

Report to Planning and Environment Committee

To: Chair and Members
Planning and Environment Committee
From: Scott Mathers, MPA, P.Eng.
Deputy City Manager, Planning and Economic Development
Subject: Lux Homes Design & Build (c/o SBM Ltd.)
1990 Commissioners Road East & 2767 Doyle Drive
File Number: Z-9656, Ward 12
Date: November 13, 2023

Recommendation

That, on the recommendation of the Director, Planning and Development, the following actions be taken with respect to the application of Lux Homes Design & Build (c/o SBM Ltd.) relating to the property located at 1990 Commissioners Road East & 2767 Doyle Drive:

- (a) the proposed by-law attached hereto as Appendix "A" **BE INTRODUCED** at the Municipal Council meeting November 28, 2023 to amend Zoning By-law No. Z.-1, in conformity with the Official Plan, The London Plan, to change the zoning of the subject property **FROM** an Urban Reserve Special Provision (UR4(5)/UR4(7)) Zone, **TO** a Residential R5 Special Provision (R5-7(_)) Zone;
- (b) The Site Plan Approval Authority **BE REQUESTED** to consider the following design issues through the site plan process:
 - i) Shift Blocks 1 and 2 to the west and Block 3 to the east to centralize the buildings on the site;
 - ii) Fencing and/or landscaping be provided along the perimeter of the site to ensure adequate buffering is maintained between the subject lands and adjacent residential properties;
 - iii) Additional tree plantings will be required to compensate for loss of trees;
 - iv) Review short-term bicycle parking spaces allocated to the site;

IT BEING NOTED, that the above noted amendment is being recommended for the following reasons:

- i) The recommended amendment is consistent with the *PPS 2020*;
- ii) The recommended amendment conforms to *The London Plan*, including, but not limited to the Neighbourhoods Place Type and Key Directions; and
- iii) The recommended amendment facilitates the development of an underutilized site within the Built Area Boundary with an appropriate form of infill development that provides choice and diversity in housing options.

Executive Summary

Summary of Request

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from an Urban Reserve Special Provision (UR4(5)/UR4(7)) Zone to a Residential R5 Special Provision (R5-7(_)) Zone.

Purpose and the Effect of Recommended Action

The recommended action will permit the development of 3 stacked townhouse buildings, with a total of 72 units at 66 units per hectare.

Staff are recommending approval with special provisions that will facilitate a maximum height of 15 metres, whereas 12 metres is the minimum required, a maximum density of 66 units per hectare, whereas 60 units per hectare is required and for the purposes of

Zoning, Commissioners Road East is to be considered the front lot line.

Linkage to the Corporate Strategic Plan

This recommendation supports the following Strategic Areas of Focus:

- **Housing and Homelessness**, by ensuring London's growth and development is well-planned and considers use, intensity, and form.
- **Wellbeing and Safety**, by promoting neighbourhood planning and design that creates safe, accessible, diverse, walkable, healthy, and connected communities.

Analysis

1.0 Background Information

1.1 Previous Reports Related to this Matter

None.

1.2 Planning History

B.042/22 & A.018/22 – Consent and subsequent minor variance application seeking to retain the existing home and develop the severed parcel. The application was refused at the Committee of Adjustment to ensure a Zoning By-law amendment was undertaken allowing for the comprehensive review of the subject lands.

1.3 Property Description and Location

1990 Commissioners Road East is located along Commissioners Road East, with frontage on both Commissioners Road East and Doyle Drive, in the Jackson Planning District. The subject lands are irregular in shape with a frontage of 18.0 metres (59.1 feet) along Doyle Drive and 143.46 metres (471.13 feet) along Commissioners Road East, an area of 1.14 hectares (2.82 acres), and are currently developed with an existing single detached dwelling and accessory structures on the west side of the property. The existing topography slopes from west to east, with a significant grade change to the east of the property. The subject lands are also located in the Built area boundary, with predominantly single-detached dwellings in the area.

Site Statistics:

- Current Land Use: Single-detached dwelling, accessory structures
- Frontage: 18.0 metres (Doyle Drive) 143.46 metres (Commissioners Road East)
- Depth: metres (feet)
- Area: 1.14 hectares (2.82 acres)
- Shape: irregular
- Located within the Built Area Boundary: Yes
- Located within the Primary Transit Area: No

Surrounding Land Uses:

- North: Single-detached Dwellings
- East: Single-Detached Dwellings
- South: Agricultural uses
- West: Single-detached Dwellings

Existing Planning Information:

- Existing The London Plan Place Type: Neighbourhoods Place Type
- Existing Special Policies: N/A
- Existing Zoning: Special Provision Urban Reserve (UR4(5)/UR4(7))

Additional site information and context is provided in Appendix "B".

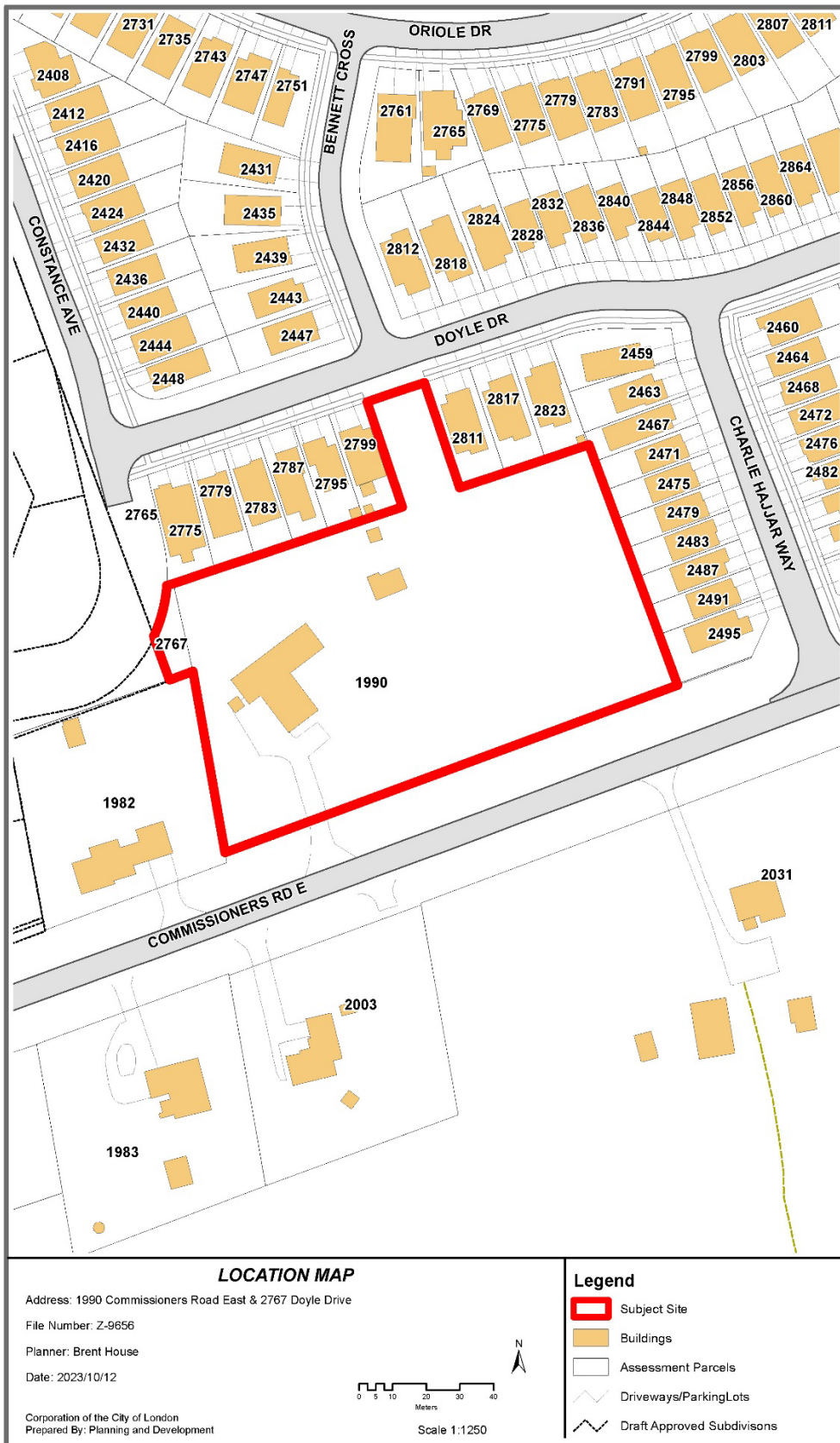


Figure 1- Aerial Photo of Address and surrounding lands



Figure 2 - Streetview of 1990 Commissioners Road East (view looking south)

2.0 Discussion and Considerations

2.1 Development Proposal

The applicant has proposed to redevelop the subject site with medium density residential uses in the form of three stacked townhouse buildings, each containing 24 residential dwelling units. A total of 72 two-bedroom units would be constructed on the 1.14 ha site with an overall unit density of 63 units per hectare (UPH). The three buildings would be oriented along the west, south and east property boundaries, with front doors on both sides of each building. An extensive pedestrian walkway network would connect all dwelling units to the vehicle and bicycle parking areas, outdoor communal amenity area, and garbage collection areas that are all centrally located within the development.

The existing driveway access from Commissioners Road East would be removed and a new vehicle entrance from Doyle Drive would be created. The proposed development will provide for on-site parking, targeting the anticipated market rate of approximately 1.5 spaces for each unit. Landscaping will enhance the development and pedestrian walkways, while creating screening from the abutting streets and adjacent residential uses.

The proposed development includes the following features:

- Land use: Medium Density Residential
- Form: 3 stacked townhouse buildings
- Height: 3.5 storeys (15 metres)
- Residential units: 72
- Density: 66 Units Per Hectare
- Gross floor area: 2,278.5m²
- Building coverage: 20%
- Parking spaces: 106 surface parking spaces
- Bicycle parking spaces: 33 outside bicycle parking spaces
- Landscape open space: 51.1%
- Functional amenity space: 511.4m²

Additional information on the development proposal is provided in Appendix “B”.

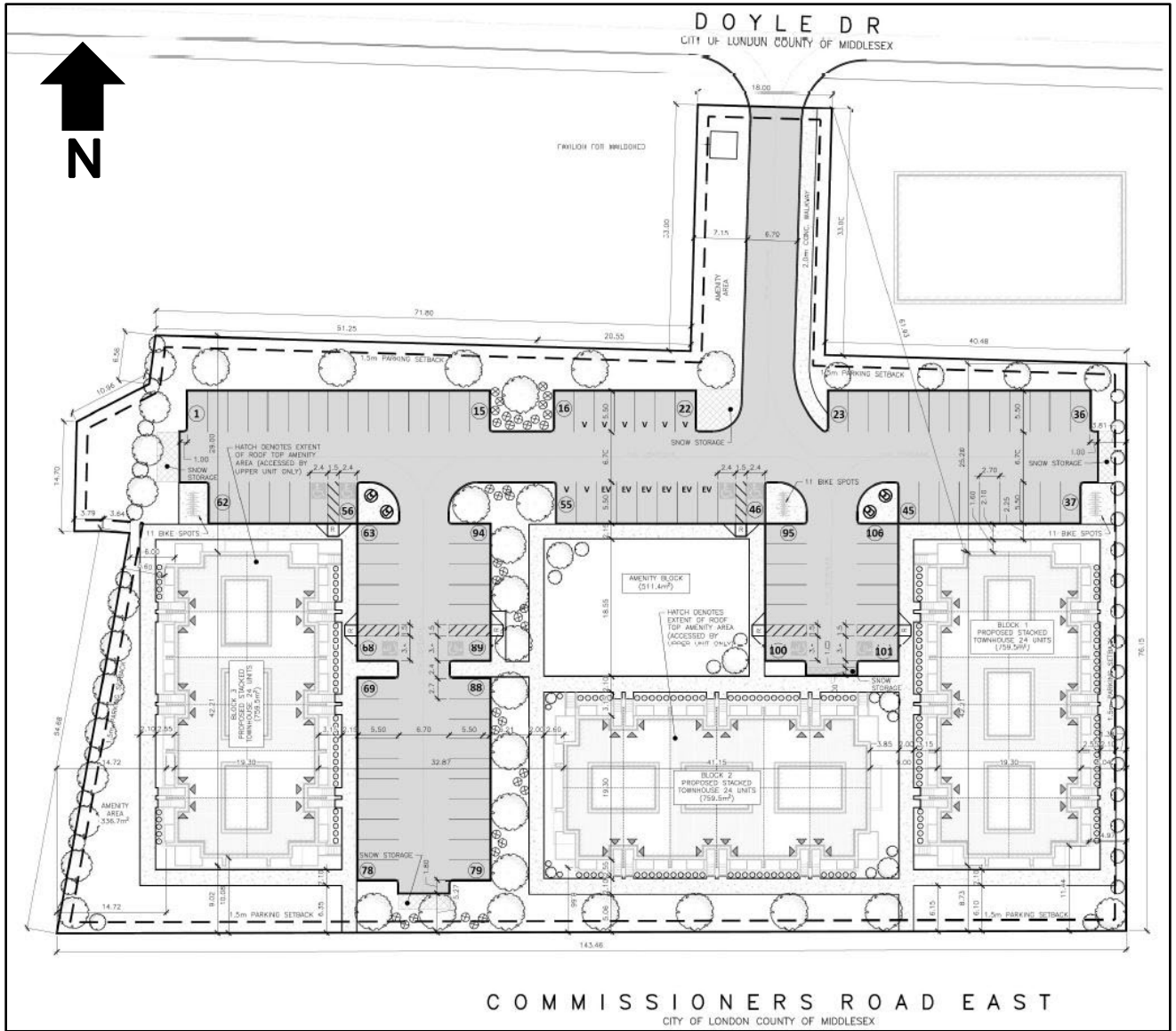


Figure 3 - Conceptual Site Plan (received September 11, 2023)



Figure 4 – Renderings of proposed stacked townhouses (Received September 11, 2023)



Figure 5 – Renderings of proposed stacked townhouses (Received September 11, 2023)

Additional plans and drawings of the development proposal are provided in Appendix “D”.

2.2 Requested Amendment(s)

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from an Urban Reserve Special Provision (UR4(5)/UR4(7)) Zone to a Residential R5 Special Provision (R5-7(_)) Zone.

The following table summarizes the special provisions that have been proposed by the applicant and those that are being recommended by staff. Key issues with the east interior side yard setback are explained under 2.3, below.

Regulation (Zone)	Required	Proposed	Staff Recommended
East Interior Side Yard Setback (minimum)	6.0 metres	4.9 metres	6.0 metres
West Interior Side Yard Setback (minimum)	6.0 metres	5.6 metres	5.6 metres
Height (Maximum)	12 metres	15 metres	15 metres
Density (maximum)	60 units per hectare	66 units per hectare	66 units per hectare
Lot Frontage	Oriented to Dyer Drive	Oriented to Commissioners Road East	Oriented to Commissioners Road East
Architectural Encroachment (Structural or non-structural) (Maximum)	0.5 metres	1.0 metres	1.0 metres

2.3 Internal and Agency Comments

The application and associated materials were circulated for internal comments and public agencies to review. Comments received were considered in the review of this application and are addressed in Section 4.0 of this report.

Key issues identified by staff and agencies included:

- Interior Side Yard Setbacks insufficient for privacy concerns to the east
- Interior Side Yard Setbacks insufficient for grade change and space for services to the west

Detailed internal and agency comments are included in Appendix “D” of this report.

2.4 Public Engagement

On September 18, 2023, Notice of Application was sent to 99 property owners and residents in the surrounding area. Notice of Application was also published in the *Public Notices and Bidding Opportunities* section of *The Londoner* on September 20, 2023. A “Planning Application” sign was also placed on the site.

There were zero responses received during the public consultation period. Comments received were considered in the review of this application and are addressed in Section 4.0 of this report.

Detailed public comments are included in Appendix “E” of this report.

2.5 Policy Context

The Planning Act and the Provincial Policy Statement, 2020

The Provincial planning policy framework is established through the *Planning Act* (Section 3) and the *Provincial Policy Statement, 2020 (PPS)*. The *Planning Act* requires that all municipal land use decisions affecting planning matters shall be consistent with the *PPS*.

The mechanism for implementing Provincial policies is through the Official Plan, *The London Plan*. Through the preparation, adoption and subsequent Ontario Land Tribunal (OLT) approval of *The London Plan*, the City of London has established the local policy framework for the implementation of the Provincial planning policy framework. As such, matters of provincial interest are reviewed and discussed in *The London Plan* analysis below.

As the application for a Zoning By-law amendment complies with *The London Plan*, it is staff’s opinion that the application is consistent with the *Planning Act* and the *PPS*.

The London Plan, 2016

The London Plan (TLP) includes evaluation criteria for all planning and development applications with respect to use, intensity and form, as well as with consideration of the following (TLP 1577-1579):

1. Consistency with the Provincial Policy Statement and all applicable legislation.
2. Conformity with the Our City, Our Strategy, City Building, and Environmental policies.
3. Conformity with the Place Type policies.
4. Consideration of applicable guideline documents.
5. The availability of municipal services.
6. Potential impacts on adjacent and nearby properties in the area and the degree to which such impacts can be managed and mitigated.
7. The degree to which the proposal fits within its existing and planned context.

Staff are of the opinion that all the above criteria have been satisfied.

3.0 Financial Impact/Considerations

None.

4.0 Key Issues and Considerations

4.1 Land Use

The proposed residential uses are supported by the policies of the Provincial Policy Statement, 2020 (PPS) that speak to creating healthy, livable and safe communities

(1.1.1). The uses are also contemplated in the Neighbourhoods Place Type where a property is along a Civic Boulevard in The London Plan (Table 10). The proposed stacked townhouse residential uses align with the goals of the Neighbourhoods Place Type by contributing to neighbourhoods that allow for a diversity and mix of housing types that are compatible with the existing neighbourhood character (TLP 918_2 and _13). The residential uses promote housing for all Londoners and to attract a diverse population to the city (TLP 57_11).

4.2 Intensity

The proposed residential intensity is consistent with the policies of the PPS that encourage residential intensification, redevelopment, and compact form (1.1.3.4), and a diversified mix of housing types and densities (1.4.1). The proposed residential intensity conforms with the Neighbourhoods Place Type in The London Plan which contemplates a maximum height of 4 storeys where a property has frontage on a Civic Boulevard (Table 11). As the applicant has provided heights of 3.5 storeys, the proposed development is in keeping with The London Plan policies.

The proposed residential intensity will facilitate an appropriate scale of development that is compatible with the existing neighbourhood character, directing height and intensity toward the higher order street (TLP_13). The stacked townhouses are accommodated on a parcel that is of sufficient size to support their use and can provide sufficient setbacks to buffer the neighbouring single-detached dwellings from the higher-order development. The redevelopment of the parcel will facilitate the efficient use of land and existing municipal services, as servicing is available for the proposed uses identified (TLP 953_2 and 3).

Special provisions to permit a maximum height of 15 metres (3.5 storeys) and a maximum density of 66 Units Per Hectare are being recommended.

4.3 Form

The proposed built form is generally consistent with the Neighbourhoods Place Type and the City Design policies in The London Plan by facilitating an appropriate form and scale of residential intensification that is compatible with the existing neighbourhood character (TLP 953_2). Specifically, the proposed built form supports a positive pedestrian environment through a strong internal sidewalk network out to Doyle Drive, a mix of housing types within the neighbourhood in order to support ageing in place and affordability and is designed to be a good fit and compatible within its context/neighbourhood character (Policy 193_).

The stacked townhouses proposed are to be situated internal to the site, with buildings being located along the west property line and east property line, and a third building located centrally facing Commissioners Road East. It should be noted while development that is perpendicular to the street is generally not preferred, staff acknowledge that the site is constrained with a large slope on the property sloping from west to east, and a slope down from Commissioners Road East into the site that prevents the buildings being directly oriented east/west and front facing to the Commissioners Road East frontage.

Staff are supportive of the proposed special provisions for height, density and the lot frontage being considered Commissioners Road East opposed to the entrance at Doyle Drive. The increase of height to permit 15 metres, whereas 12 metres is required is in keeping with The London Plan height policies for the Place Type, as the building will remain under the maximum storey count of 4-storeys outlined in Table 10. Increasing the density from 60 UPH to 66 UPH is a relatively minor increase to the current allocated density, and the proposed site layout has identified that the property can accommodate the additional intensity appropriately. Engineering Staff have confirmed that there are municipal services available to accommodate the proposed density.

Identifying Commissioners Road East as the lot frontage for the subject lands is appropriate, as Policy 920_4 states "Where development is being considered at the

intersection of two streets of different classifications the higher-order street onto which the property has frontage, will be used to establish the permitted uses and intensity of development on Tables 10 to 12.” As Commissioners Road East is the higher-order street and the proposed development is situated with the built edge along the Commissioners Road East frontage, staff are satisfied that utilizing the street frontage as the legal frontage is appropriate.

4.4 Encroachment

Section 4.27 of the Zoning By-law outlines yard encroachments permitted within residential zones and all zones that abut residential zones (Zoning By-law, Section 4.27). The intent of encroachment regulations is to ensure that there are no structural encroachments which would impact adjacent properties. In this case, the increased encroachment for a non-structural feature is for the purpose of providing a decorative wall around each unit within the stacked townhouse development. The London Plan provides design objectives that emphasize a desirable built form to create a sense of place and character consistent with the Place Type (Policy 197_). The proposed decorative wall will contribute to the built form and will maintain a sufficient interior side yard setback (6 metres) to the main building. The decorative wall helps to ensure sufficient buffering is provided between the units within the proposed stacked townhouse development and to the abutting properties. In addition, the increased maximum interior side yard encroachment requested allows the applicant to incorporate an element of architectural interest to the existing building, whereas the standard maximum projection in the by-law would not provide for enough projection to clearly illustrate the decorative wall.



Figure 6 - Decorative wall architecture feature (outlined in red)

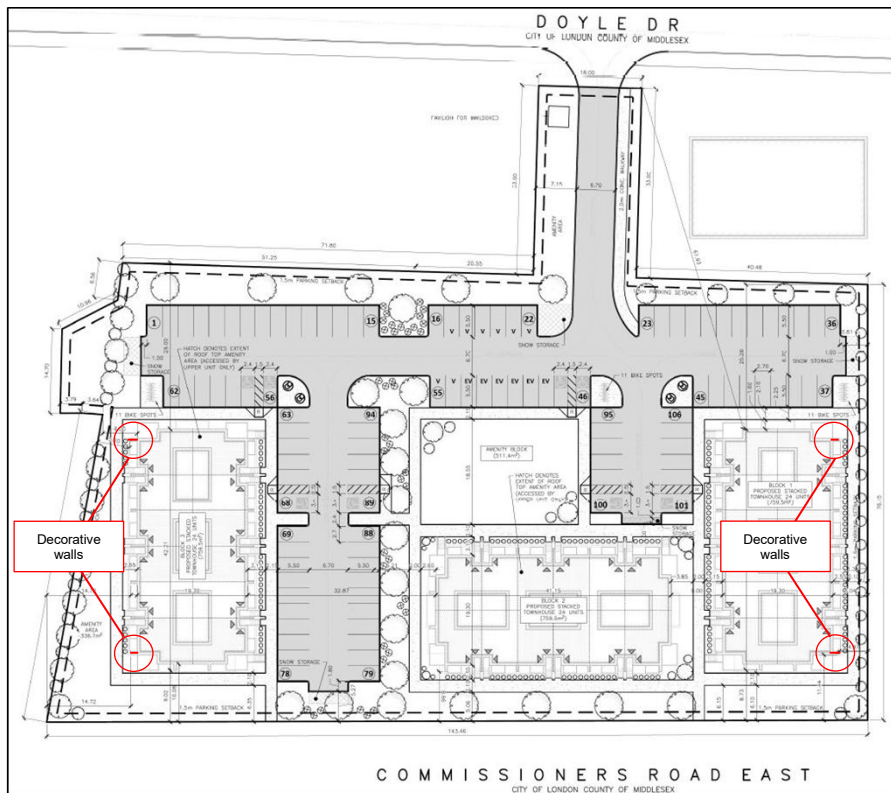


Figure 7 - Site Plan outlining location of decorative walls.

Conclusion

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from a Special Provision Urban Reserve (UR4(5)) Zone to a Special Provision Residential R5 (R5-7(_)) Zone. Staff are recommending approval of the requested Zoning Bylaw amendment with special provisions.

The recommended action is consistent with the PPS 2020, conforms to The London Plan and will permit the development of three stacked townhouse buildings with 72 units, at a density of 66 UPH.

Prepared by: Brent House, Planner
Planning Implementation

Reviewed by: Mike Corby, MCIP, RPP
Manager, Planning Implementation

Recommended by: Heather McNeely, MCIP, RPP
Director, Planning and Development

Submitted by: Scott Mathers, MPA, P.Eng.
Deputy City Manager, Planning and Economic
Development

Copy:
Britt O'Hagan, Manager, Current Development
Michael Pease, Manager, Site Plan
Brent Lambert, Manager, Development Engineering

Appendix A – Zoning Bylaw Amendment

Bill No. (number to be inserted by Clerk's Office)
2023

By-law No. Z.-1-

A by-law to amend By-law No. Z.-1 to rezone an area of land located at 1990 Commissioners Road East & 2767 Doyle Drive

WHEREAS this amendment to the Zoning By-law Z.-1 conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 1990 Commissioners Road East & 2767 Doyle Drive, as shown on the attached map comprising part of Key Map No. A114, **FROM** a Urban Reserve Special Provision (UR4(5)/UR4(7)) Zone **TO** a Residential R5 Special Provision (R5-7(_)) Zone.
2. Section Number 9.4 of the R5 Zone is amended by adding the following Special Provisions:

Residential R5-7(_) 1990 Commissioners Road East & 2767 Doyle Drive

a. Regulations

- | | |
|--|------------|
| i) Height (Maximum) | 15 metres |
| ii) Density (Maximum) | 66 UPH |
| iii) Architectural Encroachment
(Structural or non-structural)
(maximum) | 1.0 metres |
| iv) For the purpose of Zoning, the front lot line is deemed to be
Commissioners Road East | |

3. This Amendment shall come into effect in accordance with Section 34 of the *Planning Act, R.S.O. 1990*, c. P13, either upon the date of the passage of this by-law or as otherwise provided by the said section.

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

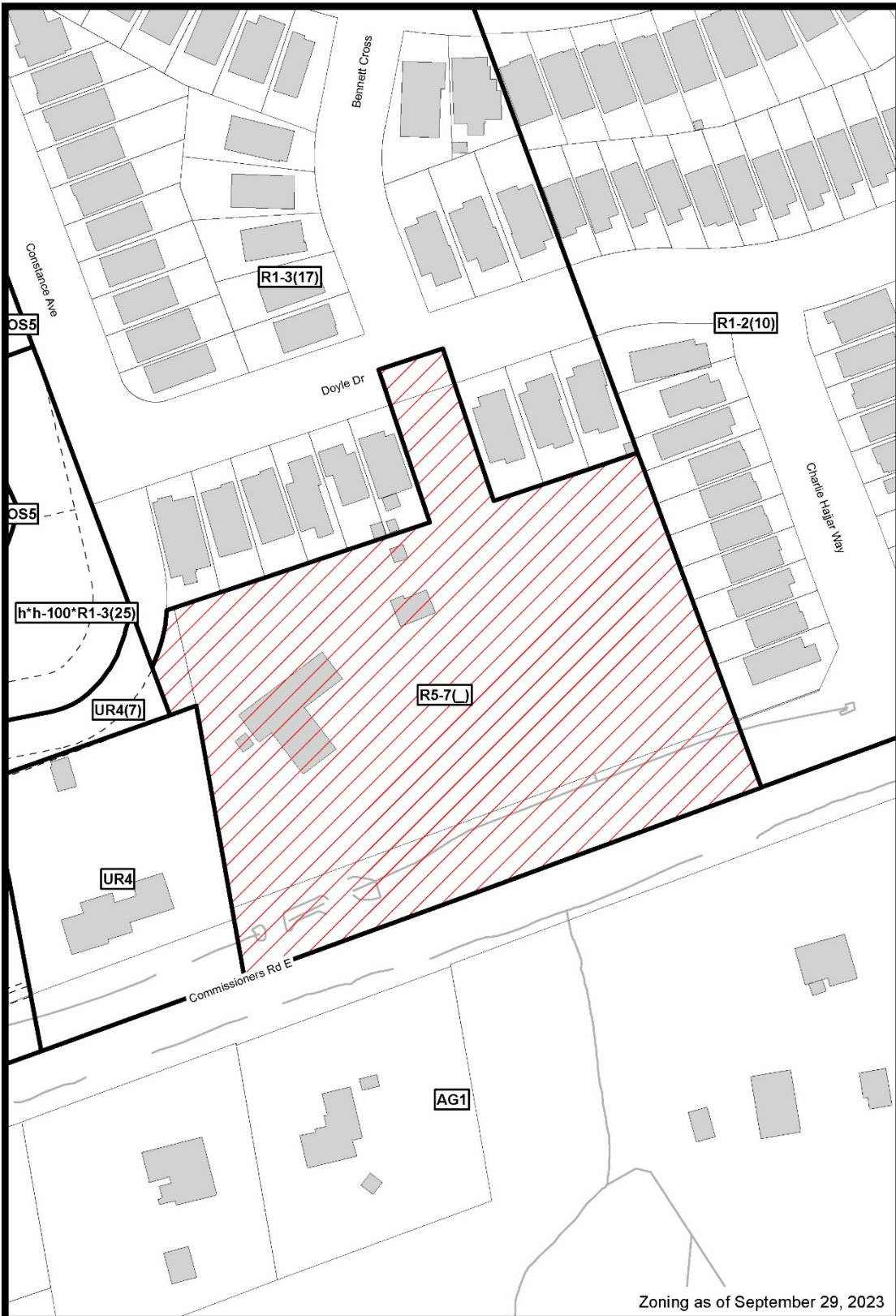
PASSED in Open Council on November 28, 2023 subject to the provisions of PART VI.1 of the *Municipal Act, 2001*.

Josh Morgan
Mayor

Michael Schulthess
City Clerk

First Reading – November 28, 2023
Second Reading – November 28, 2023
Third Reading – November 28, 2023

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



File Number: Z-9656
Planner: BH
Date Prepared: 2023/10/12
Technician: RC
By-Law No: Z.-1-

SUBJECT SITE 

1:1,250

0 5 10 20 30 40 Meters



Appendix B - Site and Development Summary

A. Site Information and Context

Site Statistics

Current Land Use	Single detached dwelling and associated accessory uses
Frontage	143.6 metres (471.13 feet) Commissioners Road East 18.0 metres (59.1 feet) Doyle Drive
Area	1.14 hectares (2.82 acres)
Shape	irregular
Within Built Area Boundary	Yes
Within Primary Transit Area	No

Surrounding Land Uses

North	Single-detached dwellings
East	Single-detached dwellings
South	Rural Residential dwellings and farmland
West	Single-detached dwellings

Proximity to Nearest Amenities

Major Intersection	Commissioners Road East & Hamilton Road, 442 metres
Dedicated cycling infrastructure	Commissioners Road East, 2,762.2 metres
London Transit stop	Hamilton Road at Oriole SB - #2955, 283 metres
Public open space	Sheffield Park, ~200 metres
Commercial area/use	Glen Carin Woods, 3,788 metres
Food store	Food Basics, 3,788 metres
Community/recreation amenity	Glen Carin Arena, 5,100 metres

B. Planning Information and Request

Current Planning Information

Current Place Type	Neighbourhoods Place Type fronting a Civic Boulevard and Neighbourhood Street
Current Special Policies	N/A
Current Zoning	Urban Reserve (UR4(5)/UR4(7))

Requested Designation and Zone

Requested Place Type	Neighbourhoods Place Type fronting a Civic Boulevard and Neighbourhood Street
Requested Special Policies	N/A
Requested Zoning	Special Provision Residential R5-7()

Requested Special Provisions

Regulation (R5-7)	Required	Proposed
Height (maximum)	12 metres	15 metres
Density (maximum)	60 UPH	66 UPH
Lot Frontage	Oriented to Doyle Dr	Oriented to Commissioners Road East
Encroachment (Structural & Non-Structural)	1.5 metres	1.0 metres

C. Development Proposal Summary

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from an Urban Reserve Special Provision (UR4(5)/UR4(7)) Zone to a Residential R5 Special Provision (R5-7(_)) Zone.

Development Overview

The applicant has proposed to redevelop the Subject Site with medium density residential uses in the form of three stacked townhouse buildings, each containing 24 residential dwelling units. A total of 72 two-bedroom units would be constructed on the 1.14 ha site with an overall unit density of 63 units per hectare (UPH).

Proposal Statistics

Land use	Residential
Form	3 stacked townhouse buildings
Height	3.5 storeys (15 metres)
Residential units	72
Density	66 UPH
Gross floor area	2,278.52
Building coverage	20%
Landscape open space	51.1%
Functional amenity space	511.42
New use being added to the local community	Yes

Mobility

Parking spaces	106 surface parking spaces
Vehicle parking ratio	1.5 spaces per unit
New electric vehicles charging stations	6 spaces
Secured bike parking spaces	77
Secured bike parking ratio	1.06 spaces per unit
Completes gaps in the public sidewalk	Yes
Connection from the site to a public sidewalk	Yes
Connection from the site to a multi-use path	N/A

Environmental Impact

Tree removals	22
Tree plantings	50
Tree Protection Area	No
Loss of natural heritage features	No
Species at Risk Habitat loss	No
Minimum Environmental Management Guideline buffer met	N/A
Existing structures repurposed or reused	No
Green building features	Unknown

Appendix C – Additional Plans and Drawings



COUNCIL APPROVED ZONING FOR THE SUBJECT SITE:

1) *LEGEND FOR ZONING BY-LAW Z-1*

- | | |
|---|-----------------------------------|
| R1 - SINGLE DETACHED DWELLINGS | RF - REGIONAL FACILITY |
| R2 - SINGLE AND TWO UNIT DWELLINGS | CF - COMMUNITY FACILITY |
| R3 - SINGLE TO FOUR UNIT DWELLINGS | NF - NEIGHBOURHOOD FACILITY |
| R4 - STREET TOWNHOUSE | HER - HERITAGE |
| R5 - CLUSTER TOWNHOUSE | DC - DAY CARE |
| R6 - CLUSTER HOUSING ALL FORMS | |
| R7 - SENIOR'S HOUSING | OS - OPEN SPACE |
| R8 - MEDIUM DENSITY/LOW RISE APTS. | CR - COMMERCIAL RECREATION |
| R9 - MEDIUM TO HIGH DENSITY APTS. | ER - ENVIRONMENTAL REVIEW |
| R10 - HIGH DENSITY APARTMENTS | |
| R11 - LODGING HOUSE | OB - OFFICE BUSINESS PARK |
| DA - DOWNTOWN AREA | LI - LIGHT INDUSTRIAL |
| RSA - REGIONAL SHOPPING AREA | GI - GENERAL INDUSTRIAL |
| CSA - COMMUNITY SHOPPING AREA | HI - HEAVY INDUSTRIAL |
| NSA - NEIGHBOURHOOD SHOPPING AREA | EX - RESOURCE EXTRACTIVE |
| BDC - BUSINESS DISTRICT COMMERCIAL | UR - URBAN RESERVE |
| AC - ARTERIAL COMMERCIAL | |
| HS - HIGHWAY SERVICE COMMERCIAL | AG - AGRICULTURAL |
| RSC - RESTRICTED SERVICE COMMERCIAL | AGC - AGRICULTURAL COMMERCIAL |
| CC - CONVENIENCE COMMERCIAL | RRC - RURAL SETTLEMENT COMMERCIAL |
| SS - AUTOMOBILE SERVICE STATION | TGS - TEMPORARY GARDEN SUITE |
| ASA - ASSOCIATED SHOPPING AREA COMMERCIAL | RT - RAIL TRANSPORTATION |
| OR - OFFICE/RESIDENTIAL | "h" - HOLDING SYMBOL |
| OC - OFFICE CONVERSION | "D" - DENSITY SYMBOL |
| RO - RESTRICTED OFFICE | "H" - HEIGHT SYMBOL |
| OF - OFFICE | "B" - BONUS SYMBOL |
| | "T" - TEMPORARY USE SYMBOL |

CITY OF LONDON

PLANNING SERVICES / DEVELOPMENT SERVICES

ZONING BY-LAW NO. Z-1 SCHEDULE A

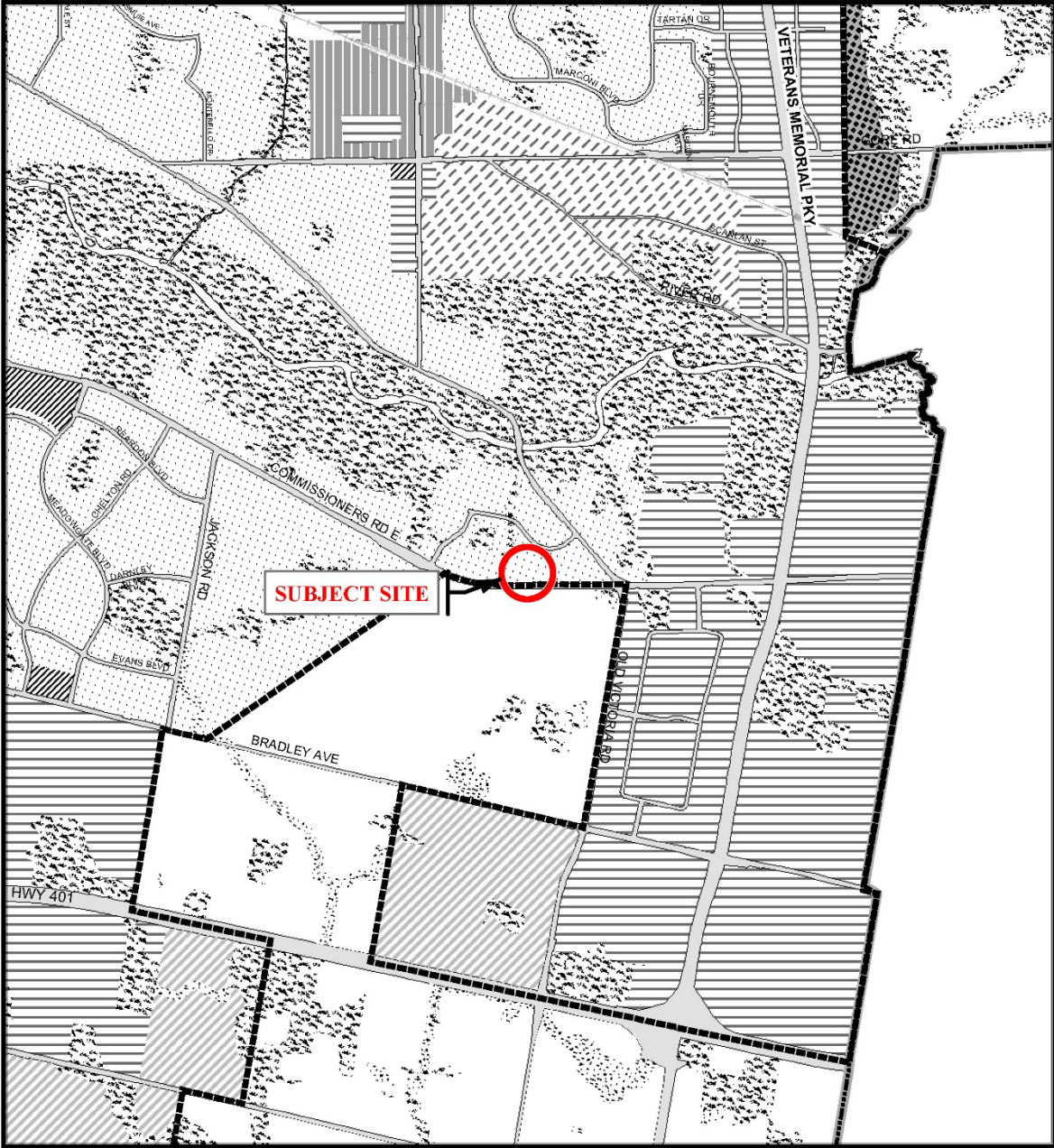


THIS MAP IS AN UNOFFICIAL EXTRACT FROM THE ZONING BY-LAW WITH ADDED NOTATIONS

FILE NO:
Z-9656 BH

MAP PREPARED:
2023/10/12 RC

1:1,500
0 5 10 20 30 40
Meters



Legend

- | | | |
|------------------------|--------------------------|---|
| Downtown | Future Community Growth | Environmental Review |
| Transit Village | Heavy Industrial | Farmland |
| Shopping Area | Light Industrial | Rural Neighbourhood |
| Rapid Transit Corridor | Future Industrial Growth | Waste Management Resource Recovery Area |
| Urban Corridor | Commercial Industrial | Urban Growth Boundary |
| Main Street | Institutional | |
| Neighbourhood | Green Space | |

This is an excerpt from Planning & Development's working consolidation of Map 1 - Place Types of the London Plan, with added notations.

<p>CITY OF LONDON Official Plan LONDON PLAN MAP 1 - PLACE TYPES - PREPARED BY: Planning & Development</p>	<p>Scale 1:30,000 0 150 300 600 900 1200 1500 Meters</p>	<p>File Number: Z-9656 Planner: BH Technician: RC Date: 2023/10/12</p>
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Appendix D – Internal and Agency Comments

Engineering

Engineering has no requirements for a complete re zoning application. The grade differential on the west portion of the site will need to be addressed at site plan.

Comments to be addressed at Site Plan:

COMPLETE SUBMISSION REQUIREMENTS:

- Site servicing and grading drawings including TMP and ESC measures;
- Servicing Report including SWM, sanitary, water servicing strategies;

SITE PLAN ENGINEERING COMMENTS:

- A Servicing and Lot Grading Plan will be required for the subject property. The site servicing and grading plans are to show current conditions on the adjacent streets and properties such as existing roads, accesses, sidewalks, sewers, watermains, utilities, easements etc. Should a private drain connection(s), or other works be installed on a City street to service this site. Details of these works including restoration of the City street are to be shown on the site servicing plan or a separate drawing to City standards.
- The Owner is required to obtain all necessary and relevant permits and approvals such as MECP Approvals, Permits for Approved Works (PAWS), UTRCA Section 28 etc.
- A security estimate will be required for all internal and external works.
- Consideration of the topographic nature of the site. Retaining walls may be required to address the 10.0m grade difference from west to east. Ensure walls are located fully on the subject site and existing drainage from 1982 Commissioners is maintained and accommodated within the SWM design.
- For back to back townhomes, private servicing (water, san) is required along the frontage of the units, with each unit being provided with individual service connections. Ensure there is enough setback from property line to accommodate the private servicing and future excavations all within the subject site and not impacting adjacent properties.

SEWER ENGINEERING COMMENTS:

- The municipal sanitary sewer available to service the subject site is a 200 mm diameter sanitary sewer on Doyle Drive.
- City as-constructed drawing T13502-15 shows information related to the municipal sanitary sewer and private drain connection. The applicant is responsible to field verify this information.
- City as-constructed drawings T13502-04 and T13502-07 indicate the allocated land use and population intended for the subject lands and the applicant is to adhere to these guidelines.

WATER ENGINEERING COMMENTS:

- Water is available to service the subject site via the municipal 200 mm PVC watermain on Doyle Drive.
- A Water report is required to be submitted which includes water demand, water turnover and fire flows.
- Water servicing shall be configured in a way to avoid the creation of a regulated drinking water system.

STORMWATER ENGINEERING COMMENTS:

- As per City as-constructed drawings T13502-02 and T13502-03, the site (at C=0.65) is tributary to the existing 450 mm storm sewer lead to the onsite CBMH.
- As per the Accepted Old Victoria East Subdivision - South Parcel Subdivision, the existing stub is for the entire lands. Therefore, the expectation is that the proposed site would accommodate the minor and major storm system for the future lands to the west (currently single family).
- All storm servicing (major/minor) are to be directed internally and towards the private road.

- Roof runoff should be direct to the controlled areas within the site, and not included as uncontrolled flow.
- The (current/proposed) land use of a (medium/high density residential, commercial, institutional, light industrial, industrial, etc...) will trigger(s) the application of design requirements of Permanent Private Storm System (PPS) as approved by Council resolution on January 18, 2010. A standalone Operation and Maintenance manual document for the proposed SWM system is to be included as part of the system design and submitted to the City for review.
- The number of proposed parking spaces exceeds 29; the owner shall be required to have a consulting Professional Engineer confirming how the water quality will be addressed to the standards of the Ministry of the Environment, Conservation and Parks (MECP) with a minimum of 70% TSS removal to the satisfaction of the City Engineer. Applicable options are outlined in the Stormwater Design Specifications & Requirements Manual which include, but are not limited to the use of oil/grit separators or any LID filtration/infiltration devices.
- Any proposed LID solutions should be supported by a Geotechnical Report and/or a Hydrogeological Assessment report prepared with a focus on the type(s) of soil present at the Site, measured infiltration rate, hydraulic conductivity (under field saturated conditions), and seasonal high groundwater elevation. Please note that the installation of monitoring wells and data loggers may be required to properly evaluate seasonal groundwater fluctuations. The report(s) should include geotechnical and hydrogeological recommendations of any preferred/suitable LID solution. All LID proposals are to be in accordance with Section 6 Stormwater Management of the Design Specifications & Requirements manual.

General comments for sites within South Thames Subwatershed:

- The subject lands are located within a subwatershed without established targets. City of London Standards require the Owner to provide a Storm/Drainage Servicing Report demonstrating compliance with SWM criteria and environmental targets identified in the Design Specifications & Requirements Manual. This may include but not be limited to, quantity control, quality control (70% TSS), erosion, stream morphology, etc.
- The Owner shall allow for conveyance of overland flows from external drainage areas that naturally drain by topography through the subject lands.
- Stormwater run-off from the subject lands shall not cause any adverse effects to adjacent or downstream lands.

TRANSPORTATION ENGINEERING COMMENTS:

- A TMP is required for any work in the City ROW, including any servicing, restoration, proposed construction, etc. To be reviewed as part of a PAW submission;
- Provide Engineering Plans showing existing infrastructure, include utility poles/boxes, fire hydrants, light standards, etc.;
- Ensure proposed accesses meets minimum clearance requirement of 1.5m from any infrastructure and 2.0m from communication boxes;
- As per City's Access Management Guideline (AMG), provide minimum 6.7m wide access with 6.0m curb radii;
- Access should be aligned with Bennett Cross, street across the road;
- Ensure City sidewalk, curb and gutters are continuous and level across access driveways and constructed as per City standards;
- Given the size of development, it is recommended provide loading bay for the movers and that can also be utilized for deliveries.

Heritage

Please be advised that heritage planning staff recognize the conclusion of the report that state: "No archaeological resources were identified during the Stage 2 archaeological assessment of the study area, and as such no further archaeological assessment of the property is recommended."

An Ontario Ministry of Citizenship and Multiculturalism (MCM) archaeological assessment acceptance letter has also been received, dated June 8, 2023 (MCM Project Information Form Number P1289-0373-2022, MCM File Number 0018276). Archaeological conditions can be considered satisfied for this application.

Landscaped Architecture

The Development and Planning Landscape Architect does not support the reduced east and west side yard setback. Sufficient volume of soil must be provided to support tree growth, as required in Site Plan Control Bylaw and to meet canopy goals of the London Plan and the Urban Forest Strategy. London Plan Key Direction #4, is for London to become one of Canada's greenest Cities.

The side yards must accommodate fencing, retaining walls, drainage features [above and below ground] and tree planting. Reduced setbacks will cause conflicts. Tree planting is essential to provide privacy to residential properties to the east.

Parks Planning

Parks Planning and Design staff have reviewed the submitted notice of application and offer the following comments:

1. Major Issues
 - None.
2. Matters for OPA/ZBA
 - None.
3. Matters for Site Plan
 - Parkland dedication for this development is required and will be taken in form of cash-in-lieu in accordance with By-law CP-25.

Site Plan

1. Major Issues
 - None.
2. Matters for OPA/ZBA
 - Should Commissioners Road East be requested to be the front lot line for zoning purposes, a special provision is required. Should the lot frontage remain Dyer Drive, a special provision is required to permit a reduced lot frontage. A copy of the draft Zoning Referral Form provided to the applicant is attached.
 - It is noted that the EV parking stalls do not count towards the overall required parking for the site but are noted and appreciated by Site Plan staff.
 - Ensure all sidewalks abutting parking stalls are a minimum of 2.1 metres and the drive-aisle width is maintained at 6.7 metres
 - The applicant is encouraged to shift Block 2 to the west to centralize the building in the site. This will assist in achieving the minimum required landscape buffer of 1.5 metres along the east and west property boundaries (as per the Site Plan Control By-law) and to provide parking within the interior of the site that is screened from Commissioners Road East.
3. Matters for Site Plan
 - All matters identified in the Record of Site Plan Consultation still apply and are to be addressed through the Site Plan Approval process.

Urban Design

Matters for ZBA:

- This site is located in the Neighbourhoods Place Type in The London Plan [TLP] along a Civic Boulevard which contemplates the proposed use and height. Urban Design staff are generally supportive of the proposed development, and recommend the following be addressed:
 - Ensure the proposed side yards are adequately sized so they do not negatively impact the adjacent low density residential development and are sufficient enough to allow for landscaping and buffering [TLP 253];

Matters for Site Plan:

- Confirm the locations and details of any retaining walls, especially along the Commissioners Road E frontage. If retaining walls along this frontage cannot be avoided due to site grading, ensure they are as low as possible and incorporate terracing and/or landscaping.
- Include enhanced elevations for the units flanking Commissioners Road E by including the same amount of architectural detail on flanking side as is found on the front (size and number of windows, materials, articulation, etc.) to avoid blank walls along the street [TLP 291];
- Include enhanced landscaping to screen the surface parking area from Commissioners Road E [TLP 278];
- Ensure the proposed pedestrian network is interconnected and connects between all buildings and the public sidewalks on Doyle Drive and Commissioners Road E [TLP 255];
- Provide a full-set of dimensioned elevations for all sides of the proposed buildings. Further comments may follow upon receipt of the elevations.

UTRCA

The subject lands **are not** affected by any regulations (Ontario Regulation 157/06) made pursuant to Section 28 of the *Conservation Authorities Act*.

Appendix E – Public Engagement

No Public Comments received during the commenting period process.