



Stantec Consulting Ltd.
600-171 Queens Avenue, London ON N6A 5J7

October 25, 2021
File: 161403241

Attention: Steve Stapleton
Colonel Talbot Developments
560 Wellington Street, 2nd floor
London ON N6A 3R4

Dear Steve,

Reference: Colonel Talbot East Subdivision – Preliminary Servicing Analysis Brief

This preliminary servicing overview has been prepared for Colonel Talbot Developments for the proposed development of the 6.684 ha parcel at Colonel Talbot East lands north of Savoy Street and west of Bostwick Road. The proposed development consists of 28 single family lots and 4.184 ha of additional residential lands, herein referred to as the site.

The purpose of this memo is to provide inventory of the existing storm, water and sanitary servicing infrastructure for the feasibility of developing this site as proposed.

Based on the available as-constructed drawings attached herein, the site has servicing infrastructure available in vicinity at Savoy Street.

SANITARY

The site is within the Greenway WWTP sanitary sewershed. There are currently no municipal sanitary sewers fronting the subject site.

There is an existing municipal 250mm diameter sanitary sewer stub available on Savoy Street, near intersection of Bakerville Street. This is the intended outlet for subject lands.

The sanitary capacity of the downstream system is anticipated to be adequate for the proposed development based on City Record Drawing No. 27293. The outlet at Savoy Street has allocated capacity for 90 people/hectare which for the 5.949 ha site amounts to 535 people. However, an additional capacity of up to 959 people may be available to be redistributed if not utilized by woodlot to the west.

This existing sewer is at an invert of 260.518 m which will allow gravity servicing of the subject site (average existing surface elevation of 270m).

The proposed development will require approximately 55m sanitary sewer extension along potential Savoy Street extension through lands owned by others to service subject site.

Reference: Colonel Talbot East Subdivision – Preliminary Servicing Analysis Brief

We note that a 450mm SS14B sanitary trunk sewer(DC14-WW00011) is anticipated in 2022 east of subject lands in vicinity of Bostwick Road as per One Water – Growth Servicing DC study.

WATER

Water is available via the low-level 300mm watermain on north limit of Savoy Street within Foxwood Crossing Phase 3 (33M-709 as per City of London Record Drawing # 27307). This watermain is part of the London low-level system which has a hydraulic grade line of 301.8m. It is generally accepted that the elevation of 273m is the highest elevation that can be serviced by the low-level system within the City.

The subject site given topography (approximate elevation of 270 m) is serviceable by low-level system, and therefore is anticipated to be serviced by single connection to 300mm watermain on Savoy Street. A secondary connection for looping is not required until such time as the development contain more than 80 units serviced from a single source of supply.

Under ultimate condition looping may be provided via future Hayward Drive to the north, from existing Heathwoods Subdivision.

The proposed development will require approximately 60m watermain extension along potential Savoy Street extension through lands owned by others to service subject site.

STORM

There are currently no existing municipal storm sewers fronting the subject site, there is an existing downstream stormwater management facility (SWMF) designed for these lands within Foxwood Crossing Subdivision.

The downstream storm system has been designed for proposed development up to a runoff coefficient of 0.55 as per City of London Record Drawing #272292. Based on the proposed development land use the design capacity of the downstream storm system is not anticipated to be exceeded.

There is an existing municipal 900mm diameter storm sewer which in the interim is fitted with DICB, available on Savoy Street, near intersection of Bakerville Street. This is the intended minor flow outlet for subject lands. This existing sewer is at an invert of 262.416m which will allow gravity servicing of the subject site. Similar to sanitary sewer, storm sewer will need be extended north along Savoy Street to service proposed development.

Major flows will be conveyed to the existing downstream SWMF via existing and proposed local road network.

Reference: Colonel Talbot East Subdivision – Preliminary Servicing Analysis Brief

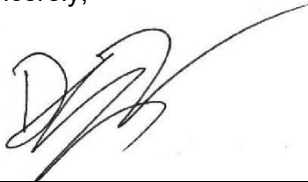
CONCLUSION

We trust this meets with your requirements at this time for the inventory of the existing storm, water and sanitary servicing infrastructure for the feasibility of developing this site.

Based on the proposed draft plan of subdivision prepared by Stantec, we note that there may be challenges to service lands east of proposed Bostwick Road realignment due to their location in relation to Savoy Street infrastructure. Consideration should be given to servicing easements within proposed development to utilize intended outlet at Savoy Street. Alternatively, proposed Bostwick Road will need servicing infrastructure to consider Block 29 lands.

Should you have any question, or require further information, please contact the undersigned.

Sincerely,



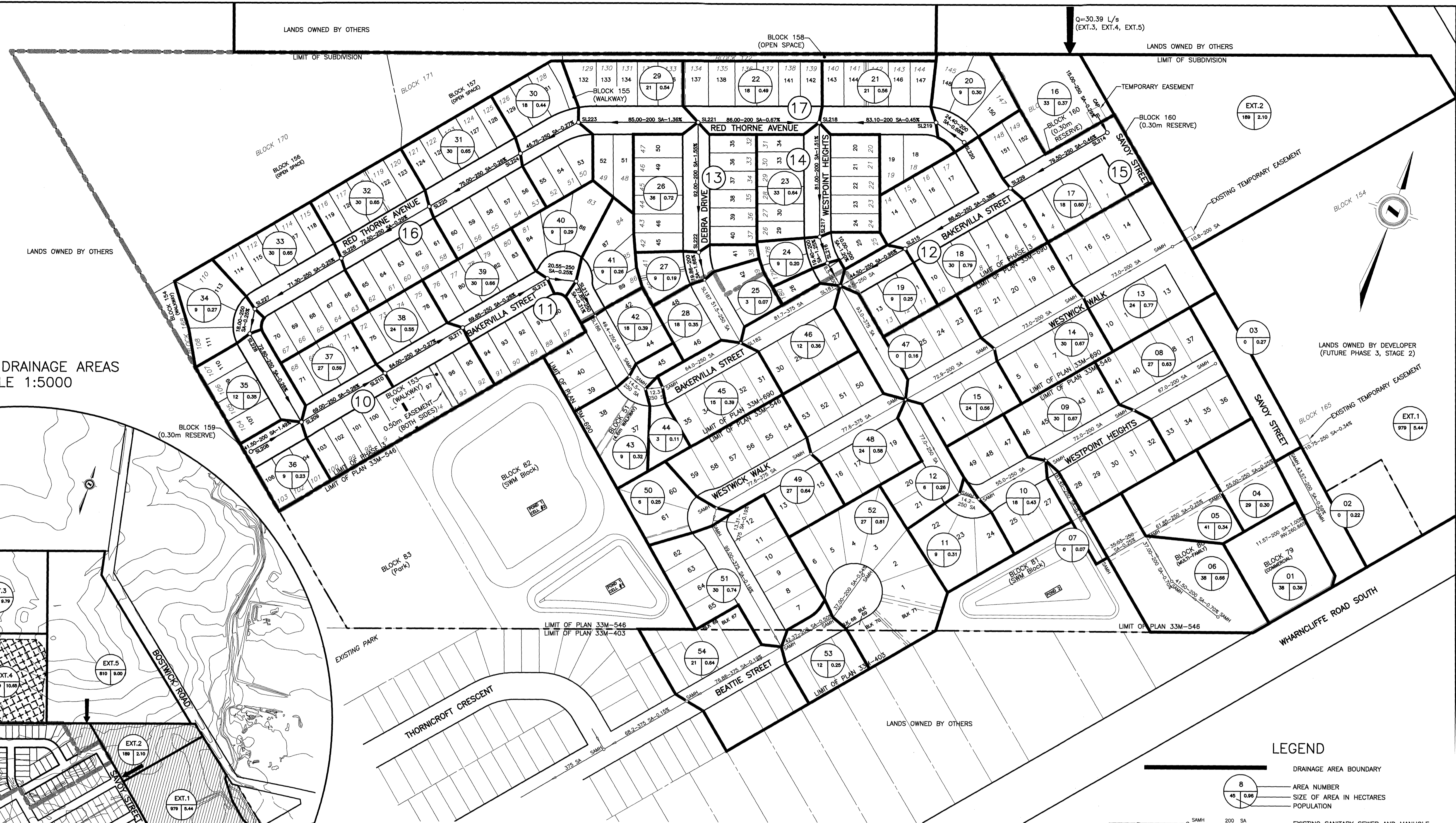
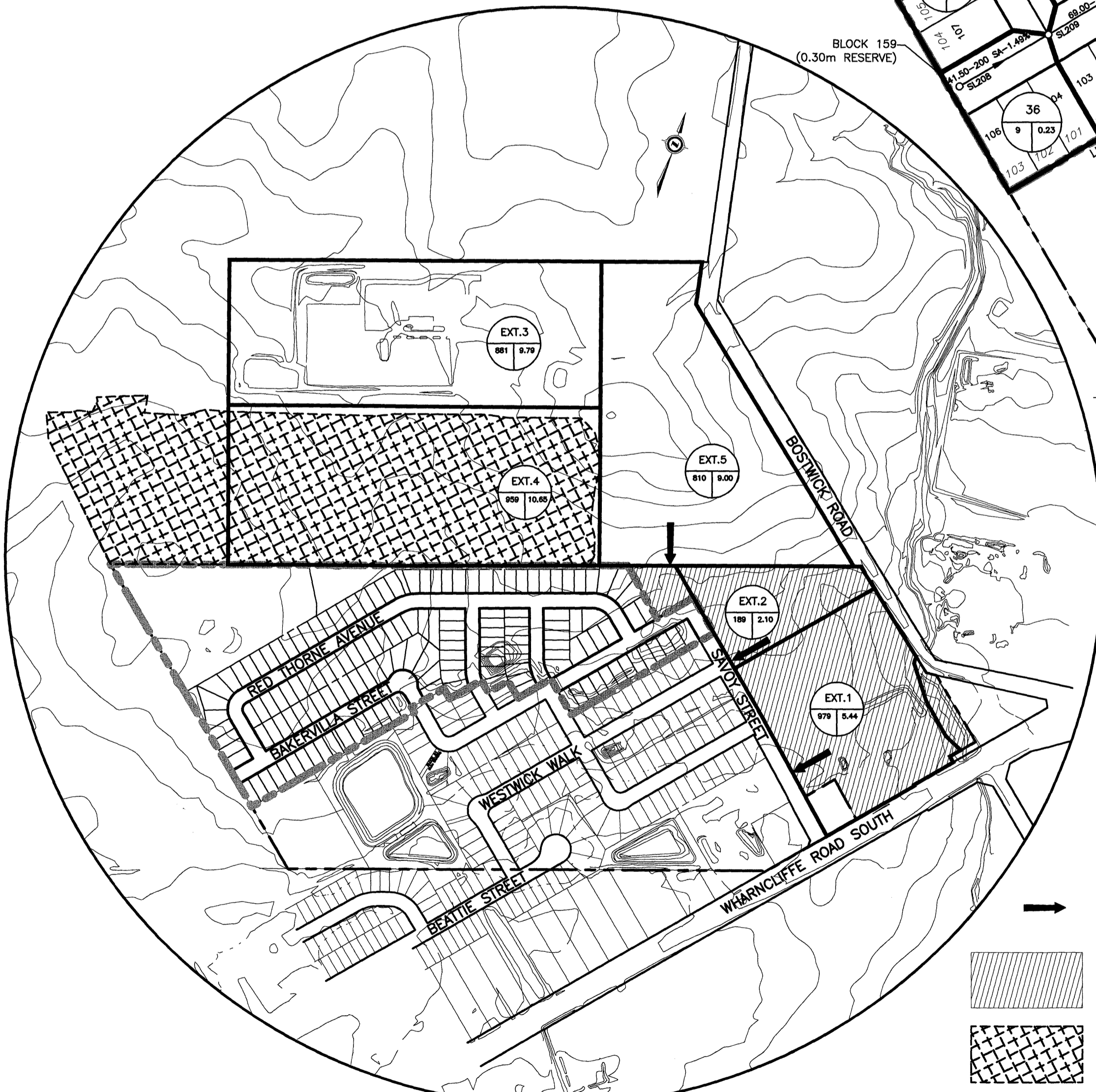
Dan Vucetic MEng., P.Eng.
Project Manager
Phone: 519-675-6655
Dan.Vucetic@stantec.com

Attachment: City of London Record Drawings
Draft Plan of Subdivision

c. Colonel Talbot Developments

vd c:\users\dvucetic\desktop\colonel talbot east lands - bostwick\let_161403241_20211025_servicing.docx

EXTERNAL DRAINAGE AREAS
SCALE 1:500



LEGEND

- DRAINAGE AREA BOUNDARY
- AREA NUMBER
- SIZE OF AREA IN HECTARES
- POPULATION
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING PLUG OR CAP
- PROPOSED PLUG OR CAP
- LOT NUMBER
- DRAFT PLAN LOT NUMBER
- LIMIT OF PHASE 3, STAGE 1
- LIMIT OF SUBDIVISION
- PLAN / PROFILE DRAWING NUMBER

UTM
DRAWING LAYOUT IS SET TO UTM COORDINATES

BENCHMARKS

VERTICAL CONTROL MONUMENT V010955005; BRONZE CAP IN CONCRETE CURB IN THE POLICE VILLAGE OF LAMBETH, ON COLONEL TALBOT ROAD, 4.5 METRES NORTH OF THE CENTRELINE OF SUNRAY AVENUE, 15.5 METRES EAST OF THE CENTRELINE OF COLONEL TALBOT ROAD, SET IN THE CONCRETE CURB. GEODETIC ELEVATION 260.122 METRES

VERTICAL CONTROL MONUMENT V010955006; BRONZE CAP IN CONCRETE CURB IN THE POLICE VILLAGE OF LAMBETH, ON SUNRAY AVENUE, 100 METRES NORTH OF ASPEN PLACE, 27.7 METRES NORTH OF THE CENTRELINE OF A GRAVEL DRIVE TO A 2-STORY WHITE BRICK HOUSE (MUNICIPAL #103), 4.3 METRES WEST OF THE CENTRELINE OF SUNRAY AVENUE, SET IN THE CONCRETE CURB. GEODETIC ELEVATION 258.140 METRES

- INLET LOCATION
- FUTURE PHASE 3, STAGE 2
- ENVIRONMENTAL REVIEW ZONE

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN	SPB	1. REVISED PER CITY COMMENTS	APRIL 2016	AGM
					DRAWN	MG	2. REVISED TO AS CONSTRUCTED	JUNE 2017	AGM
					CHECKED	DTW			
					APPROVED	SPB			
					DATE	FEBRUARY 2016			
					FILENAMEDWG				

CONSULTANT OR DIVISION

ARCHIBALD, GRAY & McKay ENGINEERING LTD.
3514 WHITE OAK ROAD, LONDON, ON, N6E 2Z9
PHONE 519-685-5300 FAX 519-685-5303
EMAIL info@agm.on.ca WEB www.agm.on.ca

ENGINEER'S SEAL

S. P. BROWN
90553702
JUNE 21/17
PROVINCE OF ONTARIO

CORPORATION OF THE CITY OF LONDON
London CANADA

SCALE

SCALE - 1 : 1500

TITLE

FOXWOOD CROSSING PHASE 3, STAGE 1
1640209 ONTARIO LIMITED
33M-709

PROJECT No. **1106-17**
SHEET No. **04**
PLAN FILE No. **27293**

TEMPORARY DRAINAGE

	EX.DICB.1	EX.DICB.2	DICB.1
Area (A)	1.22 ha	1.37 ha	2.90 ha
Runoff Coefficient (C)	0.20	0.20	0.20
Slope Length (L)	210 m	225 m	270 m
Grade (Sw)	0.90%	2.60%	2.60%
Time of Concentration (Tc)	39.4 min	32.1 min	35.2 min
Rainfall Intensity (I)	46.9 mm/hr	53.8 mm/hr	50.6 mm/hr
Flow (Q)	31.8 l/s	41.0 l/s	81.6 l/s
Pipe Capacity	724.1 l/s	161.3 l/s	1200.8 l/s

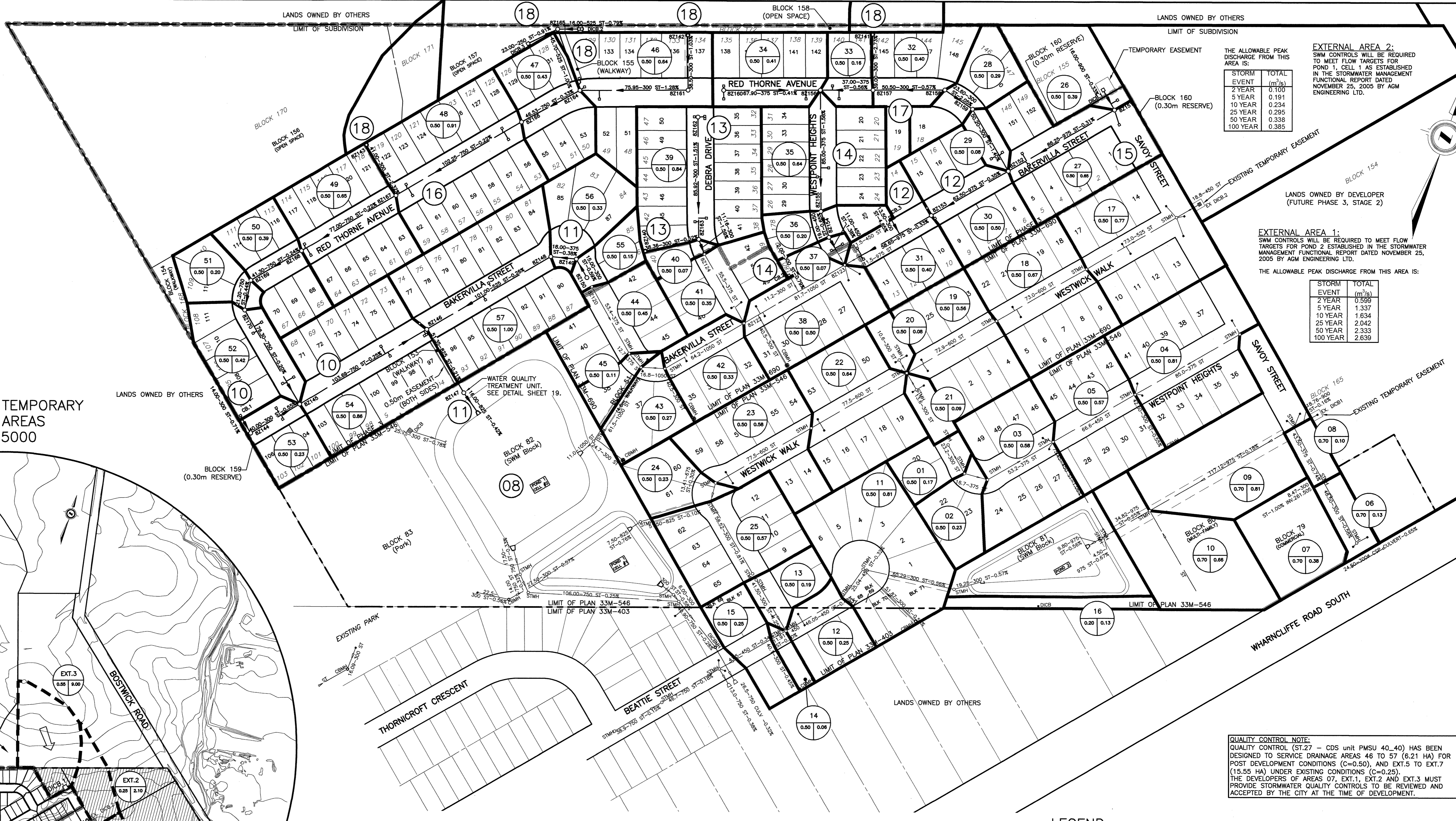
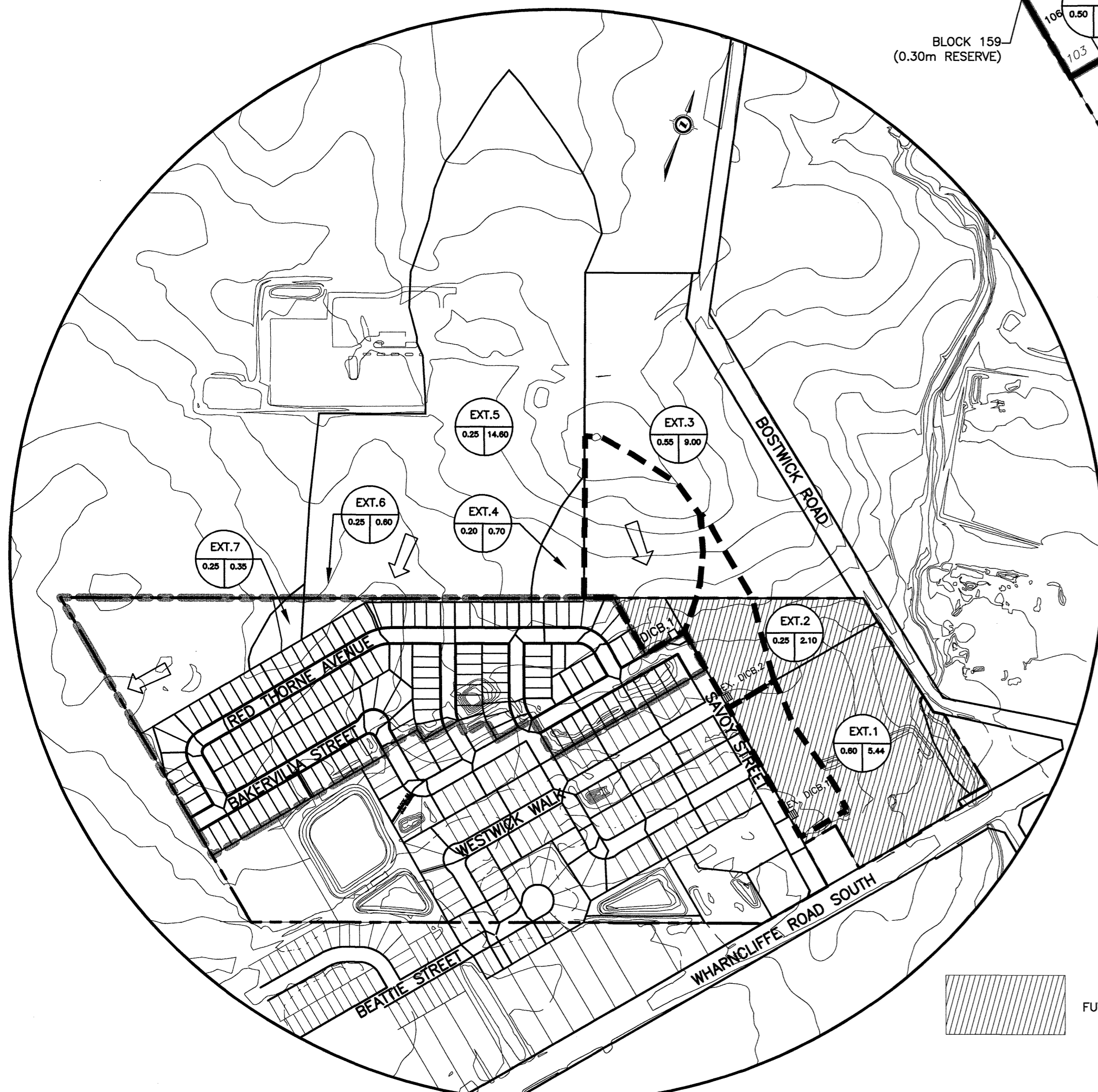
Airport Method $T_c = 3.26(1.1 - CIL)^{1.2}$
Sw 10

FLOW Q = 2.78GA

LEGEND FOR EXTERNAL AND TEMPORARY DRAINAGE AREAS

- TEMPORARY DRAINAGE AREA BOUNDARY
- EXTERNAL DRAINAGE AREA BOUNDARY
- ← EXISTING OVERLAND FLOW ROUTE

EXTERNAL AND TEMPORARY DRAINAGE AREAS
SCALE 1:5000



EXTERNAL AREA 2:
SWM CONTROLS WILL BE REQUIRED TO MEET FLOW TARGETS FOR POND 1, CELL 1 AS ESTABLISHED IN THE STORMWATER MANAGEMENT FUNCTIONAL REPORT DATED NOVEMBER 25, 2005 BY AGM ENGINEERING LTD.

STORM EVENT	TOTAL (m³/s)
2 YEAR	0.100
5 YEAR	0.191
10 YEAR	0.234
25 YEAR	0.295
50 YEAR	0.338
100 YEAR	0.385

EXTERNAL AREA 1:
SWM CONTROLS WILL BE REQUIRED TO MEET FLOW TARGETS FOR POND 2 ESTABLISHED IN THE STORMWATER MANAGEMENT FUNCTIONAL REPORT DATED NOVEMBER 25, 2005 BY AGM ENGINEERING LTD.

THE ALLOWABLE PEAK DISCHARGE FROM THIS AREA IS:

STORM EVENT	TOTAL (m³/s)
2 YEAR	0.599
5 YEAR	1.337
10 YEAR	1.634
25 YEAR	2.042
50 YEAR	2.333
100 YEAR	2.639

QUALITY CONTROL NOTE:
QUALITY CONTROL (ST.27 - CDS unit PMSU 40_40) HAS BEEN DESIGNED TO SERVICE DRAINAGE AREAS 46 TO 57 (6.21 HA) FOR POST DEVELOPMENT CONDITIONS (C=0.50), AND EXT.5 TO EXT.7 (15.55 HA) UNDER EXISTING CONDITIONS (C=0.25). THE DEVELOPERS OF AREAS 07, EXT.1, EXT.2 AND EXT.3 MUST PROVIDE STORMWATER QUALITY CONTROLS TO BE REVIEWED AND ACCEPTED BY THE CITY AT THE TIME OF DEVELOPMENT.

LEGEND

UTM

DRAWING LAYOUT IS SET TO UTM COORDINATES

BENCHMARKS

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- 74 LOT NUMBER
- 71 DRAFT PLAN LOT NUMBER
- LIMIT OF PHASE 3, STAGE 1
- LIMIT OF SUBDIVISION
- 10 PLAN / PROFILE DRAWING NUMBER
- DRAINAGE AREA BOUNDARY
- 5 AREA NUMBER
- 0.50 | 0.42 SIZE OF AREA IN HECTARES
- RUN-OFF COEFFICIENT (C)
- EXISTING DITCH-INLET CATCHBASIN
- EXISTING CATCHBASIN/CURB INLET CATCHBASIN
- EXISTING STORM SEWER AND MANHOLE
- ST.1 300 ST PROPOSED STORM SEWER AND MANHOLE
- CBMH.44 PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN/CURB INLET CATCHBASIN
- DICB.2 PROPOSED DITCH INLET CATCHBASIN

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
	DESIGN	SPB			1.	REVISED PER CITY COMMENTS	APRIL 2016	AGM	
	DRAWN	MG			2.	REVISED TO AS CONSTRUCTED	JUNE 2017	AGM	
	CHECKED	DTW							
	APPROVED	SPB							
	DATE	FEBRUARY 2016							

CONSULTANT OR DIVISION

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ENGINEER'S STAMP

S. P. BROWN
90553702
PROVINCE OF ONTARIO

CORPORATION OF THE CITY OF LONDON

London CANADA

SCALE

SCALE - 1 : 1500

TITLE

FOXWOOD CROSSING PHASE 3, STAGE 1
1640209 ONTARIO LIMITED 33M-709

STORM DRAINAGE PLAN

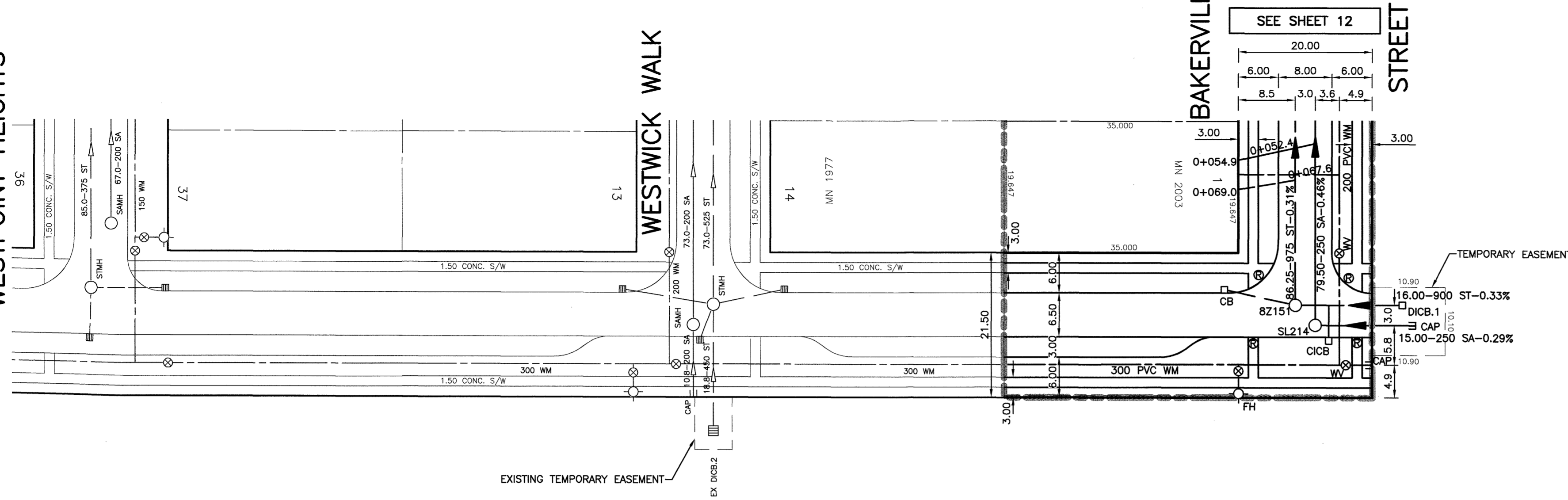
Plot No. 1106-17
SHEET No. 03
PLAN FILE No. 27292

WESTPOINT HEIGHTS

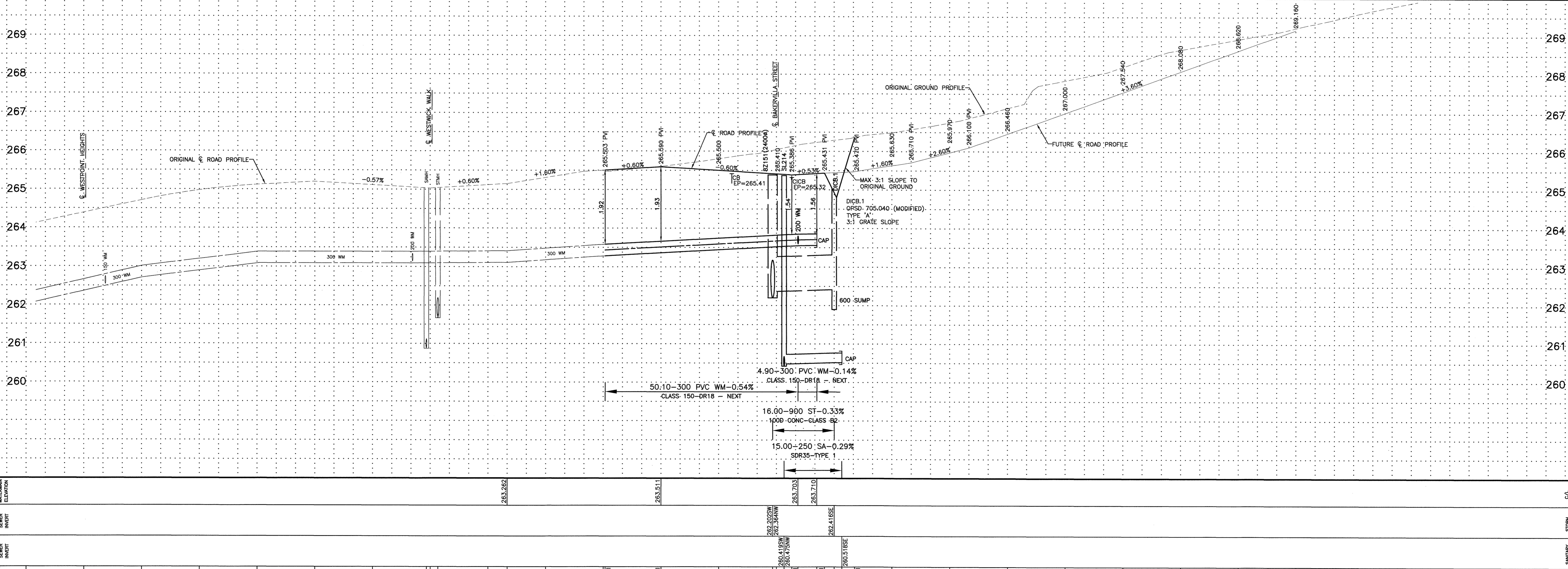
WESTWICK WALK

BAKERVILLA STREET

SEE SHEET 12



SAVOY STREET

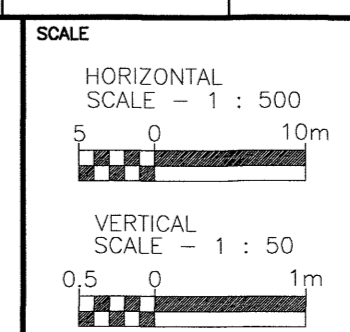
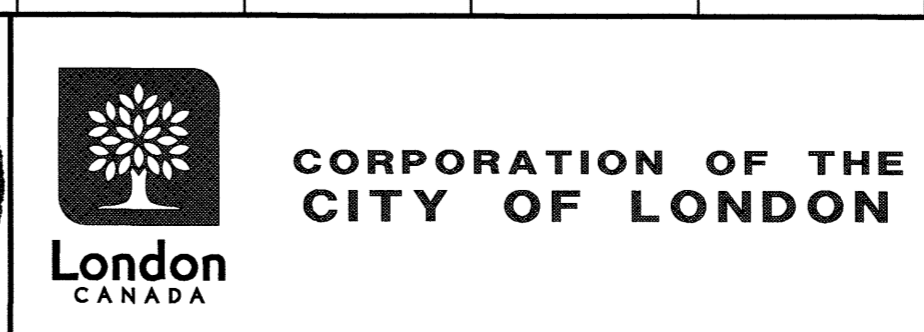
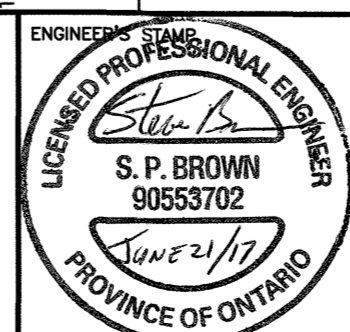


C/A WATERMAIN ELEVATION	263.262	263.511	263.710	262.4165E	262.2025W	262.3091W	260.4195W	260.4751W	263.700	263.500	263.900	263.110	263.200	263.300	263.400	263.500	263.600	263.700	263.800	263.900	264.000	264.100	264.200	264.300	264.400	264.500	264.600	264.700	264.800	264.900	265.000	265.100			
STORM SEWER INVERT																																			
SANITARY SEWER INVERT																																			
STATION	1+180	1+195	1+210	1+225	1+240	1+255	1+270	1+284.00	1+285	1+287.00	1+300	1+305.00	1+315	1+330	1+330.50 PM	1+345.00 PM	1+360	1+374.00	1+375	1+377.00	1+379.00 PM	1+380.00	1+385.50	1+387.50 PM	1+390.00	1+392.00	1+395.20 PM	1+405	1+420	1+435	1+450	1+465	1+480	1+495	1+510

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
SANITARY SEWERS AND APPURTENANCES		OCT. 2016	DESIGN	SPB	1.	REVISED PER CITY COMMENTS	APRIL 2016	AGM	
STORM SEWERS AND APPURTENANCES		OCT. 2016	DRAWN	MC	2.	REVISED TO AS CONSTRUCTED	JUNE 2017	AGM	
WATERMAIN AND APPURTENANCES		OCT. 2016	CHECKED	STW					
GRANULAR 'B'		NOV. 2016	APPROVED	SPB					
GRANULAR 'A'		NOV. 2016	DATE	FEBRUARY 2016					
CURB AND GUTTER		NOV. 2016							
BASE ASPHALT (H.B)		NOV. 2016							
			FILENAMEDWG						

AGM
PLAN • SURVEY • ENGINEER

ARCHIBALD, GRAY & McKay ENGINEERING LTD.
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PROJECT No. 1106-17
SHEET No. 15
FILE No. 27307

FOXWOOD CROSSING PHASE 3, STAGE 1
1640209 ONTARIO LIMITED 33M-709

SAVOY STREET
WESTPOINT HEIGHTS TO 130m NORTH OF BAKERVILLA STREET

Liability Note

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.

**DRAFT PLAN OF SUBDIVISION
THE HEATHWOODS**

PART OF
LOTS 72 & 73
EAST OF THE NORTH BRANCH
OF THE TALBOT ROAD
(GEOGRAPHIC TOWNSHIP OF WESTMINSTER)
AND PART OF BLOCK 33 PLAN M-63
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

**INFORMATION REQUIRED UNDER SECTION
51(17) OF THE PLANNING ACT**

- A: AS SHOWN ON DRAFT PLAN
- B: AS SHOWN ON DRAFT AND KEY PLAN
- C: AS SHOWN ON DRAFT AND KEY PLAN
- D: ACCORDING TO LAND USE SCHEDULE
- E: RESIDENTIAL, AGRICULTURAL, COMMERCIAL
- F: AS SHOWN ON DRAFT PLAN
- G: AS SHOWN ON DRAFT AND KEY PLAN
- H: MUNICIPAL PIPED WATER TO BE INSTALLED
- I: SILTY CLAY OVERLYING SILTY CLAY TILL
- J: AS SHOWN ON DRAFT PLAN
- K: MUNICIPAL SANITARY AND STORM SEWERS TO BE INSTALLED
- L: AS SHOWN ON PLAN

SCHEDULE OF LAND USE

SINGLE FAMILY RESIDENTIAL	- LOTS 1 TO 28	1.295 ha
BOSTWICK ROAD RIGHT-OF-WAY	- BLOCK 29	0.735 ha
ADDITIONAL LANDS OWNED BY APPLICANT		4.184 ha
ROADS		0.470 ha
	TOTAL	6.684 ha

OWNER'S AUTHORIZATION

THE UNDERSIGNED AUTHORIZES THE PREPARATION AND SUBMISSION OF THIS DRAFT PLAN OF SUBDIVISION.

JAMIE CRICH, PRESIDENT
COLONEL TALBOT DEVELOPMENTS INC.
AUTHORIZING AGENT _____ DATE _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED, AS SHOWN ON THIS PLAN, AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

JEREMY C.E. MATHEWS O.L.S.
STANTEC GEOMATICS _____ DATE _____

Notes

- THIS IS A COMPILED PLAN AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.
- ONTARIO BASE MAPPING USED FOR AREAS AND DIMENSIONS. LEGAL PLAN REQUIRED FOR PRECISE CALCULATIONS.

File Name: 161403241.dwg
Dwn. Chkd. Dsgn. RT BB RT 21.10.13
YY.MM.DD

Client/Project

COLONEL TALBOT DEVELOPMENTS INC.

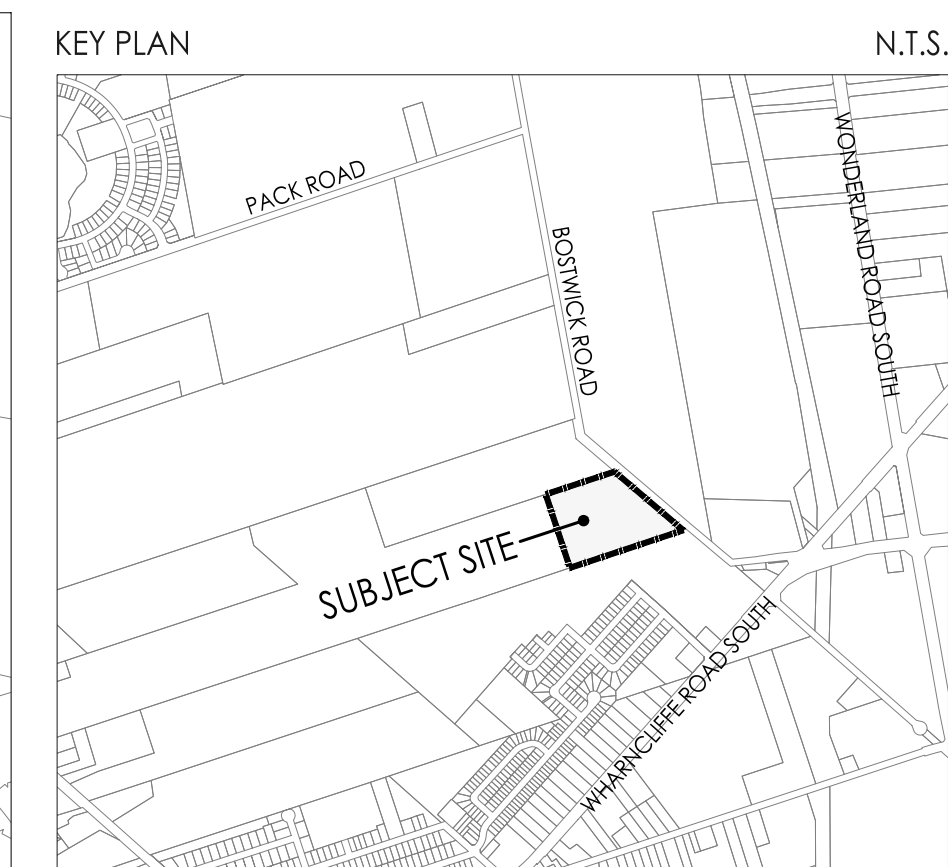
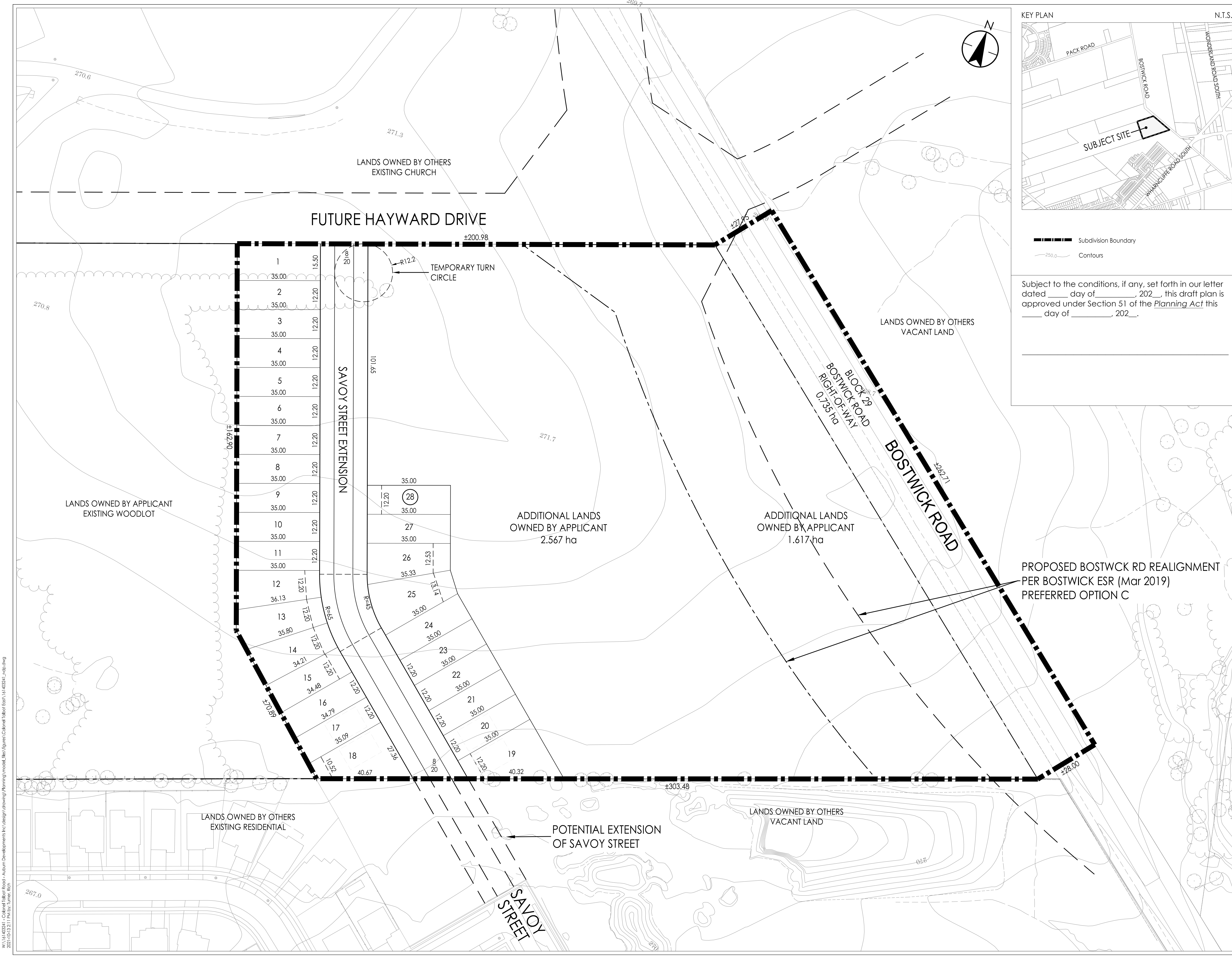
COLONEL TALBOT SUBDIVISION

London, ON Canada

Title

DRAFT PLAN OF SUBDIVISION

Project No. 161403241
Scale 1 : 750
Drawing No. Sheet Revision



Subdivision Boundary
Contours

Subject to the conditions, if any, set forth in our letter dated ____ day of _____, 202__, this draft plan is approved under Section 51 of the *Planning Act* this ____ day of _____, 202__.

W:\161403241 - Colonel Talbot Road - Auburn Developments Inc. Design\Drawing\Planning\mxd\161403241_dcp.dwg
2020-10-25 11:10:13 AM JCR