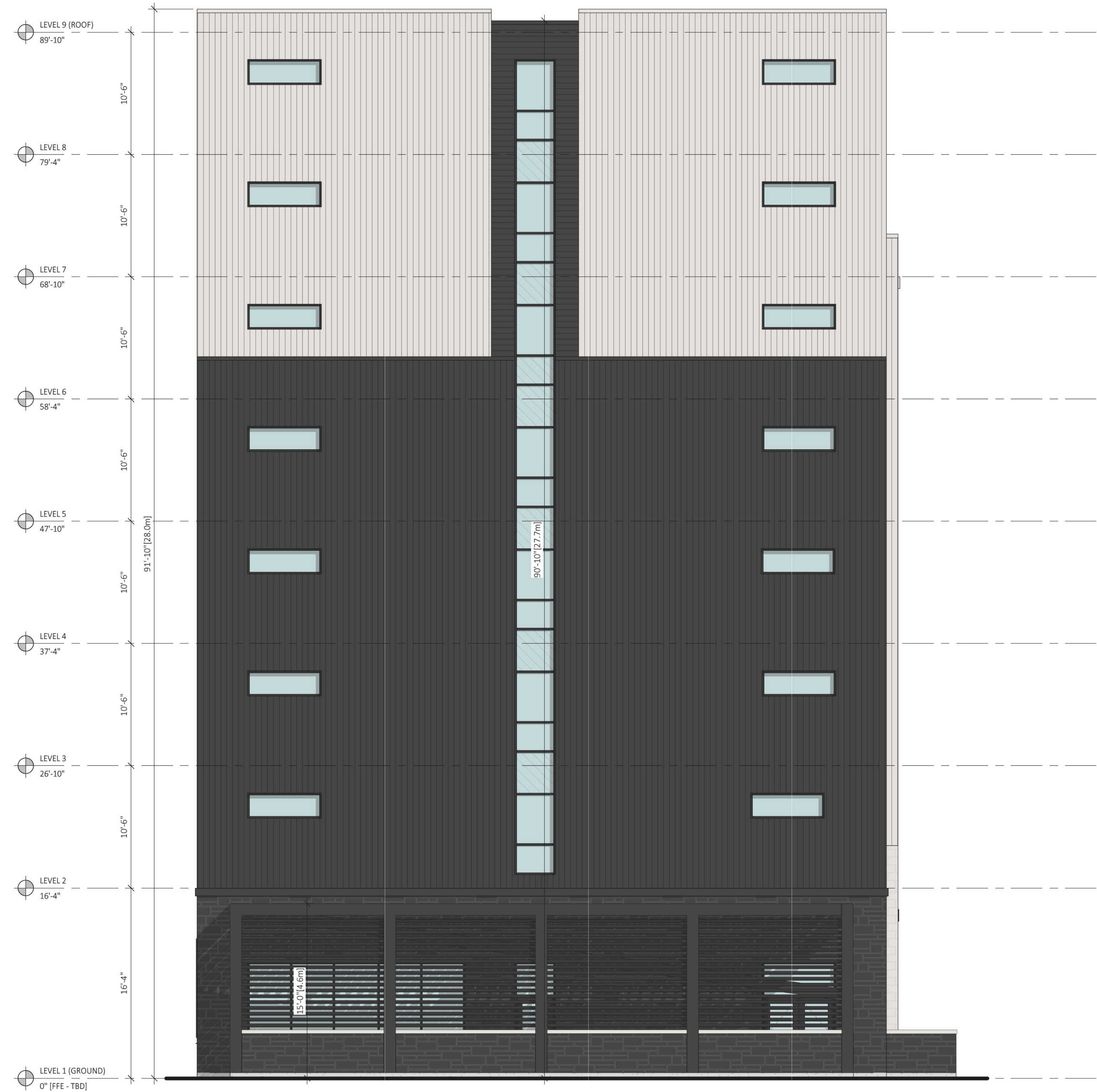
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