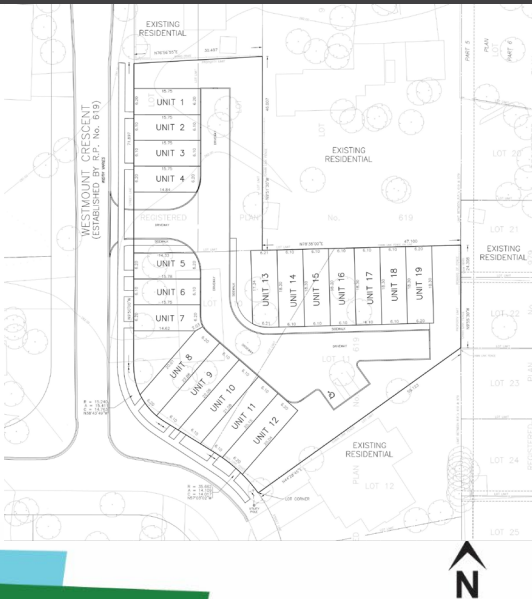




# NOTICE OF PLANNING APPLICATION

## Draft Plan of Vacant Land Condominium

### 614 Westmount Crescent



**File: 39CD-23513**

**Applicant: Incon**

#### What is Proposed?

Draft Plan of Vacant Land Condominium to allow:

- Four (4) townhouse buildings with a total of 19 dwelling units;
- New private road and sidewalks providing access from Westmount Crescent to all dwelling units; and
- Shared common elements including visitor parking and landscaped open space.

## LEARN MORE & PROVIDE INPUT

Please provide any comments by **January 12, 2023**

Michael Clark

[mclark@london.ca](mailto:mclark@london.ca)

519-661-CITY (2489) ext. 4586

Planning & Development, City of London, 300 Dufferin Avenue, 6<sup>th</sup> Floor,  
London ON PO BOX 5035 N6A 4L9

File: 39CD-23513

[london.ca/planapps](https://london.ca/planapps)

You may also discuss any concerns you have with your Ward Councillor:

Paul Van Meerbergen

[pvanmeerbergen@london.ca](mailto:pvanmeerbergen@london.ca)

519-661-CITY (2489) ext. 4010

**If you are a landlord, please post a copy of this notice where your tenants can see it.  
We want to make sure they have a chance to take part.**

Date of Notice: November 28, 2023

# Application Details

## Requested Draft Plan of Vacant Land Condominium

Consideration of a Draft Plan of Vacant Land Condominium consisting of four (4) townhouse buildings with a total of 19 dwelling units. A new private road providing vehicle access to the dwelling units from Westmount Crescent is proposed. Landscaped open space, visitor parking, and internal sidewalks are also included within the common elements of the Condominium. The proposed development is also subject to a Site Plan application (SPA23-091).

## Planning Policies

These subject lands are currently designated Neighbourhoods Place Type with frontage on a Neighbourhood Street (Westmount Crescent) in the London Plan, permitting a range of residential dwelling types including single detached, semi-detached, duplex, and townhouse with a minimum height of 1 storey and maximum height of 3 storeys. The subject lands are currently zoned Residential R5-5(6) which permits cluster developments comprised townhouse and stacked townhouse dwellings. Development is permitted with a maximum density of 39 units per hectare, a maximum height of 12 metres on the northern portion and 8 metres on the southern portion, and where the buildings along Westmount Crescent have their primary unit entrances facing the public street.

## How Can You Participate in the Planning Process?

You have received this Notice because someone has applied for a Draft Plan of Vacant Land Condominium on land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City's planning review and decision-making process are summarized below.

### See More Information

You can review additional information and material about this application by:

- Contacting the City's Planner listed on the first page of this Notice; or
- Viewing the application-specific page at [london.ca/planapps](https://london.ca/planapps)
- Opportunities to view any file materials in-person by appointment can be arranged through the file Planner.

### Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Planning & Development staff's recommendation to the Approval Authority. Planning considerations usually include such matters as land use, development intensity, and form of development.

## What Are Your Legal Rights?

### Notification of Approval Authority's Decision

If you wish to be notified of the Approval Authority's decision in respect of the proposed draft plan of vacant land condominium, you must make a written request to the Director, Planning & Development, City of London, 300 Dufferin Ave., P.O. Box 5035, London ON N6A 4L9, or at [plandev@london.ca](mailto:plandev@london.ca). You will also be notified if you provide written comments, or make a written request to the City of London for conditions of draft approval to be included in the Decision.

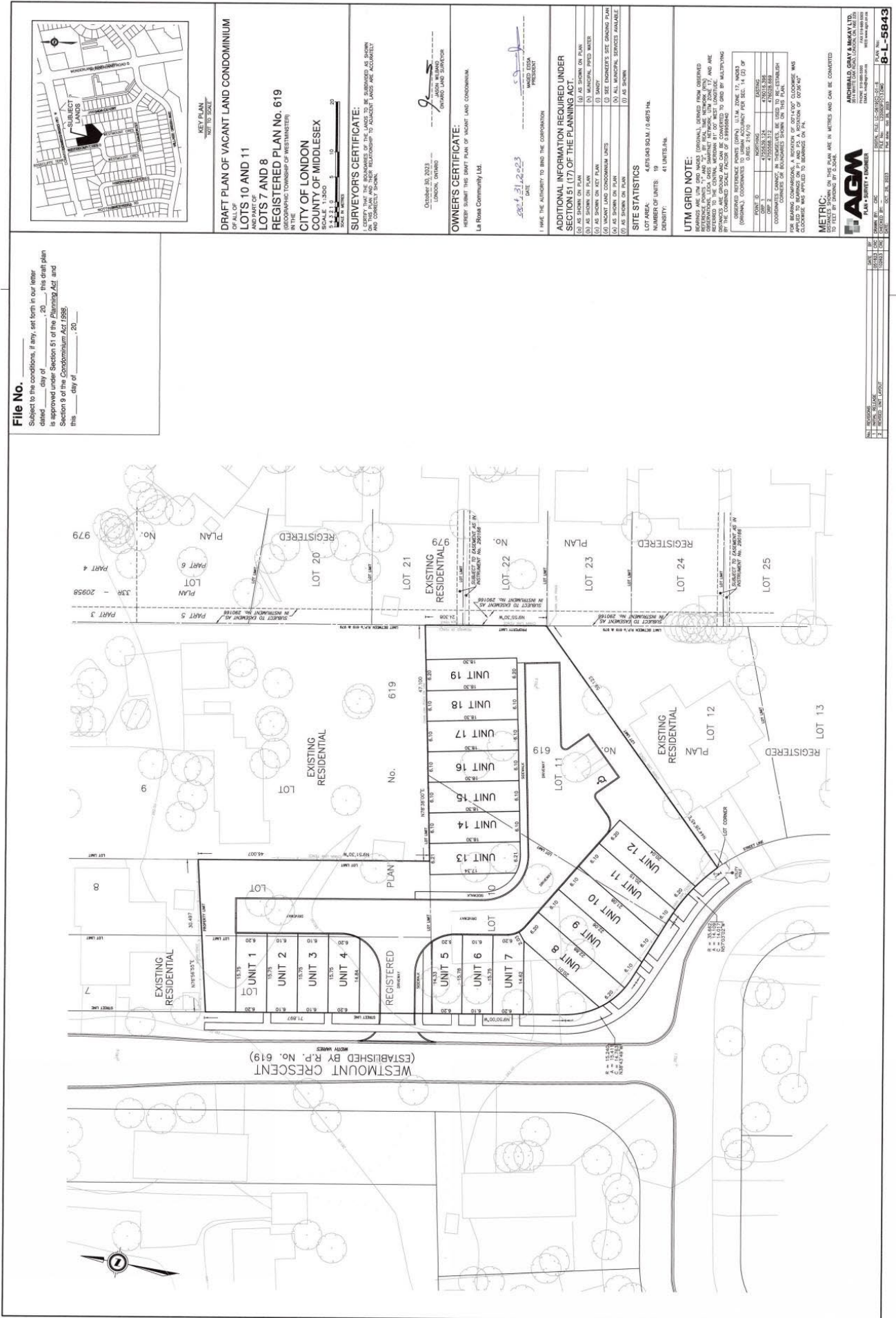
### Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the Municipal Act, 2001, as amended, and the Planning Act, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Evelina Skalski, Manager, Records and Information Services 519-661-CITY(2489) ext. 5590.

# Accessibility

Alternative accessible formats or communication supports are available upon request. Please contact [plandev@london.ca](mailto:plandev@london.ca) for more information.

# Requested Draft Plan of Vacant Land Condominium



The above image represents the applicant's proposal as submitted and may change.