

Report to Planning and Environment Committee

To: Chair and Members
Planning and Environment Committee

From: Scott Mathers, MPA, P.Eng.
Deputy City Manager, Planning and Economic Development

Subject: Alora Homes
130 Southdale Road West
File Number: Z-9663, Ward 10
Public Participation Meeting

Date: December 4, 2023

Recommendation

That, on the recommendation of the Director, Planning and Development, the following actions be taken with respect to the application of Alora Homes relating to the property located at 130 Southdale Road West. The proposed by-law attached hereto as Appendix "A" **BE INTRODUCED** at the Municipal Council meeting December 19, 2023 to amend Zoning By-law No. Z.-1, in conformity with the Official Plan, The London Plan, to change the zoning of the subject property **FROM** a Residential R1 (R1-9) Zone, **TO** a Residential R3 Special Provision (R3-1(_)) Zone;

IT BEING NOTED, that the above noted amendment is being recommended for the following reasons:

- i) The recommended amendment is consistent with the PPS 2020;
- ii) The recommended amendment conforms to The London Plan, including, but not limited to the Neighbourhoods Place Type and Key Directions; and
- iii) The recommended amendment facilitates the development of vacant residential lands within the Built Area Boundary and Primary Transit Area with an appropriate form of infill development that provides choice and diversity in housing options.

Executive Summary

Summary of Request

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from a Residential R1 (R1-9) Zone to a Residential R3 Special Provision (R3-1(_)) Zone.

Purpose and the Effect of Recommended Action

Staff are recommending approval with special provisions that will facilitate reduced yards (front, rear and east interior side), increased height, reduced driveway width, and increased parking area coverage.

The recommended action will permit a fourplex residential dwelling for a total of **four (4)** units.

Linkage to the Corporate Strategic Plan

This recommendation supports the following Strategic Areas of Focus:

- **Housing and Homelessness**, by ensuring London's growth and development is well-planned and considers use, intensity, and form.
- **Housing and Homelessness**, by supporting faster/ streamlined approvals and increasing the supply of housing with a focus on achieving intensification targets.

Analysis

1.0 Background Information

1.1 Previous Reports Related to this Matter

None.

1.2 Planning History

The subject lands were subject to a Site Plan Approval application in 2021 (SPA21-085) for the infill construction of a single detached dwelling. Upon the passing of provincial legislation, More Homes Built Faster Act 2022 (Bill 23), the application was cancelled as the development would no longer require Site Plan Approval under the new regulation in the *Planning Act*.

1.3 Property Description and Location

The subject lands are located on the north side of Southdale Road West, between Wharncliffe Road South to the east and Notre Dame Drive to the west. The lands are currently vacant. The lands are relatively flat in topography and contain some trees along the southeast corner of the lot, as well as other small trees and bushes along the west and north edges of the lot.

The subject lands are located within a mixed use area, being surrounded by a townhouse condominium development to the north and west sides and by single detached dwellings to the east side. Uses vary to the south, ranging from residential to institutional (place of worship) and commercial uses (furniture store, automotive dealerships) along Southdale Road West and Wharncliffe Road South.

Site Statistics:

- Current Land Use: Vacant residential land
- Frontage: 20m
- Area: 594m²
- Shape: regular (rectangle)
- Located within the Built Area Boundary: Yes
- Located within the Primary Transit Area: Yes

Surrounding Land Uses:

- North: Townhouse condominium
- East: Single detached dwelling
- South: Vacant
- West: Townhouse condominium

Existing Planning Information:

- Existing The London Plan Place Type: Neighbourhoods Place Type along a Civic Boulevard
- Existing Special Policies: None
- Existing Zoning: Residential R1 (R1-9)

Additional site information and context is provided in Appendix B.

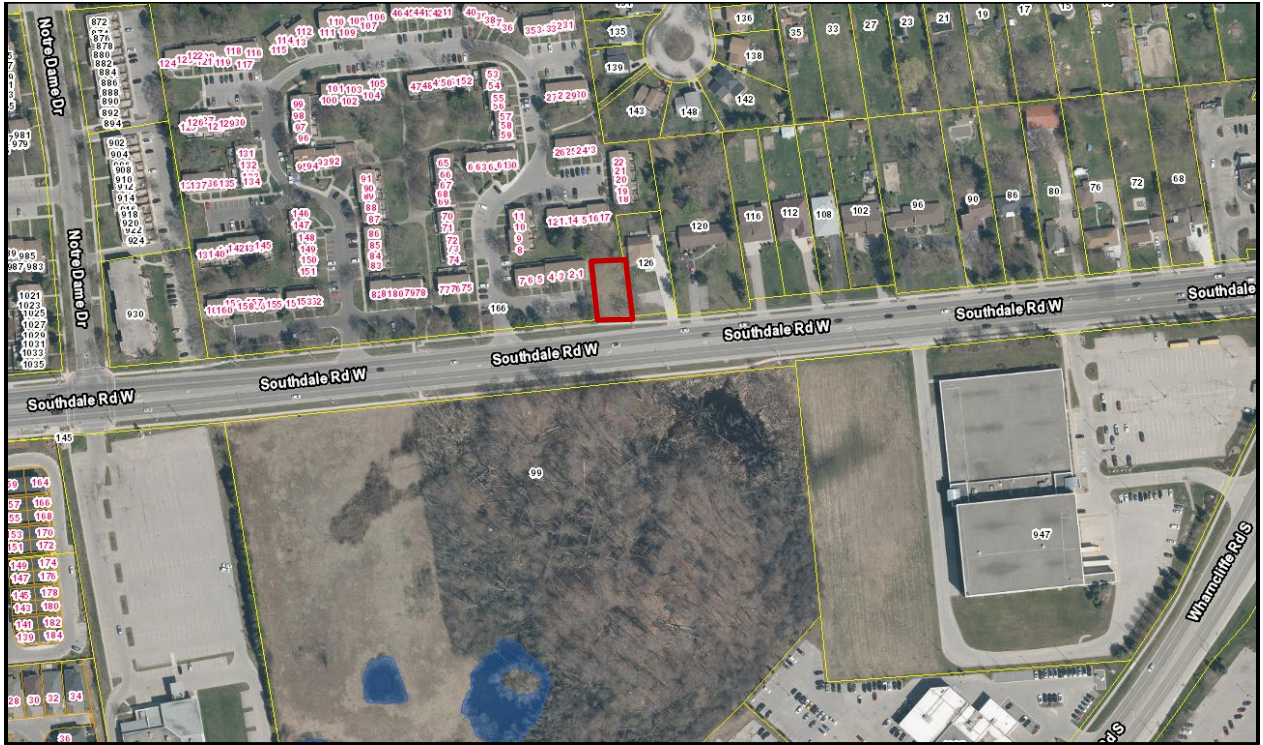


Figure 1 - Aerial Photo of 130 Southdale West and surrounding lands



Figure 2 - Streetview of 130 Southdale Road West (view looking North from Southdale Road West)

2.0 Discussion and Considerations

2.1 Development Proposal

The applicant is proposing a 3.5-storey fourplex dwelling on the subject lands. The building is located on the southeastern side of the lot, and parking is provided at the rear of the lot, accessed by a single-lane driveway on the west side of the proposed building. An internal sidewalk runs along the proposed driveway and connects the parking to the front entrance of the building as well as to the main public sidewalk.

The proposed development includes the following features:

- Land use: Residential
- Form: Fourplex Dwelling
- Height: 3.5 storeys (11.5m)
- Residential units: 4
- Building coverage: 25%
- Parking spaces: 5 (surface)
- Landscape open space: 30%

Additional information on the development proposal is provided in Appendix B.

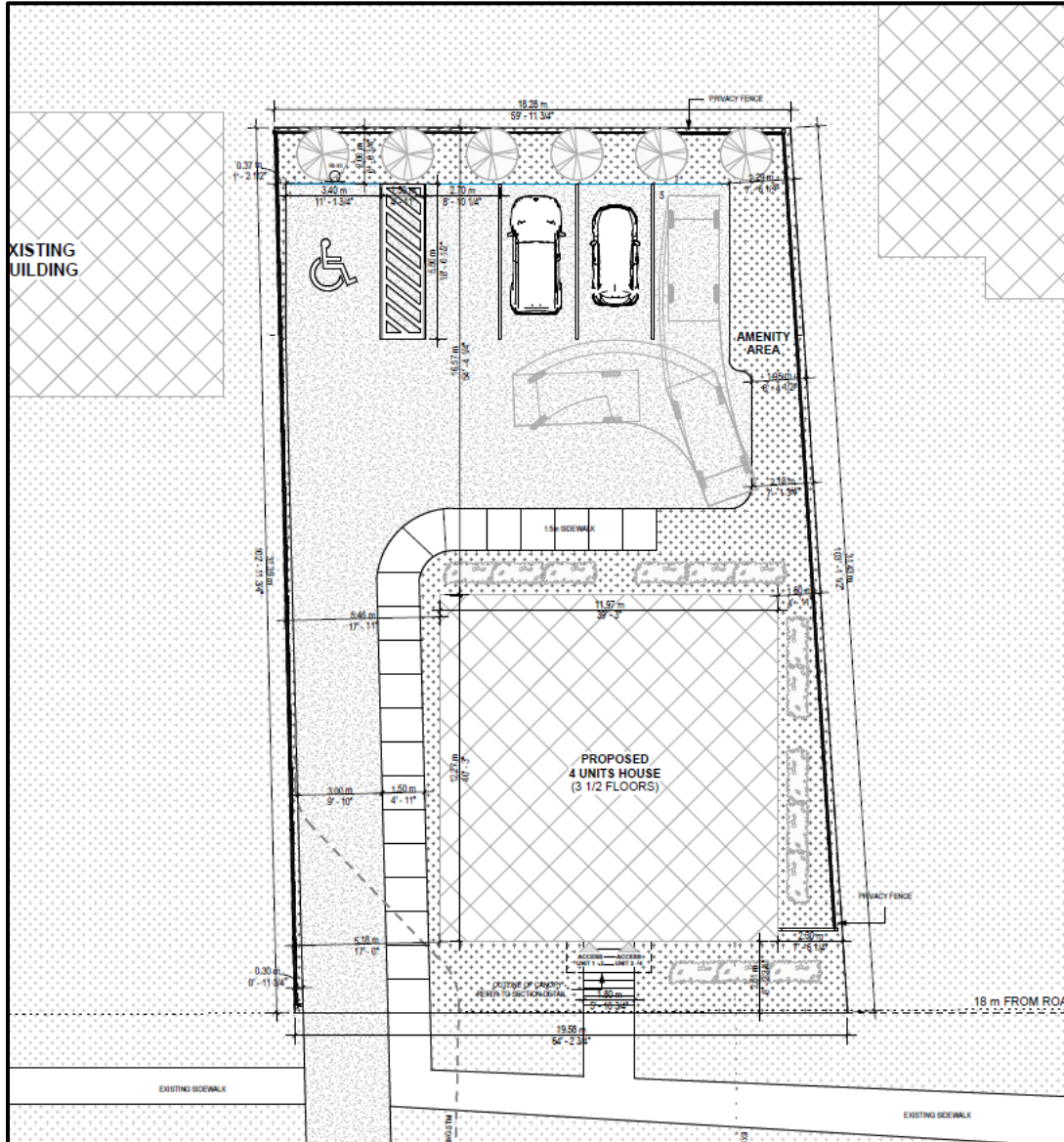


Figure 3 - Conceptual Site Plan (September 2023)

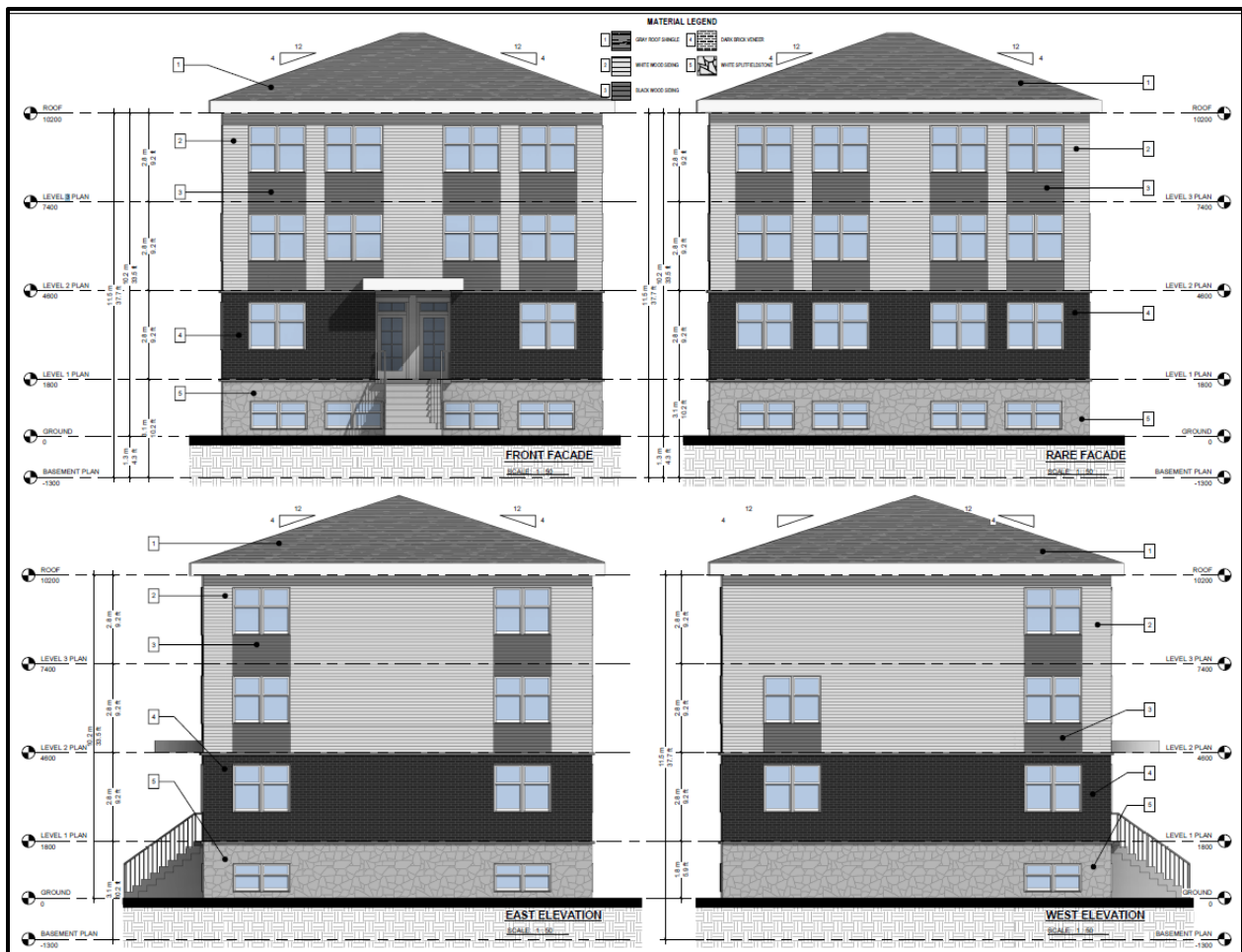


Figure 4 – Elevations (September 2023)

Additional plans and drawings of the development proposal are provided in Appendix C.

2.2 Requested Amendment(s)

The applicant has requested an amendment to Zoning Bylaw Z.-1 to rezone the property from a Residential R1 (R1-9) Zone to a Residential R3 Special Provision (R3-1(_)) Zone.

The following table summarizes the special provisions that have been proposed by the applicant and those that are being recommended by staff.

Regulation (R3-1(_))	Required	Proposed	Recommended
Minimum front yard setback	4.5m	2.5m	2.5m
Minimum interior side yard setback	2.4m	1.5m to 2.3m	1.5m to 2.3m
Maximum height	12.0m	13.0m	13.0m
Maximum parking area coverage	35%	41%	41%
Minimum driveway width	6.7m	3.0m	3.0m
Minimum parking area setback (from rear lot line)	3.0m	2.0m	2.0m
Building orientation	N/A	N/A	Towards Southdale Road West

2.3 Internal and Agency Comments

The application and associated materials were circulated for internal comments and public agencies to review. Comments received were considered in the review of this application and are addressed in Section 4.0 of this report.

Key issues identified by staff and agencies included:

- Setbacks from adjacent lots
- Building orientation

Detailed internal and agency comments are included in Appendix D of this report.

2.4 Public Engagement

On October 11, 2023, Notice of Application was sent to 175 property owners and residents in the surrounding area. Notice of Application was also published in the *Public Notices and Bidding Opportunities* section of *The Londoner* on October 19, 2023. A “Planning Application” sign was also placed on the site.

There were 2 responses received during the public consultation period. Comments received were considered in the review of this application and are addressed in Section 4.0 of this report.

Concerns expressed by the public relate to:

- Building form
- Privacy
- Parking

Detailed public comments are included in Appendix E of this report.

2.5 Policy Context

The Planning Act and the Provincial Policy Statement, 2020

The Provincial planning policy framework is established through the *Planning Act* (Section 3) and the *Provincial Policy Statement, 2020 (PPS)*. The *Planning Act* requires that all municipal land use decisions affecting planning matters shall be consistent with the *PPS*.

The mechanism for implementing Provincial policies is through the Official Plan, The London Plan. Through the preparation, adoption and subsequent Ontario Land Tribunal (OLT) approval of The London Plan, the City of London has established the local policy framework for the implementation of the Provincial planning policy framework. As such, matters of provincial interest are reviewed and discussed in The London Plan analysis below.

As the application for a Zoning By-law amendment complies with The London Plan, it is staff’s opinion that the application is consistent with the *Planning Act* and the *PPS*.

The London Plan, 2016

The London Plan (TLP) includes evaluation criteria for all planning and development applications with respect to use, intensity and form, as well as with consideration of the following (TLP 1577-1579):

1. Consistency with the Provincial Policy Statement and all applicable legislation.
2. Conformity with the Our City, Our Strategy, City Building, and Environmental policies.
3. Conformity with the Place Type policies.
4. Consideration of applicable guideline documents.
5. The availability of municipal services.
6. Potential impacts on adjacent and nearby properties in the area and the degree to which such impacts can be managed and mitigated.
7. The degree to which the proposal fits within its existing and planned context.

Staff are of the opinion that all the above criteria have been satisfied.

3.0 Financial Impact/Considerations

None.

4.0 Key Issues and Considerations

4.1 Land Use

The proposed residential use is supported by the policies of the Provincial Policy Statement and contemplated in the Neighbourhoods Place Type in The London Plan (TLP 921_). The site is located on a Civic Boulevard (Southdale Road West) which would permit a range of low-rise residential uses including single detached, semi-detached, duplex, triplex, and fourplex dwellings, townhouses, stacked townhouses, and low-rise apartments (Table 10 – Range of Permitted Uses in Neighbourhoods Place Type).

Consistent with The London Plan, the fourplex dwelling will contribute to the existing range and mix of housing types in the area, currently comprised of single detached dwellings to the east, as well as townhouse developments to the north and west. The proposed 3.5-storey building containing 4 units will provide choice and diversity in housing options for both current and future residents. No new roads are required to service the site. The property has suitable access to open space, community facilities and shopping areas as further detailed in Appendix B of this report. In Staff's opinion the proposed use is considered appropriate given its location on a higher order road and proximity to other similar (townhouse) residential developments.

4.2 Intensity

The proposed intensity is consistent with the policies of the PPS that encourage residential intensification (PPS 1.1.3.3 and 1.4.3), an efficient use of land (PPS 1.1.3.2) and a range and mix of housing options (PPS 1.4.3).

Consistent with the PPS, the recommended amendment facilitates the redevelopment of a site within a settlement area. The increased intensity of development on the site will make use of existing and planned transit services, local and regional institutional uses, and shopping, entertainment and service uses.

The London Plan contemplates residential intensification where appropriately located and provided in a way that is sensitive to and a good fit with existing neighbourhoods (83_, 937_, 939_ 2. and 5., and 953_ 1.). The London Plan directs that intensification may occur in all place types that allow for residential uses (84_). Subject to the City Structure Plan and Residential Intensification policies in the Neighbourhoods Place Type, infill and intensification in a variety of forms will be supported to increase the supply of housing in areas where infrastructure, transit, and other public services are available and accessible (506_). The Plan identifies appropriate locations and promotes opportunities for intensification and redevelopment, to specific areas such as higher order streets.

The London Plan uses height as a measure of intensity in the Neighbourhoods Place Type. A minimum height of 2 storeys and a maximum height of 4 storeys, with an upper maximum height up to 6 storeys, is contemplated within the Neighbourhoods Place Type where a property has frontage on a Civic Boulevard. (Table 11 – Range of Permitted Heights in the Neighbourhoods Place Type). The intensity of development must be appropriate for the size of the lot (953_3.).

The subject lands have frontage on Southdale Road West, a Civic Boulevard, which is a higher-order street, to which higher-intensity uses are directed. The subject site is considered underutilized as it is currently vacant but, is of a size and configuration capable of accommodating the proposed development which represents a form of intensification through infill redevelopment. The proposed 3.5 storeys is in keeping with the permissions of The London Plan; however, the reduced side yard setback to the east was identified as a concern by Staff and members of the public. Staff are

recommending an increase from a 1.2 metre side yard setback to a 1.5 metre setback, as well as a reorientation of the building to line up with Southdale Road West, which further increases the setback from the lot line at the front of the building. The recommended provisions would mitigate the impacts of the reduced side yard to adjacent properties.

4.3 Form

During the review process, some concerns were raised by the public and staff. Notable issues relating to form included building orientation and setbacks.

The proposed building is oriented generally toward Southdale Road West but is parallel to the east interior lot lines. While this creates an even 1.2 metre setback for the length of the building, the building is at an angle from the street. Staff are recommending a provision to require the building to be oriented directly toward Southdale Road West to better align the development with the public realm and setting a positive precedent for future development along the corridor.

Staff also identified the proposed east interior side yard setback and parking area setback from the rear lot line as concerns. The reduced east interior side yard setback created privacy concerns expressed by the public, and the reduced setback from the parking area to the rear lot line limited space for tree planting behind the parking area. As a result of re-orienting the building, Staff are amenable to recommend an increased 1.5 metre setback from the interior side lot line and a 2.0 metre setback from the rear lot line to the parking area. The re-orientation toward the street, sets the building further from the east lot line and the adjacent lot, mitigating privacy concerns while the setback from the parking area to the rear lot line increases the proposed 1.0 metre setback to 2.0 metres, which gives more adequate space for tree plantings.

Conclusion

The applicant has requested an amendment to the Zoning By-law Z.-1 to rezone the property from a Residential R1 (R1-9) Zone to a Residential R3 Special Provision (R3-1(_)) Zone. Staff are recommending approval of the requested Zoning Bylaw amendment with special provisions.

The recommended action is consistent with the PPS 2020, conforms to The London Plan and will permit a fourplex dwelling.

Prepared by: Noe O'Brien
Planner, Planning Implementation

Reviewed by: Mike Corby, MCIP, RPP
Manager, Planning Implementation

Recommended by: Heather McNeely, MCIP, RPP
Director, Planning and Development

Submitted by: Scott Mathers, MPA, P.Eng.
Deputy City Manager, Planning and Economic
Development

Appendix A – Zoning Bylaw Amendment

Bill No. (number to be inserted by Clerk's Office)
2023

By-law No. Z.-1-

A by-law to amend By-law No. Z.-1 to
rezone an area of land located at 130
Southdale Road West

WHEREAS this rezoning conforms to the Official Plan;

THEREFORE the Municipal Council of The Corporation of the City of London enacts as follows:

1. Schedule "A" to By-law No. Z.-1 is amended by changing the zoning applicable to lands located at 130 Southdale Road West as shown on the attached map comprising part of Key Map No. A107 **FROM** a Residential R1 (R1-9) Zone **TO** a Residential R3 Special Provision (R3-1()) Zone.
2. Section Number 7.4 of the R3 Zone is amended by adding the following Special Provisions:

R3-1() 130 Southdale Road West

a. Regulations

- | | |
|---|-------------|
| i) Front yard setback
(Minimum) | 2.5 metres |
| ii) Interior side yard setback (east)
(Minimum) | 1.5 metres |
| iii) Height
(Maximum) | 13.0 metres |
| iv) Parking area coverage
(Maximum) | 41% |
| v) Driveway and drive
aisle width
(Minimum) | 3.0m |
| vi) Parking area setback
from rear lot line
(Minimum) | 2.0m |
| vii) Buildings shall be oriented towards Southdale Road West. | |

The inclusion in this By-law of imperial measure along with metric measure is for the purpose of convenience only and the metric measure governs in case of any discrepancy between the two measures.

This By-law shall come into force and be deemed to come into force in accordance with Section 34 of the *Planning Act, R.S.O. 1990, c. P13*, either upon the date of the passage of this by-law or as otherwise provided by the said section.

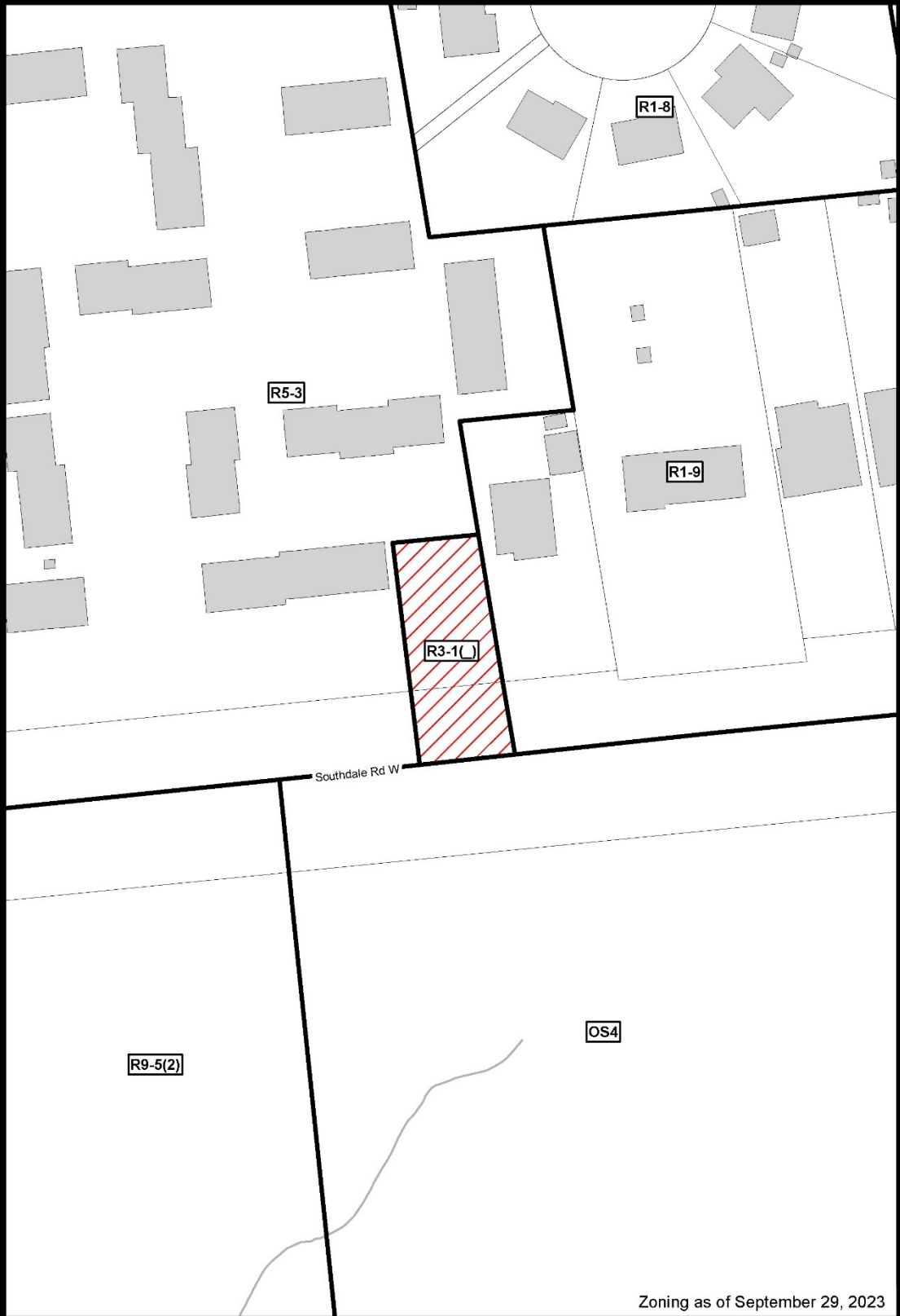
PASSED in Open Council on December 19, 2023

Josh Morgan
Mayor


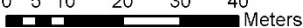

Michael Schulthess
City Clerk

First Reading – December 19, 2023
Second Reading – December 19, 2023
Third Reading – December 19, 2023

AMENDMENT TO SCHEDULE "A" (BY-LAW NO. Z.-1)



Zoning as of September 29, 2023

<p>File Number: Z-9663 Planner: NO Date Prepared: 2023/11/02 Technician: RC By-Law No: Z.-1-</p>	<p>SUBJECT SITE </p> <p>1:1,000</p> <p>0 5 10 20 30 40 Meters </p> <p></p>
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Appendix B - Site and Development Summary

A. Site Information and Context

Site Statistics

Current Land Use	Vacant residential land
Frontage	20 metres
Area	594m ²
Shape	Regular
Within Built Area Boundary	Yes
Within Primary Transit Area	Yes

Surrounding Land Uses

North	Townhouse condominium
East	Single detached dwelling
South	Vacant
West	Townhouse condominium

Proximity to Nearest Amenities

Major Intersection	Southdale Road West and Wharncliffe Road South, 400m
Dedicated cycling infrastructure	Southdale Road West, adjacent
London Transit stop	Southdale Road West, 130m
Public open space	Westbury Park, 950m
Commercial area/use	Southdale Road West and Wharncliffe Road South, 400m
Food store	Berries Market, 500m
Community/recreation amenity	Westbury Park, 950m

B. Planning Information and Request

Current Planning Information

Current Place Type	Neighbourhood Place Type, along a Civic Boulevard
Current Special Policies	None
Current Zoning	R1-9

Requested Designation and Zone

Requested Place Type	No changes proposed
Requested Special Policies	No changes proposed
Requested Zoning	R3-1()

Requested Special Provisions

Regulation (R3-1())	Required	Proposed	Recommended
Minimum front yard setback	4.5m	2.5m	2.5m
Minimum interior side yard setback	2.4m	1.5m to 2.3m	1.5m to 2.3m
Maximum height	12.0m	13.0m	13.0m
Maximum parking area coverage	35%	41%	41%
Minimum driveway width	6.7m	3.0m	3.0m
Minimum parking area setback (from rear lot line)	3.0m	2.0m	2.0m
Building orientation	N/A	N/A	Towards

Regulation (R3-1())	Required	Proposed	Recommended
			Southdale Road West

C. Development Proposal Summary

Development Overview

3.5 storey fourplex development. The building is situated along Southdale Road West, with a drive aisle on the west side of the lot leading to a parking area in the rear of the site.
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Proposal Statistics

Land use	Residential
Form	Fourplex dwelling
Height	3.5 Storeys (11.5m)
Residential units	4
Building coverage	25%
Landscape open space	30%
New use being added to the local community	No

Mobility

Parking spaces	5
Vehicle parking ratio	1.25
New electric vehicles charging stations	Unknown
Completes gaps in the public sidewalk	N/A
Connection from the site to a public sidewalk	Yes
Connection from the site to a multi-use path	N/A

Environmental Impact

Tree removals	1
Tree plantings	Unknown
Tree Protection Area	No
Loss of natural heritage features	N/A
Species at Risk Habitat loss	N/A
Minimum Environmental Management Guideline buffer met	N/A
Existing structures repurposed or reused	N/A
Green building features	Unknown

Appendix C – Additional Plans and Drawings

SITE STATISTICS

SITE AREA: 584 sq ft (53.80 sq m)
 PROPOSED ZONE: R2-1
 BUILDING AREA: TOWNHOUSE - 4/2 FLOOR
 OFFICE AREA: 208.17 sq ft
 LANDSCAPE AREA: 182.27 sq ft
 TOTAL UNITS: 4 UNITS

ZONAL REGULATIONS		
	REGULATED	PROPOSED
LOT AREA	584 sq ft	584 sq ft
LOT FRONTAGE	15.5 m	15.5 m
LOT DEPTH	36.9 m	37.4 m
FRONT YARD SETBACK	4.5 m	2.0 m
REAR YARD SETBACK (R1)	2.4 m	1.5 m to 2.2 m
REAR YARD SETBACK (R2)	3.0 m	3.0 m to 3.6 m
COVERED AREA	25%	25%
COVERED (R1)	4%	2%
HEIGHT (R1)	10.5 m	11.5 m
PERMITTED COVERED AREA	20%	40.2%
NUMBER OF UNITS PER LOT	4	4
MINIMUM SPACE	NA	8.0 m

WASTE REMOVAL
 REMOVAL OF SOLID WASTE SHALL BE PROVIDED BY THE CITY OF LONDON


PARKING REQUIREMENTS
 MINIMUM PARKING SPACE DIMENSIONS TO S-20
 ACCESSIBLE TYPE: 2.0 m x 3.6 m x 5.5 m, TYPE B2, 8.2 m x 5.5 m

PARKING PROVIDED:
 STACKED TOWNHOUSE: 4 RESIDENTIAL UNITS + 4 SPACES (1 SPACE PER UNIT)
 TOTAL REQUIRED PARKING: 4 SPACES
 TOTAL PROVIDED PARKING: 5 SPACES (INC. BARRIER FREE PARKING SPACE)
 BARRIER FREE: 1

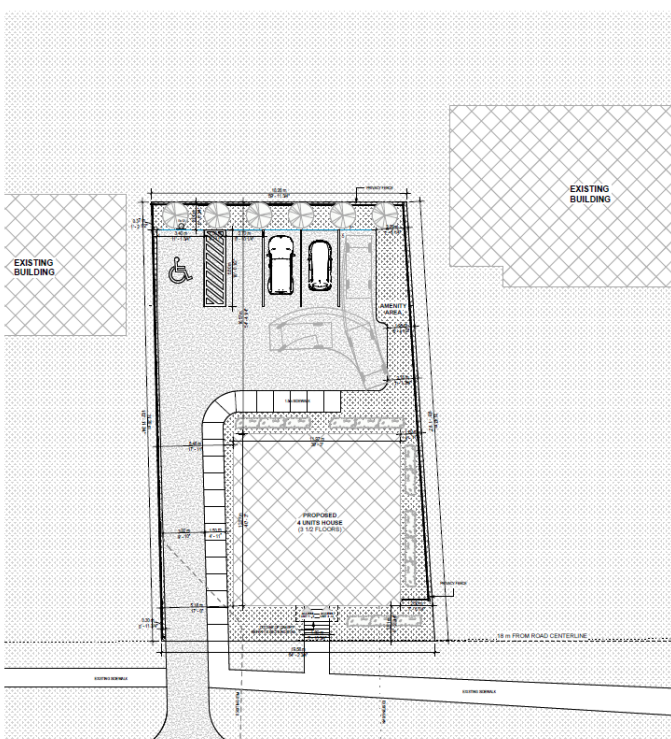
BARRIER FREE PARKING:
 REQUIRED: 1/2 TOTAL PARKING REQUIRED + 1 SPACE
 PROVIDED: 1 SPACE

BUILDING CLASS
 GROUP C1 (NET 4-HOUR FIRE RATED BUILDING) - STACKED TOWNHOUSE

REFERENCE DOCUMENTS
 1. LEGISLATION, PLANS & SUBJECTS OF PART OF LOT 22 CONVEYANCE TO WIFE OF MRS LAND SUBSIDIARIES LTD. DATED JAN 11, 2023



ORTHO BASEMAP BY THE CITY OF LONDON - 2022




EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

PROPOSED 4 UNITS HOUSE (3 TO 4 FLOORS)

15 m FROM ROAD CENTERLINE



CREATIVE STRUCTURES

1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1W7
 TEL: (416) 291-1111
 WWW.CREATIVESTRUCTURES.COM

PRELIMINARY PLAN FOR REVIEW ONLY NOT FOR OFFICIAL SUBMISSIONS, PRICING OR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2023-02-01
2	REVISED PER COMMENTS	2023-02-15
3	REVISED PER COMMENTS	2023-03-01
4	REVISED PER COMMENTS	2023-03-15
5	REVISED PER COMMENTS	2023-04-01
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99	REVISED PER COMMENTS	2027-03-01
100	REVISED PER COMMENTS	2027-03-15

ISSUED/REVISION TABLE

STACKED 4 UNITS HOUSE - ALORA HOMES

1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1W7
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PRELIMINARY SITE PLAN PROPOSAL

Project No: 2023-02
 Project Name: ALORA HOMES
 Date: 2023-02-01
 Scale: 1:100

A-1.0 | **20**

*DTM AND SAN INFORMATION ARE FROM ENGINEERING PLAN DONE BY MTE JULY 2021

Appendix D – Internal and Agency Comments

Heritage – October 17

- There are no cultural heritage comments on this application. Archaeological matters were previously addressed.

Ecology – October 18

- There are currently no ecological planning issues related to this property and/or associated study requirements.

Engineering – Pending

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UTRCA – October 13

- The UTRCA has no objections to the application and has no Section 28 approval requirements.

Urban Design – October 18

The following site layout and design features are acknowledged and should be carried forward through zoning:

1. Siting the building close to Southdale Road West with a direct walkway connection and orientation towards the Civic Boulevard. *Refer to The London Plan, Policy [TLP] 259, 268*
2. Locating surface parking in the rear yard, away from the street frontage. *[TLP 272]*

Matters for Zoning

1. The following zoning provisions for a setback along the boundaries of the subject site should be provided:
 - A minimum front yard setback from the ultimate right of way along Southdale Road West to ensure building elements such as footing, and canopies do not encroach into the right-of-way. *[TLP 259]*
 - A minimum east side yard setback to allow for privacy and not hinder the redevelopment of adjacent properties. *[TLP 253]*
 - A minimum west and rear side yard setback between the property line and the drive aisle/parking lot to allow space for landscaping and avoid any negative impact on the adjacent properties. *[TLP 278, 253]*
3. Noting Site Plan is not required for the application, zoning provisions should ensure that the built form is oriented towards Southdale Road West with principal entrances and window openings to face the public street for visual amenity and allowing passive surveillance.

Parks Planning – October 18

- Parkland dedication for this development is required and will be taken in form of cash-in-lieu in accordance with By-law CP-25 through the building permit process.
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Landscape Architecture – October 13

- Major Issues
 - No potential grounds for refusal, or issues that could require significant changes to the proposal.
- Matters for OPA/ZBA
 - One boundary tree has been identified for removal. A Boundary trees as defined in the Province's Forestry Act, 1998, c. 18, Sched. I, s. 21, is any tree growing on the boundary between adjoining lands. The trees are

considered the common property of the owners of the adjoining lands and are protected by the province's Forestry Act. These trees can't be removed without written consent from co-owner. Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. If consent from neighbour cannot be obtained, a minimum 5 metre setback is required to protect the tree.

Site Plan

- Site Plan not required.

London Hydro – October 16

- Servicing the above proposal should present no foreseeable problems. Any new and/or relocation of existing infrastructure will be at the applicant's expense, maintaining safe clearances from L.H. infrastructure is mandatory. Note: Transformation lead times are minimum 16 weeks. Contact the Engineering Dept. to confirm requirements & availability.
- London Hydro has no objection to this proposal or possible official plan and/or zoning amendment. Any new or relocation of the existing service will be at the expense of the owner.

Appendix E – Public Engagement

Public Comment #1 – Received October 19, 2023

Contact Method – Email

Hi there.

I oppose to changing the current zoning for this lot and for any development of a fourplex dwelling in this area. It does not align with all of the single-dwelling homes in this area. How many residences will this complex house? I see that there is no parking – because there is NO ROOM for parking and cars will be towed if they try to park anywhere at 166 Southdale Road W. This is a very small lot. What is the developer thinking? Are they out-of-town developers? Is the owner out-of-town as well? Is this complex designed for low-income dwellers? The height will obstruct our view to the forest across the street. If the plan is to have parking for cars, this will play havoc on an already congested street. Having more density will increase traffic and safety concerns where Southdale currently is already a “trap” in trying to enter and exit our complex at 166 Southdale Road W. Drivers are always exceeding the speed limit. Let’s put it this way “not in my backyard” is the message I am conveying.

Note that there were protests against the previous rezoning for a single dwelling of increased height and depth.

Public Comment #2 – Received October 20, 2023

Contact Method – Email

I am contacting you regarding the recent proposal for 130 Southdale Rd W.

We spoke about this early last year in regards to a 2 story 2 garage house being built there, and the concerns we as well as many in the neighborhood shared, as expressed by those of us who spoke during the council meeting as well as those who signed the petition. Thank you for your support at that time.

Once again I ask for your help in this matter. The newest proposal is to change the zoning from a house on the small lot, to a 3.5 story fourplex dwelling, with special provisions for every single category as well as requiring the property to have;

" increased maximum height, again additional reduced front interior setbacks and increased parking area for coverage for not 1-2 but 5 vehicles and decreased drive isle width." This effectively changes the lot from R1-9 to R3-1 zoning and then requests special provisions even within that zoning. The construction hasn't even begun and we have already had people trespassing on our property multiple times, measuring our trees to determine if they need to be chopped down (without our permission or easement).

We understand that London is a growing city and that it is difficult to stop a lot from being utilized as housing, especially with the city giving additional permissions with the new regulations passed by the federal government. However this should be done in a fair non intrusive manner that does not disrupt other residents' lives and doesn't dismiss normal policy i.e. respecting lot size and the impact such a proposed property with that much parking, would pose. So far their conduct has not been done in good faith, as we only received a notice for the change this week, not even 4 full days before the October 20th deadline for comments. This is a process that has been expedited far too quickly and clearly bends to meet the proposals beneficial to the builder / developer while disregarding the residents surrounding & impacted by the 130 lot development. There are zoning, privacy, trespassing and safety concerns with this amended proposal as well as concerns raised with the conduct in which the residents have been informed re

this matter and how drastic the minimum requirements proposed are, some of which are a 1/4 of the regular minimum requirements.

We are sincerely hoping for your support in addressing these concerns and stopping these amendments.

Thank you for your time and response in this matter.