



**Legacy Village Strategic
Conservation Plan – 850
Highbury Avenue North,
London ON**

November 16, 2022

File: 160940807

Prepared for:

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Acknowledgments

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In addition, thank-you to the following involved in the development of this SCP:

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Abbreviations

CHL	Cultural Heritage Landscape
CHVI	Cultural Heritage Value or Interest
CP	Conservation Plan
CPR	Canadian Pacific Railway
HAP	Heritage Alteration Permit
HCEA	Heritage Conservation Easement Agreement
HIA	Heritage Impact Assessment
IO	Infrastructure Ontario
IRC	IRC Building Services Group London Inc.
ISA	International Society of Arboriculture
LPH	London Psychiatric Hospital
LPHSP	London Psychiatric Hospital Secondary Plan
MTCS	Ministry of Tourism, Culture and Sport
n/a	Not applicable
O. Reg.	Ontario Regulation
OBC	Ontario Building Code



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OHA	<i>Ontario Heritage Act</i>
OHT	Ontario Heritage Trust
Old Oak	Old Oak Properties Inc.
RF	Regional Facility
SCP	Strategic Conservation Plan
ToR	Terms of Reference
ZBA	Zoning By-law Amendment



Introduction
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1 Introduction

1.1 Purpose of Report

In May 2021, Old Oak Properties Inc. (Old Oak) retained Stantec Consulting Ltd. (Stantec) to prepare a Strategic Conservation Plan (SCP) for the former London Psychiatric Hospital (LPH) located at 850 Highbury Avenue, City of London (the City), Ontario (Figure 1.1). Old Oak, the property owner, intends to develop the former LPH property as a residential area known as Legacy Village with the adaptive re-use of provincially and municipally significant heritage and cultural heritage landscape features (CHL). The property is subject to two Heritage Conservation Easement Agreements (HCEA), legal agreements between Old Oak and Ontario Heritage Trust (OHT). It is also a City designated property under Part IV of the *Ontario Heritage Act* (OHA).

The overall aim of the SCP is to provide guidance to Old Oak, the City, and the OHT to manage future development at the site, identify conservation strategies for significant heritage and CHL features, outline requirements for monitoring and maintenance of the heritage resources, and provide a framework for when Heritage Alteration Permits (HAPs) and Heritage Impact Assessments (HIAs) are required. This SCP combines the various layers of municipal and provincial planning policies, and conservation treatments into a single report to address short, medium, and long-term conservation measures for the property's heritage attributes as the property is developed.

1.2 Property Information

The property is legally described as being Part of Lot 8, Concession 1, Geographic Township of London. The north parcel is PIN 08106-0158 (LT), and includes Parts 2, 4, 5, 9, 10, 12, 13, 17, 18, 19, 20, 21, 22, 23, 24, 34, 36, 38, 39 & 40 on Plan 33R-20053, City of London, County of Middlesex. The south parcel is PIN 08106-0147 (LT) designated as Parts 1 to 8 on Plan 33R-19935, City of London, County of Middlesex.

The property is bounded to the west by Highbury Avenue North, to the south by Dundas Street East, to the north by Oxford Street East, and to the east by a mixture of commercial, industrial, and residential development (Figure 1.2). The property is broken into two property parcels as it is bisected by an east-west Canadian Pacific Railway (CPR) line.

1.3 Background

The former LPH opened in 1871, as the "Asylum for the Insane, London". It was the first purpose-built mental health facility in Ontario. It was originally administered by the



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Office of the Inspector for Prisons and Asylums (Julian Smith & Associates *et al.* 2004: 4). Its name and governing body changed throughout the 20th century. In 1907 the name of the facility was changed to the London Hospital for the Insane and then to the Ontario Hospital in 1919. In 1930, responsibility of mental health facilities was transferred from the Office of the Inspector to the Department of Health, where a Hospitals Division was formed. In 1966, the name changed again to LPH and the Department of Health became the Ministry of Health in 1972. The LPH was joined to St. Thomas Psychiatric Hospital in 1995, to operate under a single administration. In 1999, Ministry of Health was renamed the Ministry of Health and Long-Term Care (Julian Smith & Associates *et al.* 2004: 5-6). In 2001, St. Joseph's Health Care took over the governance and management of LPH and it was renamed as Regional Mental Health, London (Julian Smith & Associates *et al.* 2004: 5-6).

In 2008, a *Conservation Plan* was prepared for the property by Julian Smith & Associate Architects with Wendy Shearer, Jacqueline Hucker, Carolyn Samko, Rosi Zirger, and Sandy Smallwood (Julian Smith & Associate Architects *et al.* 2008). This SCP is an update on the 2008 Conservation Plan, to address the present planning applications and short, medium, and long-term conservation measures for the property's heritage attributes as development proceeds. On November 6, 2000, the property was designated by the City under Part IV of the OHA (By-law No. L.S.P.-3321-208). It was registered as Instrument No. ER85796 on November 7, 2000 (City of London 2000). In 2014, management of the former LPH property transferred to Infrastructure Ontario (IO). It was classified as a surplus property and a disposition process was initiated. As IO is identified as a prescribed public body under *Ontario Regulation (O. Reg.) 157/10, Part III.1* of the OHA, it complies with the Ministry of Tourism, Culture and Sport (MTCS) *Standards & Guidelines for Conservation of Provincial Heritage Properties* (MTCS 2010). As part of its disposition the property was evaluated by the OHT and was determined to have provincial significance as it met several criteria according to O. Reg. 10/06. The Minister of Tourism, Culture and Sport granted consent to the transfer of ownership to Old Oak, on the condition of preparation of a HCEA, which was completed on January 16, 2019.

Due to the bisection of the property by the CPR line, the HCEA consists of two separate easements: one for lands to the north and one for lands to the south of the railway line. Given that both relate to the same historical property and have similar reasons for significance, they have been referred to in this SCP as a single HCEA. The north HCEA includes four buildings: Horse Stable, Chapel of Hope, Infirmary, and Recreation Hall. There are also cultural heritage landscape elements broken into three zones: The Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone (Figure 1.3). The south easement includes the Allée that extends north from Dundas Street East to the historic main campus.



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1.4 Content

The layout of this SCP has been developed in consultation with the OHT and City, to create an easily accessible document for various levels of users. The layout and content of this SCP is based on the OHT *Conservation Plans for Heritage Properties* (OHT n.d.). This includes an introduction, legislative and policy framework, summary of the site significance, assessment of conditions and issues, directions for management (aims, goals and objectives of the SCP and conservation strategies), and guidance on implementation of the SCP. Supplementary information is contained in the report appendices.

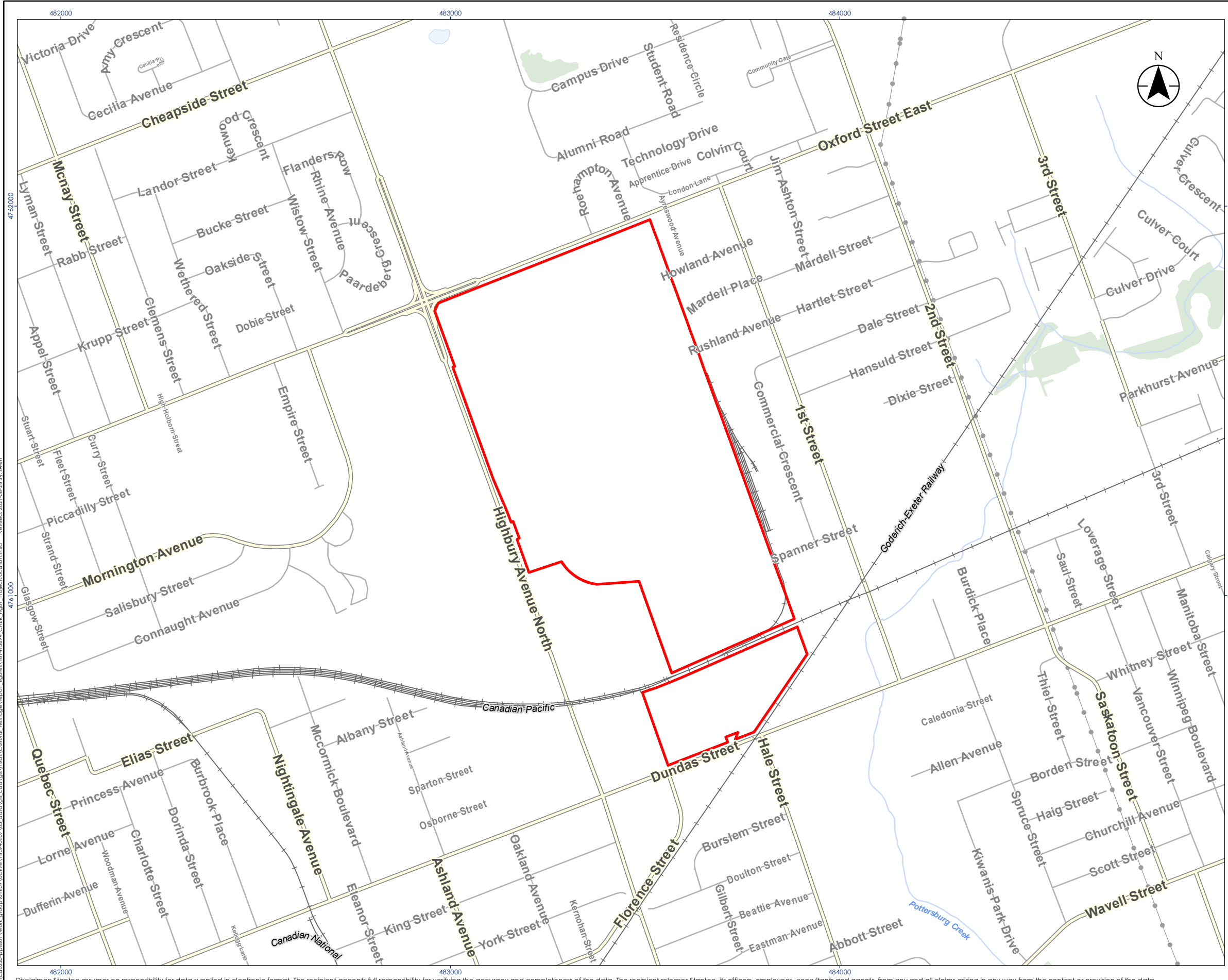
The preparation of this SCP relied on the review of several previously completed reports that have been prepared for the site, including heritage assessments, conservation plans, adaptive reuse studies, landscape conditions reports, site surveys, building condition assessments/baseline reports, and conservation planning documents such as the OHT HCEA, the City's designating by-law, and the *London Psychiatric Hospital Lands Secondary Plan* (LPHSP). These documents are referenced in the body of this report and listed in Section 8.










A site visit to review existing conditions of the property's exterior and landscape was undertaken on June 15, 2021, by Meaghan Rivard, Senior Heritage Consultant, Lashia Jones, Senior Cultural Heritage Specialist, and Frank Smith, Cultural Heritage Specialist. The site visit supplemented existing reports to identify the existing conditions of the site upon which conservation and management strategies are based.

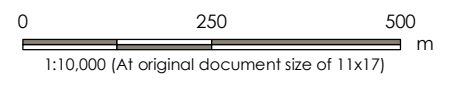
1.5 Description of the Proposed Undertaking

The property is subject to a Zoning By-law Amendment (ZBA), and a Draft Plan of Subdivision (Appendix A). The Draft Plan of Subdivision consists of the following land uses and areas: low density residential (Lots 1-30), medium density residential (Blocks 31-38), medium density/mixed use (Blocks 39-40), high density/mixed use (Blocks 41-48), heritage (Blocks 49-54), institutional (Block 55), parkland (Block 56), open space (Blocks 57-58), stormwater management (Block 59), private roads (Block 60), future development (Block 61) Road Widening (Blocks 62-63), 1' reserve (Block 64), and proposed roads (Appendix A). Densities within the subdivision will transition from the highest densities along the arterial roads (Highbury Avenue North and Oxford Street East) and dropping from west to east across the site.

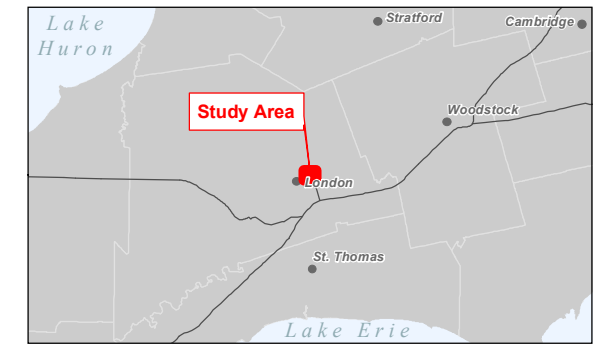




- Legend**
-  Study Area
 -  Major Road
 -  Minor Road
 -  Hydro Line
 -  Railway
 -  Watercourse
 -  Municipal Boundary, Lower
 -  Waterbody
 -  Wooded Area



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2021.



Project Location: City of London
 161413894 REVA
 Prepared by SW on 2021-06-26
 Technical Review by AB on 2021-06-26


Client/Project:
 OLD OAK PROPERTIES
 FORMER LONDON PSYCHIATRIC HOSPITAL LANDS
 850 Highbury Avenue North

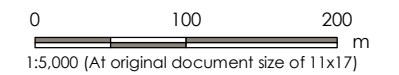
Figure No.
1-1

Title
Site Location

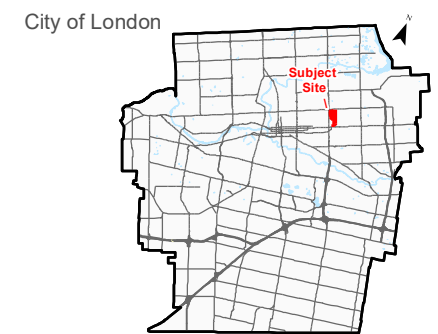
\\Ca0220-spl01\work\group01\609\active\16094887\03_data\gis_cad\gdb\mxd\Cultural_Heritage\report_figures\161413894_CHER_Fig01_ProjectLocation.mxd
 Review: 2021-06-26 By: s.wen
 471,000
 472,000
 473,000



- Legend**
- Subject Site
 -  Railway



- Notes**
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Project Location: City of London
 161413894 REVA
 Prepared by SW on 2021-06-27
 Independent Review by AB on 2021-06-27

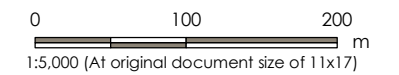
Client/Project: Old Oak Properties
 Former London Psychiatric Hospital Lands
 850 Highbury Avenue North

Figure No.: **1-2**

Title: **Property Map**

Legend

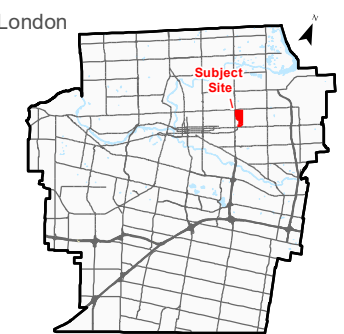
- Access Lands
- Allée and Ring Road Zone
- Campus Zone
- Chapel of Hope
- Horse Stable
- Horse Stable Zone
- Infirmary
- Property Boundary
- Recreation Hall
- OHT Access Easement
- OHT Easement Lands
- Railway



Notes

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3. Orthoimagery © First Base Solutions, 2021. Imagery Date, 2020.

City of London



Project Location
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Independent Review by AB on 2021-06-28

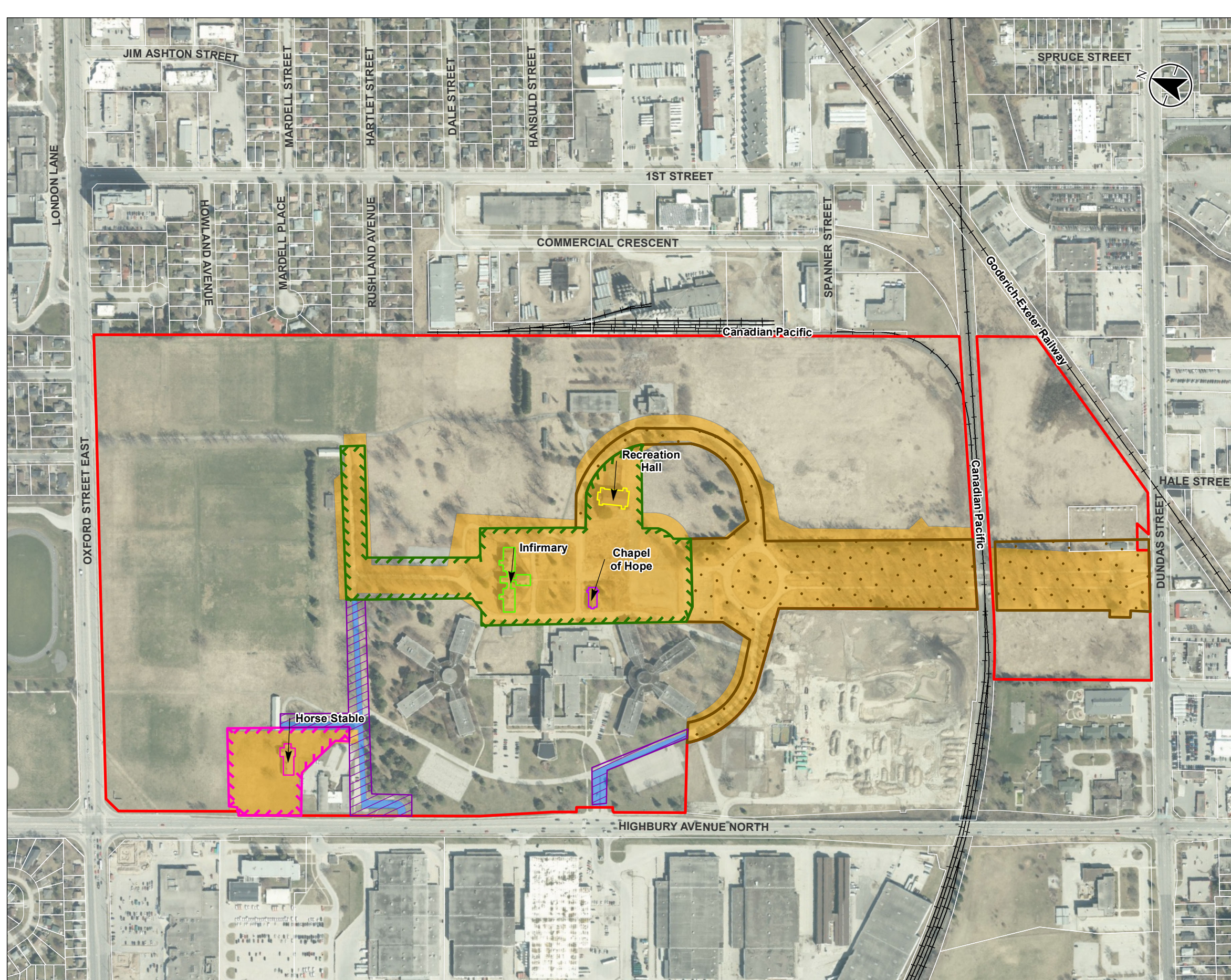
Client/Project
Old Oak Properties Inc.
Legacy Village Strategic Conservation Plan
850 Highbury Avenue North

Figure No.

1-3

Title

**Ontario Heritage Trust Heritage
Conservation Easement**



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Legislative and Policy Framework
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2 Legislative and Policy Framework

The property is subject to municipal and provincial layers of protection and planning policy framework that guide its regulation and approvals for change. The municipal and provincial layers of heritage protection work together to preserve the identified local and provincial level heritage value of the site under O. Reg. 9/06 and 10/06. The municipal and provincial policies also guide subsequent reports required for the property. The following sections provide an overview of the applicable municipal and provincial policies, and Section 6.1 discusses the implementation of these policies specific to the property.

As outlined in Section 1.3, the property is protected by the HCEA, a legal agreement made between Old Oak and the OHT. This is a provincial level of policy under the OHA that includes specific measures for the maintenance and repair of heritage features and cultural landscape features. The property owner may not undertake alterations to heritage features or cultural landscape features without written approval from the OHT. Further details on the HCEA are provided in Section 2.1.2.

The property is also municipally designated by the City under Part IV of the OHA. Any alterations to identified heritage attributes require a HAP (see Section 2.2.2). The HAP may require a supplementary scoped HIA to evaluate the impacts to heritage attributes and identify mitigation measures, where applicable. The property is also subject to the LPHSP which provides specific area placed planning framework for the City to reference for planning applications (see Section 2.2.3). An overview of the applicable provincial and municipal policies is included below.

2.1 Provincial Policy

2.1.1 The 2020 Provincial Policy Statement

The Provincial Policy Statement (PPS) was updated in 2020 and is intended to provide policy direction for land use planning and development regarding matters of provincial interest. Cultural heritage is one of many interests contained within the PPS. Section 2.6.1 of the PPS states that, “significant built heritage resources and cultural heritage landscapes shall be conserved”.

(Government of Ontario 2020)

Under the PPS definition, conserved means:

The identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in



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a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted, or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments

Under the PPS definition, significant means:

In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

Under the PPS, “protected heritage property” is defined as follows:

property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

(Government of Ontario 2020)

2.1.2 Heritage Conservation Easement Agreement

Under Section 10.1 (c) of the OHA, the OHT may “enter into a conservation easement agreement with owners for the conservation, protection and preservation of the heritage of Ontario.” Under Section 22.1 of the OHA any conservation easement entered into by OHT is registered on property title (Government of Ontario 1990). The purpose of the HCEA is to ensure that the identified heritage value of the property will be preserved in perpetuity as part of the heritage of Ontario. Section 1.1 of the agreement stipulates,

“To achieve this purpose, the Owner and the Trust agree that the Heritage Features will be retained, maintained, and conserved by the Owner through the application of recognized heritage conservation principles and practices that no change shall be made to the Heritage Features that will adversely affect the heritage value of the Protected Lands as set out in the Statement of Cultural Heritage Value and Interest”

(OHT 2019a and b: 2).



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The conservation principles and practices referred to above are the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010). Under Section 4.0 of the HCEA, it outlines the duties of the owner to maintain, repair, and stabilize the buildings and landscape features on the site, replacing elements where necessary to preserve the buildings in the conditions they were in at the time the easement was granted, and to prevent their damage from vandalism, fire, theft, and weather conditions (OHT 2019a and b: 3-4).

As per Section 4.2 of the HCEA, the owner may not undertake or permit any alteration, demolition, restoration, remodeling of the buildings or heritage features without written approval of the OHT or as described within a SCP, which is to be jointly approved by the owner and the OHT (OHT 2019a and b: 4). An Alteration Request Form is required to make a complete request, and written approval is required prior to beginning any work regarding changes to the property that could negatively impact heritage assets.

Regarding emergency measures, under Section 4.4 of the HCEA, the owner may undertake temporary measures that they deem necessary to deal with an emergency situation which puts the security or integrity of the buildings at risk. These measures should be in keeping with the purpose of the HCEA, consistent with the conservation of the Heritage Features, meet the requirements of the *Building Code Act*, and if time permits consultation with OHT. The owner shall advise the OHT when temporary measures are necessary related to an emergency situation (OHT 2019a and b: 4).

Under Section 4.6 the HCEA provides a list of regulated activities that cannot be completed without approval of the Trust:

- “grant any easement or right of way;
- “sever or subdivide;
- “erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever except temporary fencing required during construction;
- “allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- “except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the Protected Lands, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, or other materials;
- “allow the removal, destruction or cutting of trees, shrubs or other vegetation;
- “allow the planting of trees, shrubs or other vegetation which would have the effect of (i) reducing the aesthetics of the Buildings or Protected Lands, or (ii) causing any damage to the Buildings; or



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- “allow any activities, actions or uses detrimental or adverse to water conservation, erosion control or soil conservation.”

(OHT 2019a and b: 5).

To obtain OHT approval, under Section 6.0 of the HCEA, the owner (at its expense) is to provide the OHT with information in the detail that the OHT may reasonably require in order to consider and assess their request, including plans or drawings, material samples, a work schedule, or technical reports (OHT 2019a and b: 5-6). Under the HCEA the OHT has 60 days to respond to the Owner’s request (OHT 2019a and b: 6).

2.2 Municipal Policy

2.2.1 City of London Official Plan

The City’s Official Plan, known as *The London Plan*, was adopted by City Council, and approved by the province in 2016. The property is designated Transit Village and Green Space in *The London Plan* (Map 1 – Place Types). The property is currently zoned Regional Facility in the City of London Zoning By-law. The property is currently designated for a range of land uses, including; multi-family, medium density residential, high density residential, office/residential, regional facility, and open space in the 1989 Official Plan. Old Oak intends to re-designate under the 1989 Official Plan and rezone the property to facilitate development consistent with the policies of the London Plan Transit Village Place Type policies.

The City’s *The London Plan* also contains the following general objectives regarding cultural heritage resources:

1. “Promote, celebrate, and raise awareness and appreciation of London’s cultural heritage resources.
2. “Conserve London’s cultural heritage resources so they can be passed on to our future generations.
3. “Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.”

(City of London 2021b)

The London Plan contains the following applicable policies related to this SCP included verbatim below:

565_ New development, redevelopment, and all civic works and projects on and adjacent to heritage designated properties and properties listed on the Register will be designed to conserve the heritage attributes and character of those resources and to minimize the visual and physical impact on these resources. A



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heritage impact assessment will be required for new development, redevelopment, and civic works and projects on, and adjacent to, heritage designated properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to cultural heritage resources and its heritage attributes.

589_ A property owner may apply to alter the cultural heritage attributes of a property designated under the Ontario Heritage Act. The City may, pursuant to the Act, issue a permit to alter the structure. In consultation with the London Advisory Committee on Heritage, the municipality may delegate approvals for such permits to an authority.

(City of London 2021b)

2.2.2 Heritage Alteration Permits and Heritage Impact Assessments

As the property is designated under Part IV, Old Oak shall not alter, destroy, remove, or demolish any heritage attributes without the approval of municipal Council. Approval to alter the heritage attributes of the property is granted by the City through the HAP process, which requires the approval of the City's heritage planning staff, the London Advisory Committee on Heritage (LACH), and City Council. The following is the process to apply for a HAP:

1. Consult with a Heritage Planner
2. Complete the application form for the HAP and provide any other necessary attachments (drawings, photographs, etc.) that will help facilitate the review of the HAP
3. Heritage Planner to confirm receipt of the complete application
4. Heritage Planner determines type of approval: Municipal Council Decision or Delegated Authority
5. A HAP may give the applicant:
 - The permit applied for or consent to the HAP
 - The permit applied for or consent to the HAP (with terms and conditions attached)
 - Notice that Municipal Council is refusing the application for the permit

It is recommended that any HIAs required for the site be scoped in a manner to address the key concerns of impact assessment and mitigation, and that inclusion of historical research and heritage value of the site be concisely summarized or referenced, rather than conducted in full given that the site has numerous previous reports that have already detailed the historical development of the site and its significance. A "scoped" HIA should include the following as a basis for its Terms of Reference:



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- A brief introduction summarizing the purpose of the report and reference to the designating by-law and HCEA
- A concise (1-2 paragraph) summary of the history and evolution of the property
- A brief description of the resource/heritage attribute that is being redeveloped/subject to adjacent development and its existing condition, including current site photo
- A description of the proposed undertaking or development
- Assessment of impacts according to the *Ontario Heritage Toolkit*
- Identification of mitigation measures based on those identified in the *Ontario Heritage Toolkit*
- Recommendation of the preferred alternative/mitigation measure

2.2.3 Secondary Plan, London Psychiatric Hospital Lands

The property is subject to the LPHSP prepared by the City in 2016. The LPHSP established a vision, principles, and policies for the property and adjacent lands to guide their evolution into a residential and mixed-use community. The LPHSP serves as a framework for the City to review planning applications for the site so that development conforms to the site-specific requirements for the site including land use, heritage conservation, transportation planning, urban design, sustainability, and environmental considerations.

In relation to Cultural Heritage, the following principle applies, “Retain as much of the identified cultural and heritage resources of the area as possible.” The Secondary Plan also has the following objectives below:

4. Celebrate the area’s built and cultural heritage.
5. Create a distinct urban community that builds upon the heritage significance of the property.
6. Create a strong sense of places that relates to the heritage character of the property.
7. Conserve the heritage designated buildings and landscape.
8. Conserve the cultural heritage landscape.
9. Encourage sustainable re-use of heritage buildings.

(City of London 2016: 20.4.1.4)

The LPHSP identifies a Heritage Area within the property that includes the Treed Allée, Recreation Hall, Chapel of Hope, Infirmary Building, Horse Stable, and broader CHL. The Heritage Area is shown in Figure 2.1. This Heritage Area has been maintained in the Draft Plan of Subdivision (Appendix A). Under the LPHSP, lands within the Heritage Area are to be conserved, and the plan identifies permitted uses including office, residential or institutional use for the infirmary building; a continued place of worship for



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the chapel; food, farming, horticultural, or educational uses for the stable; and passive recreational use for the CHL.

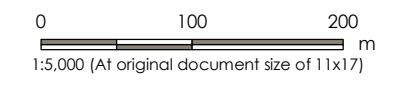
A HIA has been prepared by Stantec to address any potential impacts to heritage and cultural heritage landscape features on the property due to the proposed amendments to the LPHSP. The HIA determined that the proposed amendments will have no impacts on the heritage and cultural heritage landscape features (Stantec Consulting Ltd. 2022).



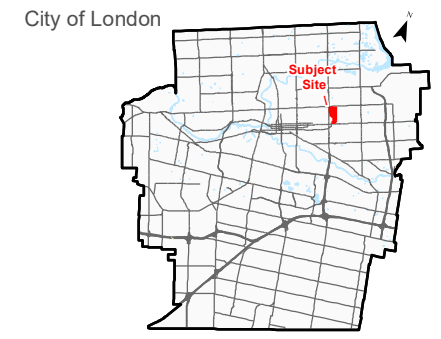
C:\0220-epb\01\work_group\01_609_active\1609_4887\03_data\gis_cad\gb\mxd\Cultural_Heritage\report_figures\161413894_CHER_Fig04_SecondaryPlan.mxd
 Revised: 2021-06-27 By: sven



- Legend**
- Property Boundary
 - Central Tree Allée
 - Significant Cultural Heritage Landscape to be Conserved
- Buildings to be Conserved**
- Chapel of Hope
 - Horse Stable
 - Infirmary
 - Recreation Hall
 - Railway



- Notes**
1. Coordinate System: NAD 1983 UTM Zone 17N
 2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2021, and © City of London, 2021.
 3. Orthoimagery © First Base Solutions, 2021. Imagery Date, 2020.



Project Location: City of London
 Prepared by SW on 2021-06-27
 Independent Review by AB on 2021-06-27

Client/Project: Old Oak Properties
 Former London Psychiatric Hospital Lands
 850 Highbury Avenue North

Figure No.: **2-1**

Title: **London Psychiatric Hospital Secondary Plan, Cultural Heritage Framework**

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3 Description and Analysis

3.1 Description of Resource

The former LPH lands contain a complex of 23 buildings and a number of landscape features. Four of the buildings were identified as having provincial and municipal heritage value, these heritage features include the Chapel of Hope (1884), Horse Stable (1894), Infirmary (1902), and Recreation Hall (ca. 1920). A number of landscape features have been identified as having provincial heritage value. These include remnants of a ring road and a circular drive, open space, remnants of an ornamental landscape containing mature plantings of black walnut trees and the tree-lined Allée extending from Dundas Street to the circular drive.

Horse Stable

The Horse Stable is a two-storey building with an intersecting gable roof clad with asphalt shingles (Photos 1 to 5, Appendix B). The roofline has a series of five ventilators along the ridges of both gable roof sections. The structure has a T-shaped plan and a local buff (white) brick exterior laid in a common bond. Its east elevation has a one-storey section with a gable roof, asphalt shingles, and a buff brick chimney (Photo 6, Appendix B). The Horse Stable has segmental arched window and door openings with buff brick voussoirs (Photo 10, Appendix B). Most of the windows have stone sills. The west elevation has a boarded-up hayloft door (Photo 13, Appendix B). The structure has a parged stone foundation.

Chapel of Hope

The Chapel of Hope is a one- and one-half storey structure with a gable roof, parapet walls, asphalt shingles, and three buff brick chimneys (Photos 18 to 21, Appendix B). The roof has a series of four trefoil dormers on its north and south sides. Its front (west) elevation is topped with a stone trefoil finial. The chapel has a local buff brick exterior laid in a common bond with brick parapets at each end. The chapel has a rectangular plan and is flanked by two small entrance wings with hipped roofs. The front elevation has a projecting entrance with central pointed arched wood entrance door. The gabled roof entrance is topped with stone capping and has stone band detailing. The entrance door has a pointed arch voussoir. The south and north elevations have seven bay side walls with buttresses, each with stone capstones. Each elevation also has a transept entrance with a gable roof. The chapel exterior has pointed arched windows and double-lancet stained-glass windows that have been boarded-up. Its east elevation has a large arched sanctuary window opening and bull's eye window. Windows have pointed voussoirs and cut lug sills. The exterior has five entrance doors each set in a pointed arched opening with buff brick voussoir.



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Infirmary

The Infirmary has a symmetrical composition with central administration block with a rear central pavilion and corridors that are attached to east and west wings (Photo 26, Appendix B). Its central administration block is a three-storey structure on a raised basement with a hipped roof with central skylight, asphalt shingles, and three buff brick chimneys. The front (south) façade of the block has a central projecting entrance topped with a wood detailed pediment, wood second floor pilasters, a large rounded arched window, and a dentilated wood cornice (Photo 27, Appendix B). The central entrance is accessed by a set of concrete steps with yellow brick walls and stone capstones. The two-storey wings each have a hip roof with asphalt shingles. The south elevation of the wings each have a projecting central bay with pediment, bull's eye window, bellcast louvred ventilators, and hipped roof dormers. The structure has a local buff brick exterior with buff brick detailing with decorative buff brick quoins. The building has a dentilated cornice. The east and west wing end each have rectangular wood sun porches. The east sun porch collapsed in June 2021 (Photo 48 to Photo 50, Appendix B). The north elevation is more simplified with projecting bays, hipped dormers, and tall chimneys. Exterior windows are mostly in flat-headed openings with flat arch buff-brick lintels and stone sills. The exterior has a few semi-circular window openings. The Infirmary has nine entrances. The structure has a rubblestone foundation topped with courses of rough faced stone.

Recreation Hall

The Recreation Hall is a one-storey structure with gallery and basement (Photos 53 to 57, Appendix B). The structure has a gable roof with slate roofing and asphalt shingles, and modern ventilators. The building has a central block with four flanking wings. It has a reddish-brown brick exterior laid in a common bond with stone detailing including a single course of rough faced stone. The front (north) façade has a symmetrical frontispiece with pediment and decorative woodwork. The frontispiece has a central bull's eye window with brick surround. The front façade has a central entrance with an overhang. The entrance is accessed by concrete stairs and a concrete ramp with metal railings. The four flanking wings each have pedimented rooflines with decorative woodwork. The exterior mostly has flat-headed window openings with brick voussoirs, except for the front façade that has two semi-oval openings and the south elevation that has a semi-circular window opening. The Recreation Hall has five entrances.

Cultural Heritage Landscape Features

The cultural heritage landscape comprises three zones; the Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone. Two former west and east driveways extend north and south between Dundas Street East and the Ring Road (Photos 66 and 67, Appendix B). These driveways include a 470 metre tree-lined Allée composed of sugar maples and walnut trees. The Ring Road is an asphalt paved circular drive with



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internal green space (Photo 72, Appendix B). It connects to the former driveways to the south, and the curved roadways west to Highbury Avenue north, and east to the Recreation Hall and Infirmary. The roadway is bordered in open grassed areas and mature trees.

The Campus Zone surrounds the Chapel of Hope, Recreation Hall, and Infirmary. The south side of the Infirmary has an open grassed lawn with mature plantings and a concrete pathway. Curved asphalt roadways connect the buildings. A roadway north of the Infirmary is tree-lined and connects to an east/west roadway that leads to the Horse Stable (Photos 79 and 80, Appendix B). This roadway has a row of mature black walnut trees. The Horse Stable Zone is an open space surrounding the Horse Stable with mature sugar maples and walnut trees.

3.2 Significance

As discussed in Section 1.3, the property is subject to two HCEA, one for the area north of the CPR line and one for the area south of the CPR line and is designated under Part IV of the OHA. The HCEAs and designating by-law are included in Appendix C, while a summary of value is included for each in the following sections.

3.3 OHT Easement

Design/Physical Value

Four buildings on the property were determined to have provincial heritage value, including the Chapel of Hope, Horse Stable, the Infirmary, and Recreation Hall. The Chapel of Hope has design value as a late 19th century Gothic Revival style structure. The Horse Stable has design value for its scale and quality of materials that display the importance of agriculture to the self-sufficiency and practice of moral therapy at LPH. The Infirmary has design value through its combination of architectural styles popular in the Victorian-era including Beaux-Arts Classicism, Edwardian Classicism and Colonial Revival. Lastly, the Recreation Hall has design value for its Classical Revival style.

Historical/Associative Value

The property represents the development of psychiatric institutions and the evolution of psychiatric treatment in the province. In the late 19th century influenced by the Victorian era and social change, large institutions were developed as a place of refuge for patients. LPH opened in 1871 and followed the Kirkbride Plan and moral therapy treatment, which involved the placement of patients in a natural environment with a significant amount of farm and parkland. LPH was established on 300 acres just outside the city limits. Religion was an important part of moral therapy and LPH is the only mental health facility in Ontario that has a standalone Chapel.



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The property has a strong association with R.M. Bucke, who is the most well-known and controversial superintendent at LPH for his encouragement and use of gynecological surgeries on women. The London Psychiatric Hospital is also associated with eight superintendents who were the chief administrators and medical directors of the London Psychiatric Hospital from 1870-1970.

Contextual Value

The London Psychiatric Hospital is deliberately set back from the main street to provide a serene and rural setting, core to moral therapy and the Kirkbride Plan. The historic main entrance to the Former Hospital Lands is off Dundas Street East where the Allée leads visitors from the street and into the complex of institutional buildings. The Former Hospital Lands were originally surrounded by a rural farming landscape. They are now bordered by three extremely busy thoroughfares (Highbury Avenue North, Oxford Street East and Dundas Street East) and the surrounding neighbourhood has evolved to become the home to several businesses and industries along Highbury Avenue North and Dundas Street East and a residential subdivision to the east.

Archaeological Value

The London Psychiatric Hospital has archaeological value due to the below ground resources associated with the evolution of mental health care. The main building, airing yard, portions of the root house represent the era in the 19th century when use of the Kirkbride Plan and self-sufficiency were the norm at these large-scale government run mental health institutions.

3.3.1 North Parcel Identified Attributes

Description of Heritage Features

The Heritage Features referred to in this Agreement are comprised of the exteriors of the Buildings on the Protected Lands which include, but are not limited to, the following highlighted elements which contribute to their heritage value:

The Horse Stable

- General massing and two intersecting gable roof sections
- “T” shaped footprint
- Local buff brick (also called white brick)
- Five roof ventilators
- Brick chimney (east elevation)
- Location of existing segmental-arched window and door openings
- Brick voussoirs and stone sills above and below window openings
- Board and batten upper access doors to hay loft (west elevation)



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Chapel of Hope

- Local buff brick construction
- Gable roof topped with a finial
- Double-lancet stained glass windows
- Large stained glass window above the altar depicting religious imagery and scenes from the London Psychiatric Hospital
- Bull's eye window with quatrefoil muntin in the gable end
- Seven bay side walls with buttresses
- Trefoil dormers
- Chimneys

The Infirmary

- Local buff brick construction
- Symmetrical composition – tall three-storey central administration block on a raised basement centre block flanked by two identical wards with rectangular wood verandahs
- Main front entrance topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and dentilated cornice
- Tall chimneys and skylights atop the hipped roof of the central block
- Dentilated cornice around the entire building
- Double-hung wood-sash windows
- Flat arched buff-brick lintels and stone sills
- Louvred ventilators atop the flanking wards
- Pediments, dormer and Bull's eye windows of the wards
- The single round-arched window of the ward's façade
- Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards
- The simplified rear (north) elevation with projecting bays, dormers and chimneys
- Sun porches at the end of each ward

Recreation Hall

- Reddish-brown brick construction
- Symmetrical façade frontispiece – a central block and two flanking wings
- Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with 6-paned window
- Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window
- Side walls with six multi-paned rectangular wood windows divided into three parts and set within a shallow rounded-arched niche
- Raised basement with multi-paned windows



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- Projecting bays on the side wall with a pediment, quoins, entrance door and six-over-six wood sash-windows
- Rear elevation features quoins and rounded-arched window in the gable

Description of Cultural Heritage Landscape Features

The provincially significant cultural heritage landscape on the Protected Lands is composed of three zones:

- **The Allée and Ring Road Zone:** This zone contains the grand tree-lined Allée that stretches from the historic entrance at Dundas Street East northward to the circular drive and ring road that connects the Infirmary, the Chapel of Hope and the Recreational Hall. With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the Hospital, which are set back from the main entrance off Dundas Street East.
- **The Campus Zone:** This zone contains three (3) buildings associated with the London Psychiatric Hospital of provincially significant heritage value, the Infirmary, the Chapel of Hope and the Recreational Hall, as well as associated open spaces, landscape and plantings. These elements are located within a ring road at the end of a long Allée stretching south to Dundas Street.
- **The Horse Stable Zone:** This zone is comprised of open space, mature trees and unobstructed views of all sides of the horse stable.

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone include, but are not limited to, the following highlighted elements:

- The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive
- Circular drive with internal green space and east/west access to the ring road
- Remnants of the ring road
- Mature trees that border the ring road on both sides

The Cultural Heritage Landscape Features of the Campus Zone

The Cultural Heritage Landscape Features of the Campus Zone include, but are not limited to, the following highlighted elements:

- The location of the provincially significant buildings: Chapel of Hope, Infirmary and Recreation Hall within the landscape
- Their deliberate setback from Dundas Street East to provide a serene and rural setting



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- Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable
- North/south tree-lined roadways framing a view of the north (rear) elevation of the Infirmary
- The open space of the lawn with mature plantings directly south of the Infirmary

The Cultural Heritage Landscape Features of the Horse Stable Zone

The Cultural Heritage Landscape Features of the Horse Stable Zone include, but are not limited to, the following highlighted elements:

- Mature trees including sugar maples and walnuts
- Surrounding open space providing unobstructed views of all four elevations of the Horse Stable

3.3.2 South Parcel Identified Attributes

Description of Cultural Heritage Landscape Features

The Cultural Heritage Landscape Features of the Property referred to in this Agreement include, but are not limited to, the following highlighted elements of the Property which contribute to its Provincial heritage value:

The Allée:

- Rows of mature trees including sugar maples and walnuts
- Open space between the rows of trees allowing for views of the main campus
- Views of the historic main campus framed by the Allée
- Dual laneways located in the centre of the Allée running parallel to the rows of trees

3.4 Designating By-law

3.4.1 Reasons for Designation – London Psychiatric Hospital (850 Highbury Avenue)

Historical Reasons

The property is directly associated with the development of a psychiatric institution that was significant to the history of the City of London. After Confederation in 1867, politicians decided to build an asylum two miles outside the London city limits. The Asylum was modeled on Thomas Kirkbride's landmark Pennsylvania Asylum. The London Asylum for the Insane opened at the present site November 18, 1870 on 300 acres of farmland.



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The property is directly associated with Dr. Richard Maurice Bucke, the second superintendent of the London Asylum for the Insane (1877 to 1902). Bucke provided improved farm facilities and he created grounds, in keeping with his theory that beautiful surroundings were conducive to mental health and provided many social occasions. He also reduced the use of alcohol and mechanical constraints as means of controlling patients. His innovative ideas are reflected in the buildings and grounds of the London Psychiatric Hospital.

Architectural Reasons

The property has design value as an early example of a psychiatric institution in the City of London represented through its Infirmary Building, Recreation Hall, Chapel, and Horse Stable. The Tree-lined Avenue (entrance off Dundas Street) also has design value as it forms a magnificent vista north from Dundas Street to where the original hospital building stood and is still on axis with the 1902 Infirmary building further back.



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4 Assessment

4.1 Condition of Resource

The conditions assessment is focused on the heritage and CHL features listed in the north and south HCEA (Section 3.3). The most recent condition assessment was the *Baseline Documentation Report* (BDR) prepared in 2021 by Steven Burgess Architects Ltd. (Kelly Gilbride, Cultural Heritage Architect) and Wendy Shearer (Cultural Heritage Landscape Architect). The site assessment for the BDR occurred in October 2020. The report is included in Appendix D. Given that the windows and doors of the Horse Stable, Chapel of Hope, Infirmary, and Recreation Hall were boarded up or infilled during mothballing the interior was not accessible during the time of the BDR site assessment. The interior condition is based on previous reports including the 2012 *Building Envelope Condition Assessment*, 2012 *Adaptive Reuse Study*, and the 2008 *Conservation Plan*. Table 4.1 provides an overview of the previous condition assessments that were reviewed for this SCP.

Table 4.1: Previous Site Condition Assessments

Date of Report	Title	Author	Based on Previous Reports	Limits or Omissions
2021	<i>London Psychiatric Hospital, Chapel of Hope, Stables, Infirmary and Recreation Centre, Baseline Documentation Report</i>	Steven Burgess Architects Ltd. <i>et al.</i>	N/A	Comprehensive report, except for no interior assessment as the buildings were mothballed.
2021	<i>Tree Assessment Report Preliminary Findings</i>	Ron Koudys Landscape Architects Inc.	N/A	Comprehensive tree inventory, no limits or omissions identified.

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Date of Report	Title	Author	Based on Previous Reports	Limits or Omissions
2021	<i>LPH Lands, London, Ontario, Scoped OHT Tree Assessment</i>	Ron Koudys Landscape Architects Inc.	<i>Tree Assessment Report Preliminary Findings</i> (Ron Koudys Landscape Architects Inc. 2021a)	None identified.
2012	<i>Building Envelope Condition Assessment</i>	IRC Building Sciences Group Inc. (IRC)	N/A	No physical or destructive testing and no design calculations performed.
2012	<i>Adaptive Reuse Study, London Psychiatric Hospital Property, 850 Highbury Avenue North, City of London, Ontario</i>	Golder Associates Ltd. in collaboration with IBI Group Architects and Ecoplans	(Julian Smith & Associates Architects <i>et al.</i> 2008)	Comprehensive study, no limits or omissions identified.
2008	<i>Conservation Plan, London Psychiatric Hospital London, Ontario</i>	Julian Smith & Associates Architects <i>et al.</i>	N/A	Comprehensive study, no limits or omissions identified.

The current conditions of the Horse Stable, Chapel of Hope, Infirmary, Recreation Hall, and CHL features are summarized in the tables in Appendix E and a collection of photographs of each attribute is provided in Appendix B. The descriptions provided include observations made during the site visit and information contained in reports listed above and in Section 8. The condition of each element is described as poor, fair, or good, and for the purposes of this report are defined as:

- **Poor** – Requires attention. Based on visual assessment, the component shows signs of wear, damage, or deterioration. Trees that have severe or large defects.
- **Fair** – Requires ongoing maintenance, repair, and/or applicable studies, as identified and recommended through the visual assessment as part of this SCP. Component



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in fair condition may show some indication of wear, damage, or deterioration. Trees that have numerous or significant defects that are moderate in size.

- **Good** – No action required beyond continued maintenance and monitoring. Component in good condition show minimal signs of wear, damage or deterioration. Trees have minor defects.

The Horse Stable, Chapel of Hope, Infirmary, and Recreation Hall have been mothballed and are currently vacant. The exterior of the Horse Stable is generally in fair to good condition (Table 1, Appendix E). The structure has been updated with new roofing and ventilators, and its exterior buff brick walls have areas of replacement and re-pointing. The Chapel of Hope is generally in fair condition (Table 2, Appendix E). The structure requires new roofing and has exterior stains and vegetative overgrowth. The Chapel of Hope was subject to a fire in 2021, which resulted in minor damage to the roof, and destroyed the large stained glass window above the altar. The Infirmary is generally in poor to fair condition (Table 3, Appendix E). This is due to extensive water damage from the poor roof condition prior to its replacement in 2010. The building is now in stable condition, although similar to the Chapel of Hope has extensive vegetative overgrowth. The Recreation Hall is generally in fair condition (Table 4, Appendix E). The building requires a new roof, and its exterior has minor brick spalling and missing mortar.

The trees on the property are a living resource that change seasonally, and each will grow differently based on species type, disease, soil fertility, and exposure to inclement weather. In general, the trees on the property are in fair to good condition (Table 5, Appendix E). The driveways and open spaces are generally in good condition.

4.2 Issues

At present, the site is closed to the public and buildings are secured by boarded up entrances and windows and security fencing around the Infirmary and Chapel of Hope. Solutions Security provides security services on-site. Old Oak also has a staff in charge of monitoring the mothballed structures. While the site is closed to the public, people still access the site to walk or cycle. Vandalism has occurred in the past on the property, such as spray painting and broken windows and doors, but since the heritage buildings have been mothballed vandalism has significantly dropped. There have been instances where evidence suggests people have entered a building to either explore, seek refuge, or strip copper materials, but not to exclusively vandalize a building. Damage in these instances has been typically limited to the doorway where wooden boards have been ripped off. There have been no deliberate arson attempts. In 2021, a trespasser broke into the Chapel of Hope and started a fire for warmth. This resulted in smoke damage on the interior of the chapel. During the development of the site, and construction activities, the removal of non-heritage buildings will provide for better visibility of the heritage features from Highbury Avenue North, reducing the risk of vandalism and



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access into the heritage features. Solutions Security will continue to monitor the property and additional security measures will be taken in the future management of the site (See Section 5.2.3).

The heritage and CHL features are in varying conditions (see Section 4.1) and will require repair and restoration to be suitable for adaptive reuse. This may incur substantial financial and capital costs, but these costs will ideally be offset by development of the surrounding areas of the property outside the lands within the HCEA or grants/donations secured for adaptive reuse of the heritage buildings. Adaptive reuse is crucial to the long-term conservation and viability of the heritage buildings at the site. Permitted use needs to be in line with the principles of the LPHSP (see Section 2.2.3) and meet the intent of the conservation goals and objectives of this SCP (see Section 5.1). The timing of the adaptive reuse and the development of Legacy Village is a key issue, as the heritage and CHL features will need to be stabilized and protected throughout demolition and construction activities. As Legacy Village is developed and constructed, the heritage and CHL features will need to be recognized and protected through appropriate mitigation measures identified in HIAs.

Another key issue is the preservation of the trees on the property that form part of the CHL features. Unlike buildings, which can continue to be restored or rehabilitated through repairs, replacement, and maintenance, trees are living entities and have an ultimate lifespan. They can also be susceptible to disease or damage from weather events that cannot be repaired in the manner of a building. Therefore, trees at the site will require special considerations when decisions need to be made regarding their removal and replacement through tree protection plans, or arborist reports as later discussed in Table 5.1 and Section 6.1.



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5 Management

5.1 Approach, Goals and Objectives

As identified in Section 1, the overall aim of the SCP is to provide guidance on conservation of the features of the property that are subject to the HCEA between Old Oak and the OHT and the attributes of the property that are designated under Part IV of the OHA. The strategies of the SCP may also be used to inform the rezoning of the property, as amended zoning should be reflective of the SCP strategies and implementation recommendations. The following conservation approach, goals and objectives were developed based on heritage best practices, Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010), and MTCS *Eight Guiding Principles in the Conservation of Built Heritage Properties* (MTCS 2007). The Standards and Guidelines and MTCS Principles are in Appendix F.

The preferred conservation approaches for the heritage and CHL features are preservation and rehabilitation. Preservation involves protecting, maintaining, and stabilizing the existing form, material, and integrity of a built or CHL feature (Parks Canada 2010: 16). Rehabilitation involves the sensitive adaptation of the features for a contemporary use while protecting their identified heritage value (Parks Canada 2010: 16).

The following are identified as the overall conservation goals for the LPH:

- Conserve heritage buildings and heritage attributes of the site in a manner that is appropriate to the site's heritage values through retention *in situ*
- Engage in conservation activities that facilitate ongoing evolution of the site and are realistic over the longer term
- Demonstrate heritage values in a way that is meaningful to stakeholders and the broader public
- Develop the site in a manner that facilitates conservation and adaptive reuse of the heritage values of the site and allows for a range of other land uses and built forms as outlined in the LPHSP

The following objectives have been identified to achieve the above-stated goals:

- Maintain the use of heritage buildings at the site
- Maintain the defined features of the cultural heritage landscape
- Identify conservation treatments suitable to the selected use
- Apply conservation strategies within identified timelines
- Document conservation activities to record changes over time



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- Establish a framework for reviewing and assessing impacts within and outside the HCEA area
- Conserve the heritage value and character-defining elements when creating any new additions to a historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

5.2 Conservation Strategies

5.2.1 Interim Protection Measures

As outlined in Section 4.1, many heritage attributes of the former LPH site are in good condition, having been properly mothballed by IO following the completion of the 2012 *Adaptive Reuse Study* and its mothballing recommendations. Old Oak purchased the property with the buildings in a mothballed state. In the past ten years, some elements have begun to fall into fair or poor condition based on the vacant state of the buildings and exposure to the elements. Given the changes in condition to these structures in their mothballed state, the adaptive reuse of these structures (see Section 5.2.2.2), needs to be identified and addressed within a two to five year period to conserve the heritage features. In the meantime, interim protection measures should be undertaken while development plans are being finalized. Specific interim protection measures for heritage features are included in Table 5.1. These measures may require OHT approval prior to taking action, specifically related to masonry and roof repairs, stained glass window replacements, and repainting (unless colour is to match existing).

5.2.2 Use

As described in Section 1.5, the proposed undertaking involves the use of the site transitioning into a residential and mixed-use development. Development of the site has been anticipated since the closure of the LPH, and guidance for development has been provided in the LPHSP (see Section 2.2.3), with policies for land use, transportation, urban design, heritage, and archaeology. It is recommended that development of the lands outside of the HCEA be consistent with the policies of the LPHSP or with zoning amendments approved by City staff. This includes (but is not limited to) retaining the heritage and CHL features of the HCEA and designating by-law, incorporating existing circulation routes on the site into transportation networks, and placing higher density development to the edges of the site to provide a suitable setting for the buildings and landscape of the HCEA. To facilitate the new development, the following sections



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provide an overview for the demolition of non-heritage features and the adaptive reuse of heritage features.

5.2.2.1 Demolition of Non-Heritage Buildings

The site contains several mid-20th century buildings added to the site to support the LPH function. These buildings have been identified not to have CHVI and are intended to be removed to facilitate redevelopment of the lands. These buildings are located outside of the HCEA area but are still located within the lands subject to the City's designating by-law. As such, their removals will require the approval of an Application for a Permit to Construct or Demolish by Heritage Planning Staff and Council. The removals will be phased over 2022 and 2023. Each phase of removals will require a separate Application for a Permit to Construct or Demolish.

5.2.2.2 Adaptive Reuse of HCEA Lands and Buildings

The extant buildings and lands will be converted to new uses in the future, as they have been vacated and will not be reinstated as mental health treatment related facilities. The primary consideration for any adaptive reuse not currently outlined in the LPHSP is one that avoids alteration or destruction of the heritage attributes of the buildings or CHL. Adaptive reuse plans that maintain heritage attributes and allow opportunities for repair or restoration of heritage attributes are preferred.

Adaptive reuse proposals should adhere to the following terms to provide for optimal long-term conservation of the heritage and CHL features:

- Preserve the cultural heritage value and heritage attributes of the existing structures, in line with the standards for Rehabilitation from the Standards and Guidelines (see Section 5.1)
- Preserve the CHL features and landscaped setting of the HCEA
- Avoid structural changes to buildings that would adversely affect the heritage attributes of the resources

Additionally, it is important that adaptive reuse proposals conform or be compatible with the surrounding land uses in the LPHSP and be economically viable to support the long-term adaptive reuse of the site and retain its heritage attributes.

5.2.2.3 Parking

Adaptive reuse of the buildings within the HCEA will likely require the addition of parking areas near the buildings in the future to support the new uses. Where possible, the majority of new parking area should be located towards the side or rear of the heritage buildings, with smaller areas for accessible and visitor parking located towards the front facades. Parking areas should include landscaped buffers and islands to break up their



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massing and integrate them into the landscaped setting of the HCEA. The addition of new parking areas should avoid the damage or removal of mature and significant vegetation. It is anticipated that HIAs for surface parking areas will be completed as part of the HIAs for broader adaptive reuse plans for the heritage buildings.

Within the HCEA, surface parking may be preferred over parking structures, unless above ground parking structures can be sited in locations that are on the periphery of the lands and do not obstruct significant views within the HCEA. If parking structures are to be considered, they will be subject to an HIA as part of the development/alteration that they support and must be designed in a manner that is sympathetic, subordinate and compatible with the heritage character of the surroundings.

5.2.2.4 Accessory Buildings

Various accessory buildings would historically have supported the operation of the site as a mental health facility, however, these have been removed or replaced through the evolution of the site. It is possible that new accessory buildings may be required in the future to support adaptive reuse within the HCEA. Accessory buildings will be subject to an HIA but should generally follow and/or respect the conservation strategies related to adjacent heritage attribute(s). In general, accessory buildings should be: sited so that they do not obstruct significant views and, where possible, located towards the perimeter of the HCEA; limited to a single storey in height; and subordinate and compatible to the adjacent heritage resources.

5.2.2.5 Accessibility

Future changes to the heritage buildings to improve accessibility should be treated similarly to alterations, prioritizing the retention and conservation of heritage attributes while balancing the need for change. If heritage attributes are to be impacted during the course of accessibility improvements, a HAP is required and should be supplemented by an HIA prepared by a qualified heritage professional. Any accessibility work will need to be carefully planned and undertaken so that impact on heritage and CHL features is minimized. The objective is to provide the highest level of access with the lowest level of impact. The following general conservation treatments based on the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010) should be applied when considering accessibility improvements to the LPH:

- Document the existing structure, interior and exterior, with photos and/or measured drawings or digital renderings prior to conducting alterations for accessibility.
- Comply with accessibility requirements in a manner that conserves, where possible, doors that are heritage attributes including their decorative and operating hardware by using an automatic door opener.



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- Respect the location of existing entrances, stairs, and porches when providing new accessibility-related features.
- Design new ramp or entrance/egress features so that they are subordinate to, distinguishable from, and complement the heritage character of the building, and compatible with the symmetry of the building design. For example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of a heritage feature.
- Collaborate with accessibility and conservation specialists and users to identify appropriate solutions to accessibility issues that require minimal intervention and impact to heritage attributes.
- Consider using existing elevators within the building, if feasible.

5.2.2.6 Energy Efficiency and Energy Saving Practices

Should adaptive reuse proposals consider incorporating energy-efficiency technologies and energy-saving practices, the owner will obtain advice from qualified persons on compliance alternatives or reasonable variances that implement energy-efficiency technologies in ways that do not adversely affect the cultural heritage value of the property. Decisions on energy saving measures should be based on the total environmental cost of proposed changes compared to the total environmental cost of retaining existing features.

5.2.2.7 Land Severances and Adjacency Policies

At present, the property is a single lot parcel, bisected by the CPR Line. As development occurs, additional lots and blocks will be created. This will establish different triggers for heritage requirements based on a new parcel or lot's adjacency to the portions that form the HCEA and the City's designating by-law, as the legal descriptions will need to change to reflect the lot and parcel changes. It is not anticipated that Part IV designation should remain applicable on parcels to be severed for development that do not contain heritage attributes, but that designation should be reflective of the areas that contain heritage attributes, much like the HCEA. In the future this means that properties that are no longer immediately adjacent, that are separated from the HCEA parcel by at least one lot, will not require HIAs for subsequent development. Adjacent development requires a compatible heritage approach to conserve the CHVI of the designated property.



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At present, the lands subject to the HCEA are owned by Old Oak. Should property ownership change in the future, protection provided by the HCEA and the designating by-law will remain on title with the property. Any future owners will be required to abide by the terms of the HCEA and the designating by-law. It is preferable that the lands subject to the HCEA remain a single parcel in order to conserve the CHVI of the property as a CHL. If at any time in the future severances are proposed for the lands subject to the HCEA to consider multiple ownership, the OHT should be contacted. At the direction of the OHT agreements should be prepared to carry the easement onto the severed property in a manner that conserves the attributes and CHVI of the site. Any proposed subdivision as per Section 4.6 of the HCEA for the property requires approval from OHT. Under Section 6.0 of the HCEA, the Owner shall, at its expense, provide to the OHT such information in detail as the OHT may reasonably require in order to consider and assess the Owner's request including without limitation the following:

- Plans, specifications describing the elevations, other drawings, sections and designs for any proposed work
- Materials samples
- A work schedule
- The report of a qualified conservation engineer, architect, landscape architect, archaeologist, conservator, or consultant
- Such other reports, studies or tests as may in the circumstances be reasonably required for the OHT to appropriately assess the impact of the proposed work on the heritage features

5.2.3 Maintenance and Monitoring

Routine maintenance is an important part of conserving the CHVI of the property, whether in its current mothballed state or once development and adaptive reuse has occurred. It is recommended that mid-year maintenance in the spring and fall occur as applicable. A mid-year and annual maintenance and monitoring log is included in Appendix G. These activities should include, where applicable:

- Site cleanup; pruning and trimming of vegetation at the foundation to deter plants from rooting into the foundations
- Remove invasive vegetation at foundations
- Gutter and downspout check to direct water away from buildings
- Check crawlspace/basements/attics for pests
- Clean out storm drains
- Touch up peeling exterior paint
- Monitor for any vandalism



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Additional maintenance activities that should be conducted annually include:

- A review of maintenance contracts for equipment/utilities (if applicable)
- Checking the roofs of building for loose or missing shingles
- Termite and pest inspection/treatment
- Exterior material spot repair

During their mothballed state, monthly monitoring of the buildings is encouraged. Monitoring provides a known presence on the site that can help deter break-ins and vandalism. Monitoring can also provide a review of the building's components to note if there are major sources of water or moisture, particularly following repairs, roofing and stabilization, mold or other sources of damages and deterioration. Issues noted during monitoring should be communicated to site managers who oversee the appropriate security and maintenance departments. Major issues that involve damage or destruction to heritage attributes should be communicated to the OHT and a plan to address the issue should be formulated based on the nature of the damage and the appropriate conservation treatment identified in this SCP.

Regarding security monitoring during the development of the site, Solutions Security will have all-hours access to the site and monitoring capabilities with cameras. Floodlights and motion-detection cameras will be installed adjacent to heritage features prior to construction activities. Solutions Security will have the ability to talk directly through the cameras to warn trespassers as an interim measure, while authorities are dispatched to the site.

Trees with a minimum diameter at breast height of 30 centimeters and significant hedges should be inspected every 3 years by an International Society of Arboriculture (ISA) certified arborist. The arborist should use the 2021 *Tree Assessment Report Preliminary Findings and LPH Lands, London, Ontario, Scoped OHT Tree Assessment* prepared by Ron Koudys Landscape Architects Inc. as baseline documents, and ongoing reviews should be compared to all previous reviews for consistency in data collection and to assist in identifying trends. Arborist deliverables should include the following:

- Tree diameter at breast height, canopy health assessment, structural form assessment, and structural integrity assessment for each individual tree
- Observations of visible indicators of pests and disease
- Observations of any changes to the landscape or surrounding landscape that may affect trees
- Observations regarding invasive tree species
- Prescriptions for pruning, removal, pest management, and invasive species management based on above observations. These prescriptions are to be carried out by an experienced ISA certified arborist.



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5.2.4 Commemoration

Previous reports prepared for the site included recommendations related to commemoration of the site's history and how commemoration might be integrated into adaptive reuse of the site.

The 2008 *Conservation Plan*, prepared by Julian Smith & Associates Architects *et al.*, included an overall vision for the site, one that promotes a major redevelopment plan while retaining enough public control to tell the story of LPH within the history of mental health treatment in Canada and internationally (Julian Smith & Associates Architects *et al.* 2008: 34). The report recommended a small interpretative centre to tell the story of the LPH alongside a more general story of mental health care in Canadian history. The report noted the administrative wing within the Infirmary as a possible location for an interpretive centre (Julian Smith & Associates Architects *et al.* 2008: 36). The Conservation Plan recognized that the power and history of the site cannot be communicated just through a series of plaques or display panels. A connection needs to remain through the historical information, the buildings, landscapes, pathways, and views (Julian Smith & Associates Architects *et al.* 2008: 36).

The 2012 *Adaptive Reuse Study* prepared by Golder Associates Ltd. *et al.* noted that the Chapel of Hope could be used for an interpretative centre. In comparison to the Conservation Plan, the Adaptive Reuse Study acknowledges the Chapel of Hope to be a more suitable location for the centre, given the small useable footage in the Infirmary and its redevelopment potential (Golder Associates Ltd. *et al.* 2012: v).

The 2016 LPHSP, prepared by the City of London, identified the Infirmary as a potential location for an interpretative centre (City of London 2016: 34). The plan also noted that the therapeutic landscape setting and its physical and visual relationships to the historic buildings shall be conserved and monitored to allow for meaningful interpretation of the cultural heritage resources (City of London 2016: 35). The following measures were included in the plan and shall be taken to facilitate interpretation of the site:

- *The establishment of an interpretative centre to tell the story of the site and of mental health care in Canada. A possible location for such a use is the administrative wing of the Infirmary building;*
- *The creation of an interpretative walk, which would tell the story of the site and explain the function of the therapeutic landscape as people move through it;*
- *A prominent street within the property should be named after Dr. Richard Bucke (superintendent, 1877-1902), if possible;*



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- *Interpretative signage, public art, way finding strategies and other techniques may be considered*

(City of London 2016: 35)

It is recommended that a commemoration plan be prepared for the property as part of determining adaptive reuse plans for buildings and lands within the HCEA. This plan should be based on the existing recommendations for site interpretation and the development of new partnerships with tenants or owners that will adaptively reuse the site buildings, with local institutions, and with community groups. The goal of the commemoration plan should be to balance interpretation and commemoration of the site with the details of adaptive reuse. It is not anticipated that the site will become a formal museum.

The commemorative and interpretive mechanisms will need to be located in parts of the site that allow for public access while also still retaining a relationship to the buildings and landscape features of the site. This may include an interior interpretive centre in one of the existing buildings, incorporating commemorative and interpretive materials into landscaped and open space areas within the HCEA, conducting annual events to showcase the history and physical features of the site through educational opportunities, theatrical events, or lectures, or partnering with existing events such as Doors Open or Geranium Walks. It is important that commemoration and interpretation be undertaken in a manner that reflects not just the positive aspects of the site's history, but the challenging and negative aspects as well. This may mean reflecting on street naming recommendations in previous reports and whether the recommended names would be appropriate street names, or if other means of interpretation would be beneficial to tell a more balanced narrative.

It is recommended that the commemoration include the following details:

- Determination of location(s) for an interpretive centre and or interpretive materials
- Plaque/panel/exhibition design including text and images to be used
- Development of a healing garden and/or community garden
- Commemorative tree plantings
- Digital technology (phone application or QR codes)
- Future community events

Archival documents and photographs once housed on the site are now in the collections of Western University Archives and Special Collections and Archives of Ontario. Artifacts from the site are now in the Museum London Collection. It is recommended that the creation of interpretive material on the property be developed in consultation with Western University Archives and Special Collections, Archives of Ontario, and Museum London. Through relocating some artifacts back to the site and using old



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photographs and archival documents in interpretative panels, the property and its buildings history can be reconnected and shared for future generations.

A digital exhibit was created for the property in 2009 by Public History students from Western University. *The Restoring Perspective: Life and Treatment at the London Asylum* exhibit was based on archival documents and artifacts from the site through the collaboration with St. Joseph's Regional Mental Health Care London and Museum London. This digital exhibit is still available online through the Western University library website (Restoring Perspective 2009). It is recommended that a connection be developed between the interpretative material for the property and the existing digital exhibit. The Public History graduate program at Western University would be a useful contact to continue to assist with interpretation on the property.

5.2.5 Summary of Conservation Approach and Strategies

The intent of the conservation strategies is to assist Old Oak and future property owners in developing the site in a manner that complies with the legislative framework and applicable policies, and to provide direction on conserving the heritage attributes of the site for the short, medium, and long term.

Table 5.1 provides specific direction from the developed conservation strategies for heritage and CHL features of the site.

Table 5.2 provides guidance on views identified in the LPHSP. These views are not all recognized in the HCEA or designating by-law as heritage attributes, and therefore not subject to the layers of legislated heritage protection of the site. Notwithstanding, they warrant consideration as part of the broader site context.



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Table 5.1: Conservation Treatment and Strategies for Heritage and CHL Features

Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
Horse Stable				
Exterior Form	All elevations	General massing and two intersecting gable roof sections	<ul style="list-style-type: none"> Retain the general massing of the building and the intersecting gable roof sections that are original to the structure 	<p>Immediate Work</p> <ul style="list-style-type: none"> Interim protection measures: <ul style="list-style-type: none"> Monitor and replace lifting shingles as necessary to prevent water access to the building Interim protection measure: Retain a specialist in historic masonry to address brick damage and apply treatments (e.g., missing mortar, replacement bricks with appropriate sympathetic or matching brick) where necessary to prevent continued damage Maintenance and monitoring: <ul style="list-style-type: none"> Monthly monitoring of building Mid-year site clean up around building, gutter and downspout check, and interior check for pests Annual check for termite and pest inspection/treatment, exterior material spot repair, and check of roof shingles <p>Future Site Planning</p> <ul style="list-style-type: none"> Adaptive reuse with if applicable, parking, accessory building(s), accessibility, energy efficiency and energy saving practices, and land severance Commemoration
		T-shaped footprint	<ul style="list-style-type: none"> Retain, repair, and replace attributes in-kind that contribute to the design, symmetry, and balanced proportions of the building Avoid additions or interventions that would alter the symmetry, balanced proportions or character of the stable Only allow additions that are subordinate to and distinguishable from the original 	
Roof	All elevations	Two intersecting gable roof sections	<ul style="list-style-type: none"> Retain the intersecting gable roof sections that are original to the structure Replace asphalt shingles with like shingles or sympathetic alternative when replacement is required 	
		Five roof ventilators	<ul style="list-style-type: none"> Retain, repair, and replace in-kind or with sympathetic alternatives If future replacements are required, they should be compatible with the form, scale, and character of the existing chimneys 	
	East elevation	Brick chimney	<ul style="list-style-type: none"> Retain, repair, and replace with sympathetic alternatives If future replacements are required, they should be compatible with the form, scale, and character of the existing chimneys 	
Exterior Walls	All elevations	Local buff brick (also called white brick)	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	
		Location of existing segmental-arched window and door openings	<ul style="list-style-type: none"> Retain the shape, placement, and distribution of windows and entrances Reinstate bricked in windows within the original shape and location if suitable with adaptive reuse plans Alterations to the door and window openings that are not minor repairs or in-kind replacements require an HIA 	



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
			<ul style="list-style-type: none"> Alterations that are not routine maintenance, repairs, or replacement in-kind require an HIA 	
		Brick voussoirs and stone sills above and below window openings	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced 	
Doors	West elevation	Board and batten upper access doors to hayloft	<ul style="list-style-type: none"> Cladding can be maintained as is, or replaced with a suitable sympathetic alternative Replacement with a window of appropriate sympathetic style to the building is also appropriate, if compatible with adaptive reuse plans 	
Chapel of Hope				
Roof	All elevations	Gable roof topped with a finial	<ul style="list-style-type: none"> Retain the gable roof form Retain, repair, and replace finial in-kind, where feasible. If this is not feasible, sympathetic alternatives may be considered 	Immediate Work <ul style="list-style-type: none"> Interim protection measures: <ul style="list-style-type: none"> Repair fire damage, including hole in roof and apply appropriate roof boarding and shingles to prevent access of water, pests, or trespassers to the building Replace the large stained glass window (Old Oak intends to have a replica of the original window created by Sunrise Stained Glass Inc.) Sand and repaint peeling paint at the exposed portions of the dormers Repair chimneys with mortar repointing and brick replacement with appropriate sympathetic or matching brick as necessary Remove ivy growth from exterior walls Repair brick courses and mortar above foundation line Maintenance and monitoring: <ul style="list-style-type: none"> Monthly monitoring of building Mid-year site clean up around building, removal of any invasive vegetation at foundation, gutter and downspout inspection and check interior for pests Annual check of roof shingles, termite and pest inspection/treatment, and exterior material spot repair
	North and south elevations	Trefoil dormers	<ul style="list-style-type: none"> Retain, repair, and replace dormers and trefoil windows in-kind, where feasible. If this is not feasible, sympathetic alternatives may be considered Repair windows by using a minimal intervention approach. Such repairs might include the limited replacement in-kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence Replace in-kind of irreparable windows based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, then compatible substitute materials or details may be considered Retain the shape, placement, and distribution of windows and dormers Alterations to the dormers and windows that are not minor repairs or in-kind replacements require an HIA 	
	West and east elevations	Chimneys	<ul style="list-style-type: none"> Retain, repair, and replace with sympathetic alternatives If future replacements are required, they should be compatible with the form, scale, and character of the existing chimneys 	



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
Exterior Walls	All elevations	Local buff brick construction	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced Alterations that are not routine maintenance, repairs, or replacement in-kind require an HIA 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Adaptive reuse with if applicable, parking, accessory building(s), accessibility, energy efficiency and energy saving practices, and land severance Commemoration
	North and south elevations	Seven bay side walls with buttresses		
Windows	North and south elevations	Double-lancet stained glass windows	<ul style="list-style-type: none"> Retain, repair, and replace in-kind, where feasible. If this is not feasible, sympathetic alternatives may be considered Repair windows by using a minimal intervention approach. Such repairs might include the limited replacement in-kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence Replace in-kind irreparable windows based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, then compatible substitute materials or details may be considered Retain the shape, placement, and distribution of windows Alterations to the windows that are not minor repairs or in-kind replacements require an HIA 	
		East elevation	Large stained glass window above the alter depicting religious imagery and scenes from the London Psychiatric Hospital	
	West elevation	Bull's eye window with quatrefoil muntin in the gable end	<ul style="list-style-type: none"> Retain, repair, and replace in-kind, where feasible. If this is not feasible, sympathetic alternatives may be considered Repair window by using a minimal intervention approach. Such repairs might include the limited replacement in-kind, or replacement with an appropriate substitute material, of 	



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
			irreparable or missing elements, based on documentary or physical evidence <ul style="list-style-type: none"> • Replace in-kind based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, then compatible substitute materials or details may be considered • Retain the shape, placement, and size of window • Alterations to the main entrance and windows that are not minor repairs or in-kind replacements require an HIA 	
Infirmary				
Exterior Form	All elevations	Symmetrical composition – tall three-storey central administration block on a raised basement centre block flanked by two identical wards with rectangular wood verandahs (porches)	<ul style="list-style-type: none"> • Retain the symmetrical composition of the building • If additions are to be made to the structure to facilitate adaptive reuse, symmetry of form shall be maintained • Alterations or additions that do not retain a symmetrical arrangement of the site require an HIA 	Immediate Work <ul style="list-style-type: none"> • Interim protection measures: <ul style="list-style-type: none"> – Stabilize the east elevation that has partially collapsed – Repair entrances made by trespassers and secure building – Confirm that all downspouts and pipes have attachments and drain away from the building – Repoint mortar on chimneys, replace spalled bricks where necessary with appropriate matching or sympathetic brick – Replace or secure lifting shingles on dormers and paint exposed wood trim – Address deteriorating masonry units and mortar joints on brick walls and foundation – Remove ivy growth – Repaint dentilated cornice – Secure front entrance pediment and cover to avoid further damage; restoration should occur during adaptive reuse • Maintenance and monitoring: <ul style="list-style-type: none"> – Monthly monitoring of building – Mid-year site clean up around building, removal of any invasive vegetation at foundations, gutter and downspout checks, and check interior for pests
		The simplified rear (north elevation) with projecting bays, dormers and chimneys	<ul style="list-style-type: none"> • The projecting bays, dormers, and chimneys of the addition should be retained, where possible • Choose the rear elevation for additions, provided that they are sympathetic, subordinate, and distinguishable from the original building 	
Roof	Central Administration Block, Central Pavilion and Corridors, East and West Wing	Tall chimneys and skylights atop the hipped roof of the central block	<ul style="list-style-type: none"> • Retain, repair, and replace with sympathetic alternatives • If future replacements are required, they should be compatible with the form, scale, and character of the existing feature 	
	West and East Wings	Louvred ventilators atop the flanking wards		
	All elevations	Dormers		
Exterior Walls	All elevations	Local buff brick construction	<ul style="list-style-type: none"> • Retain, repair, and replace in-kind • If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced • Alterations that are not routine maintenance, repairs, or replacement in-kind require an HIA 	
		Dentilated cornice around the entire building		
		Flat arch buff-brick lintels and stone sills		



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
		Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards		<ul style="list-style-type: none"> – Annual check of roof shingles (visual inspection from ground), termite and pest inspection/treatment, and exterior material spot repair
	South elevation (main entrance)	Main front entrance topped with a pediment supported by pilasters and dentilated cornice	<ul style="list-style-type: none"> • Retain, repair, and replace in-kind • If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced • If replacement doors are required for accessibility or adaptive reuse considerations, they should be compatible with the character of the building and not adversely affect the pediment surround • Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	<p>Future Site Planning</p> <ul style="list-style-type: none"> • Adaptive reuse with if applicable, parking, accessory building(s), accessibility, energy efficiency and energy saving practices, and land severance • Commemoration
Windows	All elevations	Double-hung wood-sash windows	<ul style="list-style-type: none"> • Retain and repair as needed • Repair windows by using a minimal intervention approach. Such repairs might include the limited replacement in-kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence • Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	
		Bull’s eye windows of the wards		
	South elevation (main entrance)	Large rounded arched window and two smaller rounded-arched windows		
		The single rounded-arched window	<ul style="list-style-type: none"> • A qualified structural engineer or architect should be consulted to assess the damage to the partially collapsed sun porch and determine whether repair is possible or full replacement is needed • Repair and replacement may be postponed to coincide with adaptive reuse of the building, but in the interim the building must be stabilized and secured to prevent further damage to the structure • Repair or replacement should be conducted with salvaged and/or in-kind materials where feasible • Repair or replacement should be based on documentary or physical evidence, where available • If documentary or physical evidence is not available, a sympathetic new design should be prepared in consultation with historical experts, the OHT, and the City 	
Porches	West and east elevations	Sun porches at the end of each ward		



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
Recreation Hall				
Exterior Form	North elevation	Symmetrical façade frontispiece – a central block and two flanking wings	<ul style="list-style-type: none"> Retain the symmetrical composition of the building Additions should be directed towards the rear elevation of the building to avoid disrupting the symmetry of the façade and flanking wings Any additions should be sympathetic, subordinate to and distinguishable from the original building Alterations or additions that do not retain a symmetrical arrangement of the site require an HIA 	<p>Immediate Work</p> <ul style="list-style-type: none"> Interim protection measures: <ul style="list-style-type: none"> Repaint exposed woodwork to protect from weathering Replace roof shingles to prevent water access to the building Repoint and repair localized mortar loss and brick spalling on walls and at foundation Maintenance and monitoring: <ul style="list-style-type: none"> Monthly monitoring of building Mid-year site clean up around building, removal of any invasive vegetation at foundations, gutter and downspout checks, and check interior for pests Annual check of roof shingles (visual inspection from ground), termite and pest inspection/treatment, and exterior material spot repair <p>Future Site Planning</p> <ul style="list-style-type: none"> Adaptive reuse with if applicable, parking, accessory building(s), accessibility, energy efficiency and energy saving practices, and land severance Commemoration
		Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with six-paned window	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced If replacement doors are required for accessibility or adaptive reuse considerations, they should be compatible with the character of the building and not adversely affect the pediment surround Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	
	West and east elevations	Projecting bays on side wall with pediment, quoins, entrance door and six-over-six wood-sash windows	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	
Exterior Walls	All elevations	Reddish-brown brick construction	<ul style="list-style-type: none"> Retain, repair, and replace in-kind If in-kind replacement is not feasible, a suitable sympathetic alternative shall be sourced Alterations that are not routine maintenance, repairs or replacement in-kind require an HIA 	
		Rear elevation features quoins		
Windows	North elevation	Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with six-paned window	<ul style="list-style-type: none"> Retain organization and spacing of bays Retain, repair, and replace windows in-kind, where feasible. If this is not feasible, sympathetic alternatives may be considered Repair windows by using a minimal intervention approach. Such repairs might include the limited replacement in-kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence Replace in-kind irreparable windows based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, 	
	West and east elevations	Projecting bays on the side wall with six-over-six wood-sash windows		
	West and east elevations	Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window		



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
	West and east elevations	Side walls with six multi-paned rectangular windows divided into three parts and set within a shallow rounded-arched niche	then compatible substitute materials or details may be considered <ul style="list-style-type: none"> Retain the shape, placement, and distribution of windows Alterations to the main entrance and windows that are not minor repairs or in-kind replacements require an HIA 	
	All elevations	Raised basement with multi-paned windows		
	South elevation	Rear elevation with rounded-arched window in the gable		
	North, west and east elevations	Projecting bays on side wall with entrance doors		
Cultural Heritage Landscape Features				
Location and Situ	Campus Zone	The location of the provincially significant buildings – Chapel of Hope, Infirmary, and Recreation Hall – within the landscape	<ul style="list-style-type: none"> Retain significant buildings within their existing locations in the landscape Proposals to relocate significant buildings will require an HIA 	Future Site Planning <ul style="list-style-type: none"> Adaptive reuse with, if applicable, parking, accessory building(s), accessibility, energy efficiency and energy saving practices, and land severance Commemoration
		Their deliberate setback from Dundas Street East to provide a serene and rural setting	<ul style="list-style-type: none"> Retain the setback of the buildings from Dundas Street Alterations to the setback of the buildings from Dundas Street will require an HIA 	
Allée	Allée and Ring Road Zone	The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive	<ul style="list-style-type: none"> Retain the treed Allée between the CPR tracks and the circular drive Alterations to the overall layout of the tree-line Allée requires an HIA 	Immediate Work <ul style="list-style-type: none"> Mature tree stock should be inspected every 1-5 years by an ISA certified arborist and recommended maintenance activity prescribed by the certified arborist should be carried out by a certified and experienced arborist. More frequent inspections can proactively prevent hazardous situations. Prune trees as needed to maintain health and views as directed by a certified arborist according to current industry standards Remove overgrowth and invasive species between mature trees and rows Future Site Planning <ul style="list-style-type: none"> When trees reach the end of their lifespan and require removal, replace with the same species, if possible, or sympathetic historic species of 100-millimetre sapling diameter caliber stock
		Rows of mature trees including Sugar maples and walnuts	<ul style="list-style-type: none"> Retain mature trees planted in rows along the Allée 	
		Open space between the rows of trees allowing for views of the main campus	<ul style="list-style-type: none"> Restore open space between rows that has become overgrown in recent years Maintain open space between rows by conducting regular mowing and monitoring for overgrowth Avoid introducing new plantings, structures, or built features in open space areas between the trees 	
		Views of the historic main campus framed by the Allée	<ul style="list-style-type: none"> Maintain filtered view to buildings from the Allée Allow removal of non-historic vegetation (e.g., immature trees, shrubs) Avoid introduction of trees, buildings, or structures that would obscure views towards the historic main campus 	



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
		Dual laneways located in the centre of the Allée running parallel to the rows of trees	<ul style="list-style-type: none"> Retain the presence of dual laneways parallel to rows of trees with the Allée Retain the approximate dimensions of the laneways. Avoid widening the laneways to prevent damage to tree root zones Replace paving as required. Asphalt, concrete, or gravel are suitable surfaces 	<ul style="list-style-type: none"> Alternative species to be considered to enhance biodiversity, such as hardy cultivars of Sugar maple, Red maple, American sycamore, London plain tree, and Persian walnut Replant trees, when necessary, in the same location as the original tree or as close as possible to maintain the arrangement of the Allée. When removing original trees, grind stumps and remove root system to provide habitat for new planting or lawn Commemoration of Allée history on site
	Campus Zone	North/south tree-lined roadways framing a view of the north (rear) elevation of the Infirmary	<ul style="list-style-type: none"> Maintain the presence of a north-south tree-lined roadway that frames a view of the rear of the infirmary 	<p>Immediate Work</p> <ul style="list-style-type: none"> Allow repaving or regrading as necessary to integrate into site transportation network <p>Future Site Planning</p> <ul style="list-style-type: none"> Consult an ISA certified arborist to prepare tree preservation report when widening, regrading, or repaving of the road is required. Recommendations should identify appropriate grading levels, drainage solutions, and required mitigation such as pipes, tree wells, or other features necessary to retain mature trees When trees require replacement, replace with suitable hardy cultivars in same locations as original trees or nearby locations depending on stump and root zone limitations
Driveways	Allée and Ring Road Zone	Circular drive with internal green space and east/west access to ring road	<ul style="list-style-type: none"> Maintain the presence of a circular drive with internal green space and east/west access to ring road 	<p>Immediate Work</p> <ul style="list-style-type: none"> Allow repaving or regrading as necessary to integrate into site transportation network <p>Future Site Planning</p> <ul style="list-style-type: none"> Allow landscaping of the internal area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery
		Remnants of the ring road	<ul style="list-style-type: none"> Maintain the presence of a ring road 	<p>Immediate Work</p> <ul style="list-style-type: none"> Allow repaving or regrading as necessary to integrate into site transportation network



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
Trees	Allée and Ring Road Zone	Mature trees that border the ring road on both sides	<ul style="list-style-type: none"> Maintain the presence of mature trees bordering the ring road on both sides 	<p>Immediate Work</p> <ul style="list-style-type: none"> Allow repaving or regrading as necessary to integrate into site transportation network <p>Future Site Planning</p> <ul style="list-style-type: none"> Consult an ISA certified arborist to prepare tree preservation report when widening, regrading, or repaving of the road is required. Recommendations should identify appropriate grading levels, drainage solutions, and required mitigation such as pipes, tree wells, or other features necessary to retain mature trees When trees require replacement, replace with suitable hardy cultivars in same locations as original trees or nearby locations depending on stump and root zone limitations
	Campus Zone	Strategically planted trees including the row of Black walnut trees along east/west interior roadway leading to the Horse Stable	<ul style="list-style-type: none"> Maintain the presence of mature trees along the east/west interior roadway leading to the Horse Stable 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Consult an ISA certified arborist to prepare tree preservation report when widening, regrading, or repaving of the road is required. Recommendations should identify appropriate grading levels, drainage solutions, and required mitigation such as pipes, tree wells, or other features necessary to retain mature trees When trees require replacement, replace with suitable hardy cultivars in same locations as original trees or nearby locations depending on stump and root zone limitations
	Horse Stable Zone	Mature trees including Sugar maples and walnuts	<ul style="list-style-type: none"> Maintain mature trees within the horse stable zone 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Manage according to recommendations of an ISA certified arborist regarding heath, pruning, care, or removal When trees reach the end of their lifespan and require removal, replace with the same species, if possible, or sympathetic historic species of 100 millimetre caliber stock Alternative species to be considered to enhance biodiversity, such as hardy cultivars of Sugar maple,



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Building/Landscape Component	Location	Heritage Attribute	Applicable Conservation Approach	Applicable Conservation Strategies
				Red maple, American sycamore, London plain tree, and Persian walnut <ul style="list-style-type: none"> Replacement trees should be planted in close proximity to location of original tree
Open Space	Campus Zone	The open space of the lawn with mature plantings directly south of the Infirmary	<ul style="list-style-type: none"> Allow removal of non-historic vegetation (e.g., immature trees, shrubs) Avoid introduction of trees, buildings, or structures that would obscure views to the campus. If small structures or accessory buildings are required, they should be located towards the perimeter of the area and integrated into their surroundings by landscaping and plantings. Any new structures should be subordinate and sympathetic to the heritage buildings 	Future Site Planning <ul style="list-style-type: none"> Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, water features and small-scale surface parking areas. New landscaping should be complementary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities
	Horse Stable Zone	Surrounding open space providing unobstructed views of all four elevations of the Horse Stable	<ul style="list-style-type: none"> Allow removal of non-historic vegetation (e.g., immature trees, shrubs) Avoid introduction of trees, buildings, or structures that would obscure views to the stable elevations. If small structures or accessory buildings are required (e.g., pergolas or similar shade structures, small sheds, greenhouses etc.), they are to be located towards the perimeter of the area and integrated into their surroundings by landscaping and plantings. Any new structures should subordinate and sympathetic to the heritage buildings 	Future Site Planning <ul style="list-style-type: none"> Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, water features and small-scale surface parking areas. New landscaping should be complementary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities



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Table 5.2: Conservation Strategies for Vistas Identified in the LPHSP

Vista	Location	Applicable Conservation Treatments	Applicable Conservation Strategies
Towards Infirmary	Looking north from Dundas Street East along Treed Allée	<ul style="list-style-type: none"> Maintain filtered view to buildings from the Allée Avoid introduction of trees, buildings, or structures that would obscure views to the campus 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Allow removal of non-historic vegetation (e.g., immature trees, shrubs)
Towards Infirmary, Recreation Hall, and Chapel of Hope	Looking north, northeast and northwest from the northernmost point of the circular drive	<ul style="list-style-type: none"> Allow removal of non-historic vegetation (e.g., immature trees, shrubs) Avoid introduction of trees, buildings, or structures that would obscure views to the campus. If small structures are required (e.g., pergolas or similar shade structures, small sheds, etc.), they are to be located towards the perimeter of the area and integrated into their surroundings by landscaping and plantings 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, or water features. New landscaping should be complimentary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities
Towards Infirmary, Recreation Hall, and Chapel of Hope	Looking east, northeast and southeast from west side of road intersection at the Chapel of Hope	<ul style="list-style-type: none"> Avoid introduction of trees, buildings, or structures that would obscure views from the intersection. If small structures are required (e.g., pergolas or similar shade structures, small sheds, etc.), they are to be located towards the perimeter of the area and integrated into their surroundings by landscaping and plantings 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, or water features. New landscaping should be complimentary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities
Towards Horse Stable	Looking northwest from intersection of internal road southwest of Horse Stable	<ul style="list-style-type: none"> Avoid introduction of trees, buildings, or structures that would obscure views to the stable elevations. If small structures or accessory buildings are required (e.g., pergolas or similar shade structures, small sheds, greenhouses etc.), they are to be located towards the perimeter of the area and integrated into their surroundings by landscaping and plantings. Any new structures should subordinate and sympathetic to the heritage buildings 	<p>Future Site Planning</p> <ul style="list-style-type: none"> Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, or water features. New landscaping should be complimentary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities



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Vista	Location	Applicable Conservation Treatments	Applicable Conservation Strategies
Towards Infirmary	Looking south from Oxford Street East	<ul style="list-style-type: none"> • Allow removal of non-historic vegetation (e.g., immature trees, shrubs) • Avoid introduction of trees, buildings, or structures that would obscure views to the infirmary within the linear corridor identified in the LPHSP. If small structures are required (e.g., pergolas or similar shade structures, small sheds, etc.), they are to be located outside of the linear view corridor and integrated into their surroundings by landscaping and plantings 	<p>Future Site Planning</p> <ul style="list-style-type: none"> • Allow landscaping of the area with low-profile features such as lawn, paths and walkways, garden beds, low hedges and shrubbery, low-profile public art, sculptures, or water features. New landscaping should be complimentary to the character of the site, and respect its historical values while supporting adaptive reuse activities by providing passive recreation and community amenities • Allow low, medium and higher density development outside of the linear corridor provided that the linear view is maintained



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6 Implementation

6.1 Subsequent Reports and Permits

To satisfy the municipal and provincial policy requirements in Section 2, additional reports for future development will be required to mitigate or minimize any potential impacts to heritage and CHL features. Requirements for HAPs and HIAs are detailed in Section 5.2.2.7. On a municipal level this includes the preparation of a HAP with supplementary HIA, if required, which needs City review and approval. On a provincial level this includes an Alternation Permit Request that requires OHT review and approval. An overview of subsequent reports, when they are required, and approval authority is included in Appendix H. To date, an HIA has been undertaken by Stantec (September 27, 2022) to assess the impacts associated with the proposed development site plan, land use changes, and stormwater and sewer trunk lines. A Scoped HIA has also been prepared by Stantec (June 30, 2022) to assess the impacts associated with the removal of the east porch of the Infirmary building.

Where HAPs are required, these should follow the City's current application process as outlined in the London Plan (see Section 2.2.2 of this report). Where possible, HAPs should address as many proposed changes or alterations in one permit as possible, in order to avoid multiple applications for the same project. As noted in Section 5.2.2.7, HAPs should not be required for alterations to buildings on newly created lots of the new development where there are no heritage attributes present.

6.2 Program of Action

In order for an SCP to be effective, an understanding of timelines and priorities of the site should be clear. Table 6.1 below outlines the actions, timelines, and priorities to assess the condition of heritage resources on the site, administer maintenance, and monitor the progress based on the findings of Sections 4 and 5 of this SCP. The intent of the action plan is to facilitate the adaptive reuse of the former LPH and provide guidance on how and when strategies should be put into action. The action items are to be undertaken by the property owner following the description/requirements. Table 6.1 also includes the approval authority for each action item.

To organize an approach to action, recommended timelines have been assigned and are defined as follows:

- **Short-term** – Work is necessary to address condition issues and should be undertaken within a timeframe of one year.



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- **Medium-term** – Work may be less urgent and/or required with less frequency than short-term actions but is still important for maintaining building or cultural landscape components of the site. Medium-term actions should be undertaken within a period of two to five years.
- **Long-term** – These actions are anticipated to occur infrequently and/or as required. These actions may be supplementary in maintaining building or CHL components and/or long-term use of the site. To be conducted after five years, as required.

Table 6.1: Priorities and Timelines for Implementation

Action	Timeline	Description/Requirements	Approval Authority
Interim protection measure: stabilize the east sun porch on the Infirmary	Immediate	Consult a qualified structural engineer or architect to assess damage due to collapse on the east sun porch and implement recommendations for stabilization. Consult the OHT, City Heritage Planning Staff, and follow applicable requirements of the HCEA and Designating By-Law. Follow conservation strategies contained in this SCP where alterations are required.	OHT and City of London
Interim protection measures for all buildings within the HCEA, including repointing/brick repairs, repainting, addressing security concerns, removing overgrown vegetation	Short-term	Modify heritage attributes only where necessary for immediate structural, code compliance, or health and safety reasons. Where repairs are required to the building envelope, adopt an approach of minimal intervention wherever possible and prioritizing repair and maintenance of heritage attributes over replacement. Where repairs are required for heritage attributes, work should be undertaken or overseen by a qualified	OHT and City of London



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Action	Timeline	Description/Requirements	Approval Authority
		heritage professional, such as a full member of CAHP.	
Prepare an Application for a Permit to Construct or Demolish for demolition/Alteration Request Form	Short-term	This includes the former commissioner’s office, medical administration building (various wings including occupational therapy wing, lecture hall), north and south complex, water reservoir, pump house, implement storage shed, tractor shed, pump house, root house/granary, power house, and laundry house.	City of London and OHT
Complete tree protection plans for trees within the HCEA when grading and site plans have been developed	Short-term (pending timing of grading details)	An ISA certified arborist should be consulted to identify potential impacts to trees that would be affected by road construction and grading, and to identify mitigation measures, were appropriate, for mature trees within the HCEA. This should be completed alongside detailed design for grading and stormwater management so that arborist findings and recommendations can be incorporated into the design.	OHT
Prepare adaptive re-use plans for Horse Stable, Infirmary, Chapel of Hope, and Recreation Hall	Medium-term	Continue discussions with prospective tenants/owners for the historic buildings and begin process to retain preferred project team and partners for adaptive reuse of the buildings. Follow the conservation strategies in Section 4.0 of this SCP when undertaking alterations, accessibility, and OBC requirements.	OHT City of London



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Action	Timeline	Description/Requirements	Approval Authority
Prepare commemoration plan	Medium-term	Consult with local organizations and institutions to prepare a Commemoration Plan to be implemented at the site. This should be done concurrently with plans for adaptive reuse to integrate recommendations and identify locations for commemoration and interpretation into plans for the site	OHT may be required if the plan includes exterior elements (e.g. signs, pathways, community gardens or plantings)
Conduct maintenance, monitoring and routine repairs	Long-term	Implement a system of maintenance and asset management practices to conduct regular monitoring of heritage attributes to identify changes in their condition and identify needs for repair, restoration, rehabilitation, or replacement. This information should be contained in files kept with Old Oak and provided to the OHT. Identify needs of new uses to plan for capital repairs and alterations. Identify funding sources for capital repairs. Conduct a condition assessment to identify repair, maintenance, or rehabilitation needs.	OHT
Complete archaeological, ecological or environmental assessments	As required	Depending on development requirements and site activities, additional studies outside of the scope of cultural heritage and this SCP may be required to address archaeological resources, ecological habitat, or	To be determined by a qualified specialist. Anticipate MTCS for archaeological work and Ministry



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Action	Timeline	Description/Requirements	Approval Authority
		environmental considerations. These studies are to be undertaken within the frameworks of the applicable regulatory bodies.	of the Environment, Conservation and Parks for ecological or environmental related work. OHT may require assessment prior to development on the HCEA and adjacent land.

6.3 Special Qualifications

Direction should also be provided for special qualifications, if necessary. Regular maintenance may be conducted by Old Oak facilities staff. When repairs are required for masonry, stained glass work, or carpentry, they should be conducted by qualified specialists. The CAHP website may be consulted to identify specialists in relevant fields. Similarly, where major capital repairs are considered, plans should be prepared or reviewed by a heritage architect or conservation specialist with recent knowledge and experience (e.g., experience in building rehabilitation, restoration, or alteration). Tree protection plans and routine assessments should be conducted by, or reviewed by, an ISA certified arborist with heritage experience.

When HIAs are to be conducted, they should also be prepared by persons with knowledge and experience in preparing similar reports, such as members in good standing with CAHP. OHT staff will provide advice, review scopes of work, and confirm requirements for specific and appropriate qualified persons based on the nature of the project or study being undertaken in accordance with the terms of the HCEA.

6.4 Limitations

This SCP has been based on previously prepared reports that included the research, evaluation, and condition assessment of the property over the last 15 years. This includes the 2021 *Baseline Documentation Report* prepared for the OHT by Stevens Burgess Architect that identified the condition of the heritage buildings. Existing site conditions were verified by a site visit conducted on June 14, 2021 by Stantec of the exterior building only and based on visual assessment of the buildings and landscape



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features. No invasive testing was conducted. No additional historical research or evaluation of site significance was conducted for this SCP.

Further work is required to assess potential impacts to trees relating to road networks and grading within the HCEA. Further impact assessments may also be required when the heritage buildings are to be adapted for new uses.

The SCP is based on pending redevelopment of the lands by Old Oak and is intended to guide decisions made during this redevelopment and in the following years as adaptive reuse occurs and the site is maintained and managed. Updates to the SCP may be required in the future if additional major developments are proposed. In general, it is prudent to review SCPs to determine if updates are needed after a defined period of time, such as five to 10 years, to accommodate for updated site information, conditions, or to respond to changes in government legislation and policy.



Closure
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7 Closure

This report has been prepared for the sole benefit of Old Oak Properties Inc., and may not be used by any third party without the express written consent of Stantec Consulting Ltd. Any use which a third party makes of this report is the responsibility of such third party.

We trust this report meets your current requirements. Please do not hesitate to contact us should you require further information or have additional questions about any facet of this report.

STANTEC CONSULTING LTD.

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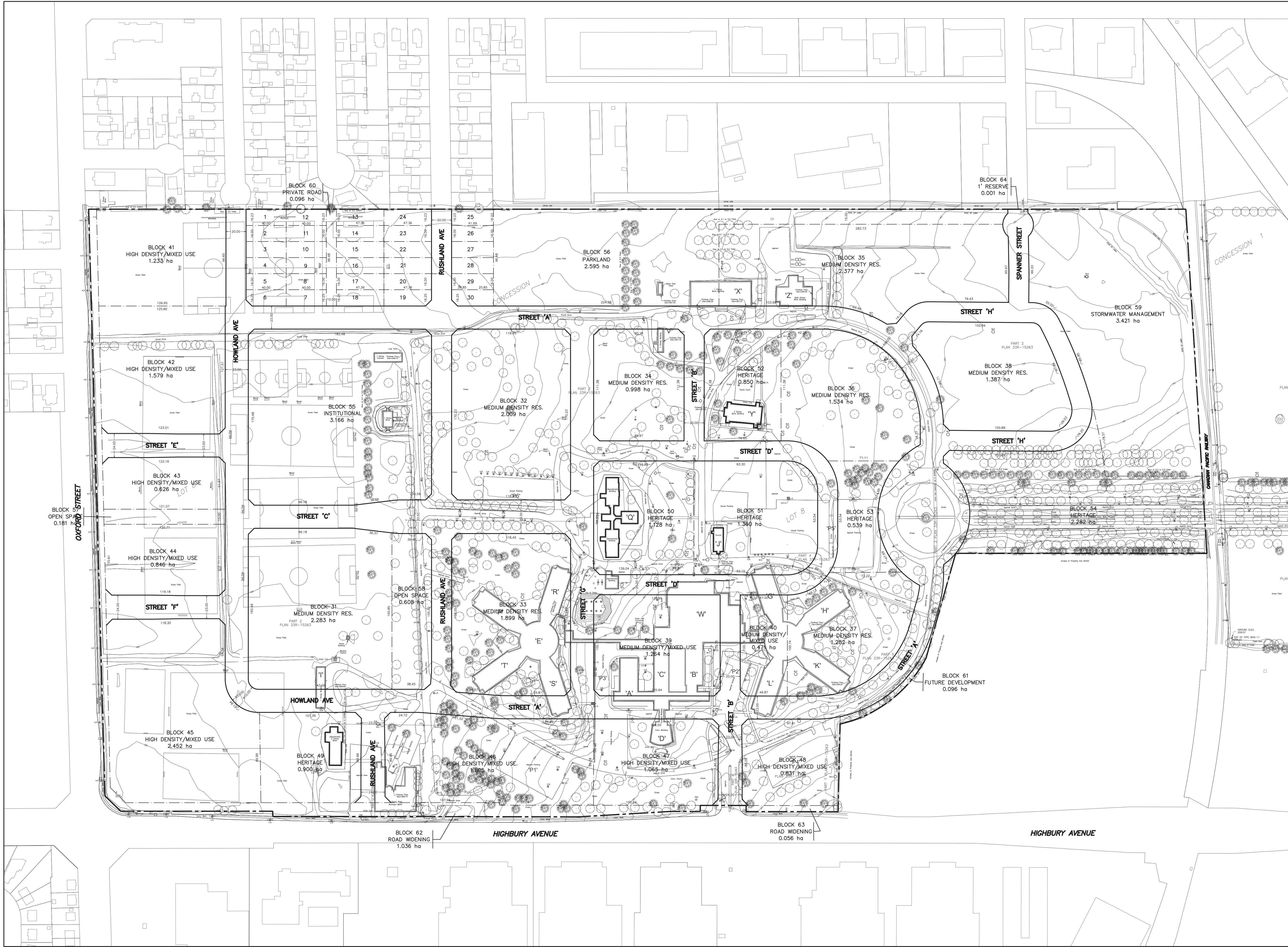


Appendices

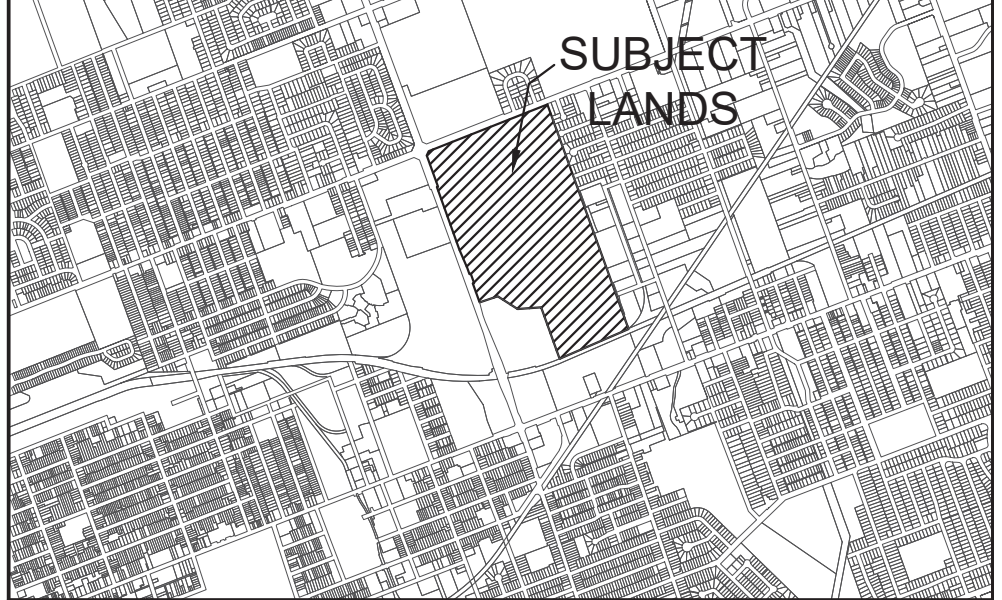


Appendix A Site Plans





KEY PLAN



DRAFT PLAN OF SUBDIVISION
OF
LONDON CON 1 PT LOT 8
33R-20053 PARTS 1 TO 40
AND
33R-19935 PARTS 1 TO 8
CITY OF LONDON
COUNTY OF MIDDLESEX

INFORMATION REQUIRED UNDER SECTION 51 (17) OF THE PLANNING ACT

- A) As shown
- B) As shown
- C) As shown
- D) As listed below
- E) As shown
- F) As shown
- G) As shown
- H) Municipal water supply available
- I) Sandy, Silty Clay
- J) As shown
- K) All municipal services to be available
- L) As shown

PROPOSED LAND USES AND AREAS

LOW DENSITY RESIDENTIAL (LOTS 1-30)	2.083 ha
MEDIUM DENSITY RESIDENTIAL (BLOCKS 31-38)	13.769 ha
MEDIUM DENSITY MIXED USE (BLOCKS 39-40)	1.735 ha
HIGH DENSITY MIXED USE (BLOCKS 41-48)	10.437 ha
HERITAGE (BLOCKS 49-54)	7.060 ha
INSTITUTIONAL (BLOCK 55)	3.166 ha
PARKLAND (BLOCK 56)	2.595 ha
OPEN SPACE (BLOCKS 57-58)	0.789 ha
STORMWATER MANAGEMENT (BLOCK 59)	3.421 ha
PRIVATE ROADS (BLOCK 60)	0.096 ha
FUTURE DEVELOPMENT (BLOCK 61)	0.096 ha
ROAD WIDENING (BLOCKS 62-63)	1.092 ha
1' RESERVE (BLOCKS 64)	0.001 ha
PROPOSED ROADS	11.788 ha
TOTAL	58.129 ha

OWNER'S CERTIFICATE

Old Oak Properties Inc.
HEREBY CONSENTS TO THE FILING OF THIS PLAN IN DRAFT FORM

Old Oak Properties Inc., Owner DATED

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY SHOWN ON THIS PLAN.

ONTARIO LAND SURVEYOR for AGM DATED

NO.	REVISION	DATE	INITIAL



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DATE DECEMBER 2020	SCALE 1:1,700

Appendix B Site Photographs



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Photo 1: Horse Stable south elevation looking northwest



Photo 2: Horse Stable west elevation looking northeast



Photo 3: Horse Stable west elevation looking east



Photo 4: Horse Stable northeast elevation looking southeast



Photo 5: Horse Stable north elevation looking south



Photo 6: Horse Stable east elevation looking southwest



Photo 7: Horse Stable north elevation roof with lifting shingles



Photo 8: Horse Stable north elevation view of ventilators looking southeast



Photo 9: Horse Stable close-up of brick



Photo 10: Horse Stable close-up of brick voussoir



Photo 11: Horse Stable close-up of brick voussoir above entry door and window sill and lintel



Photo 12: Horse Stable close-up of window sill



Photo 13: Horse Stable west elevation boarded-up hay loft door



Photo 14: Horse Stable south elevation boarded-up entry door and windows



Photo 15: Horse Stable south elevation gable with boarded-up windows with venting



Photo 16: Horse Stable south elevation boarded-up windows with venting



Photo 17: Horse Stable close-up of infill window



Photo 18: Chapel of Hope front (west) elevation looking northeast



Photo 19: Chapel of Hope northeast elevation looking southwest



Photo 20: Chapel of Hope rear elevation with vegetation overgrowth, looking west



Photo 21: Chapel of Hope north elevation looking south



Photo 22: Chapel of Hope close-up of north elevation dormers



Photo 23: Chapel of Hope close-up of west elevation chimney

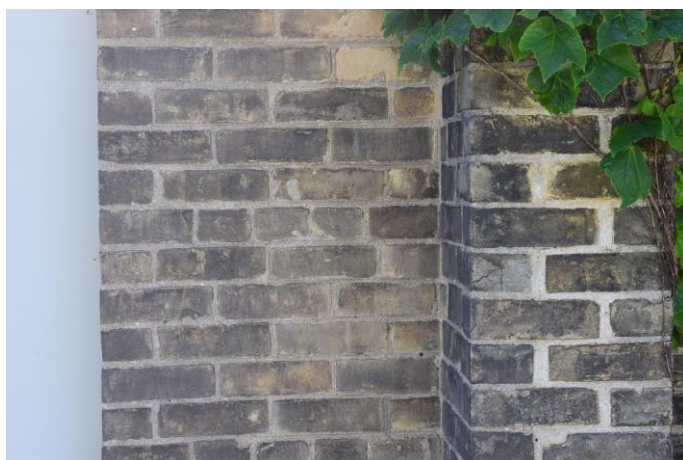


Photo 24: Chapel of Hope close-up of brick exterior near buttress on south elevation



Photo 25: Chapel of Hope buttresses on south elevation looking east



Photo 26: Infirmary south elevation looking northwest



Photo 27: Infirmary south elevation of Administration Block looking north



Photo 28: Infirmary southeast elevation of Administration Block and part of south elevation of east wing



Photo 29: East elevation of Administration Block looking west



Photo 30: Infirmary south elevation of east wing looking north



Photo 31: Infirmery south elevation of west wing looking northeast



Photo 32: Infirmery north (rear) elevation looking southwest



Photo 33: Infirmery rear elevation of east wing looking south



Photo 34: Infirmery rear elevation of east wing and central pavilion looking southwest



Photo 35: Infirmery rear elevation of east wing and central pavilion looking south



Photo 36: Infirmery rear elevation of central pavilion and west wing looking southwest



Photo 37: Close-up of Administration Block chimney looking southwest



Photo 38: Infirmary rear elevation chimneys looking southwest



Photo 39: Infirmary close-up of ventilator looking southwest



Photo 40: Infirmary close-up of dormer on West Wing looking southwest



Photo 41: Infirmary close-up of dentilated cornice on rear elevation of east wing



Photo 42: Infirmary close-up of dentilated cornice on west elevation porch end



Photo 43: Infirmary close-up of window sill and brick voussoir on rear elevation of east wing

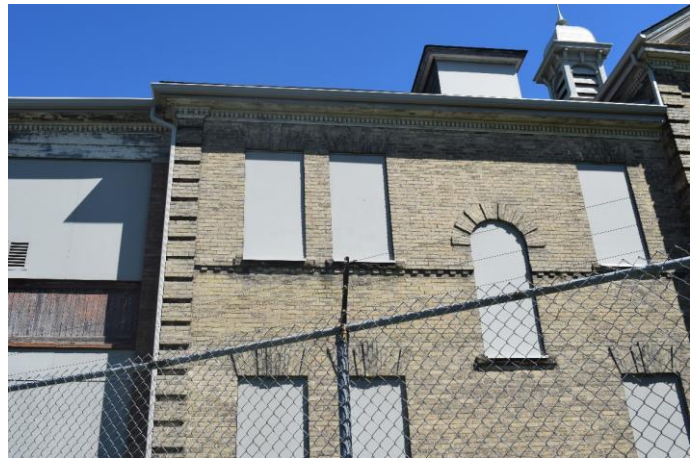


Photo 44: Infirmary brick quoins and brick window arches on south elevation of west wing looking north



Photo 45: Infirmary close-up of pedimented bay with boarded-up bull's eye window



Photo 46: Infirmary kicked-in original door on south elevation



Photo 47: Infirmary east elevation porch end looking northwest prior to porch collapse



Photo 48: Infirmary east porch roof collapse, photo provided by Old Oak from June 25, 2021



Photo 49: Infirmary east porch roof collapse, photo provided by Old Oak from June 25, 2021



Photo 50: Infirmary east porch roof collapse photo provided by Old Oak from June 25, 2021



Photo 51: Infirmary west elevation porch end looking northeast



Photo 52: Infirmary close-up of vegetation over foundation



Photo 53: Recreation Hall north (main) elevation looking south



Photo 54: Recreation Hall west elevation looking east



Photo 55: Recreation Hall south elevation looking north



Photo 56: Recreation Hall east elevation looking west



Photo 57: Recreation Hall east elevation roof looking west



Photo 58: Recreation Hall close-up of brick on front elevation

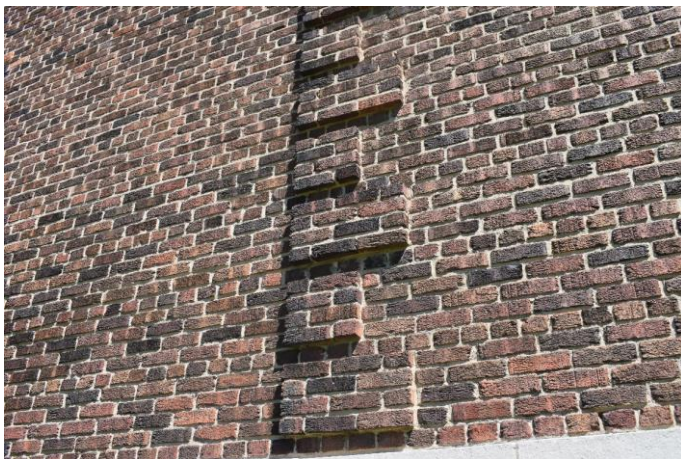


Photo 59: Recreation Hall close-up of quoins on north elevation



Photo 60: Recreation Hall front elevation boarded-up windows



Photo 61: Recreation Hall entrance pediment with boarded-up windows



Photo 62: Recreation Hall west elevation boarded-up windows with venting



Photo 63: Recreation Hall east elevation boarded-up windows with venting



Photo 64: Recreation Hall east elevation boarded-up window and door on projecting bay



Photo 65: Recreation Hall front elevation entry door, staircase and ramp looking south



Photo 66: East tree-lined Allée looking north from Dundas Street



Photo 67: West tree-lined Allée looking north from Dundas Street entrance



Photo 68: East tree-lined Allée looking north



Photo 69: East tree-lined Allée looking north to Infirmary and Ring Road

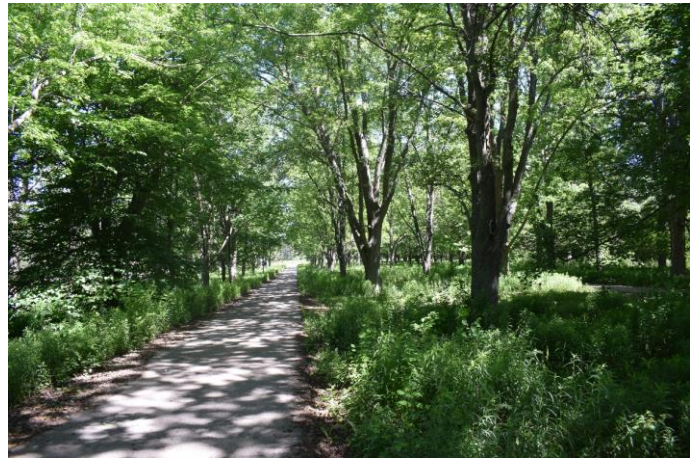


Photo 70: West tree-lined Allée looking north



Photo 71: West tree-lined Allée looking north to Infirmary and Ring Road



Photo 72: Ring road looking south towards the east and west tree-lined Allées



Photo 73: East Allée at Ring Road looking north



Photo 74: East Allée at Ring Road looking north to Infirmary



Photo 75: Ring Road Zone looking north to Infirmary



Photo 76: Concrete pathway in Ring Road Zone looking north



Photo 77: Campus Zone tree-lined driveway looking south towards Infirmary



Photo 78: Campus Zone tree-lined driveway looking south towards Infirmary



Photo 79: Campus Zone looking west



Photo 80: Access Roads looking east towards Campus Zone



Photo 81: Campus Zone looking east



Photo 82: Driveway to Allée and Ring Road Zone looking southeast



Photo 83: Driveway to Allée and Ring Road Zone looking northwest



Photo 84: Driveway to Allée and Ring Road Zone looking southeast

Appendix C Heritage Conservation Easement Agreements and Designating By-Law



AUTHORIZATION AND DIRECTION

TO: OLD OAK PROPERTIES INC., and its solicitors, Harrison Pensa LLP

RE: Heritage Conservation Easement Agreement dated as of January 16, 2019 between the Ontario Heritage Trust and Old Oak Properties Inc. respecting part of a parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex, legally described as Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2, 4, 5, 7, 9, 10, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 24, 28, 30, 34, 35, 36, 38, 39 and 40 on Plan 33R-20053, City of London, County of Middlesex (the "Property"),

The undersigned confirms that:

1. You are authorized and directed to release for registration and register electronically, on our behalf, the documents described below (the "**Document**") in the form attached, subject to and upon satisfaction of the conditions set out in paragraph 2 of this Authorization and Direction:
 - a. Notice under Section 71 of the Land Titles Act re: Heritage Conservation Easement Agreement between Old Oak Properties Inc. and the Ontario Heritage Trust.
2. This Authorization and Direction, pursuant to section 13.8 of the HCEA, does not release the Document for registration on our behalf except in compliance with section 13.9 of the Heritage Conservation Easement Agreement dated as of January 16, 2019 between Old Oak Properties Inc. and the Ontario Heritage Trust respecting the Property (the "**HCEA**"), which HCEA requires that the Document shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Property, and that the Owner as defined under the HCEA shall, at its expense, obtain and register any postponement agreements or other agreements that the Ontario Heritage Trust may require to ensure that the Document shall be such a first encumbrance. This Authorization and Direction shall only be valid to release the Document for registration upon compliance with the following conditions:
 - a. as at registration the Document shall be registered as a first encumbrance on title to the Property immediately subsequent to the registered Transfer of the Property to Old Oak Properties Inc. subject only at the time of registration to:
 - (i) Instrument No. ER85796 registered November 27, 2000 - Bylaw
 - (ii) Instrument No. 644506 registered July 25, 1983 - Agreement for Right-of-Way
 - (iii) Instrument No. 623868 registered October 1, 1982 - Agreement for Right-of-Way
 - (iv) Instrument No. 526153 - Order in Council # PC 1978-3/2759 dated August 30, 1978
3. The effect of the Document described in this authorization and direction has been fully explained to us; and we understand that we are parties to and shall be bound by the terms and provisions of the Document to the same extent as if we had signed the Document.
4. This authorization and direction may be validly delivered, once executed, by facsimile transmission or other similar electronic system reproducing the original.

DATED at Toronto this 11th day of January 2019.

ONTARIO HERITAGE TRUST

Per: 
Beth Hanna – Chief Executive Officer

Per: 
Wayne Kelly – A/Director, Heritage Programs
and Operations

We have authority to bind the Trust.

Properties

PIN 08106 - 0158 LT Redescription

Description PART OF LOT 8, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF LONDON, DESIGNATED AS PARTS 1 TO 40 INCLUSIVE ON PLAN 33R-20053; SUBJECT TO EASEMENT OVER PARTS 3, 4, 9, 10, 11, 12, 15, 17, 20, 23 & 26 ON PLAN 33R-20053 AS IN INSTRUMENT NO. 644506; SUBJECT TO EASEMENT OVER PARTS 19, 20, 21 & 28 ON PLAN 33R-20053 AS IN INSTRUMENT NO. 526153; SUBJECT TO EASEMENT OVER PART 32, 36 & 37 ON PLAN 33R-20053 AS IN INSTRUMENT NO. 623868; CITY OF LONDON, COUNTY OF MIDDLESEX

Address LONDON

Consideration

Consideration \$2.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name OLD OAK PROPERTIES INC.
Acting as a company

Address for Service Suite 600
465 Richmond Street
London, ON, N6A 5P4

I, GREGORY C. BIERBAUM, PRESIDENT, have the authority to bind the corporation.

This document is not authorized under Power of Attorney by this party.

Party To(s)**Capacity****Share**

Name ONTARIO HERITAGE TRUST
Acting as a company

Address for Service 10 Adelaide Stree East
Toronto, ON, M5C 1J3
Attn: Easement Program

This document is being authorized by a representative of the Crown.

This document is not authorized under Power of Attorney by this party.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.

This notice is for an indeterminate period

Schedule:

File Number

Applicant Client File Number : CJH-175848

HERITAGE CONSERVATION EASEMENT AGREEMENT

This Agreement made this 16th day of January, 2019,

B E T W E E N:

OLD OAK PROPERTIES INC.

(hereinafter called the “Owner”)

– and –

ONTARIO HERITAGE TRUST

a body corporate continued by the *Ontario Heritage Act*,
R.S.O. 1990, c.O-18, as amended

(hereinafter called the “Trust”)

WHEREAS:

- A. The Owner is the registered owner of certain lands and premises which are more particularly described in Schedule “A1” attached hereto (the “**Property**”), and which form part of a larger parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex.
- B. The Property was formerly owned by the Government of Ontario and was determined to be a provincial heritage property of provincial significance pursuant to an assessment performed in accordance with the Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance set out in Ontario Regulation 10/06.
- C. Under section F.5 of *The Standards and Guidelines for Conservation of Provincial Heritage Properties* (the “**Standards and Guidelines**”) which came into effect as of July 1, 2010, the consent of the Minister is required before a provincial heritage property of provincial heritage significance is transferred from provincial ownership or control.
- D. In light of the foregoing, the Minister has granted consent to the transfer of ownership of the Property to the Owner on the condition that the Owner grant a heritage conservation easement interest to the Trust as a first encumbrance on title to the Property, subject to any encumbrances existing prior to the date of this Agreement which affect the Property.
- E. By subsection 10(1)(c) of the *Ontario Heritage Act*, R.S.O. 1990, c.O-18, as amended (herein the “**Act**”), the Trust is entitled to enter into agreements, easements and covenants with owners of real property, or interests therein, for the conservation, preservation and protection of the heritage of Ontario.
- F. By section 22 of the Act, any covenants and easements entered into by the Trust, when registered in the proper land registry office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Trust against the owner or any subsequent owners of the real property, even where the Trust owns no other land which would be accommodated or benefited by such covenants and easements.
- G. The Property is comprised of:
 - a) those lands which are protected by this agreement due to their heritage value and which are more particularly described in Schedule “A1” (the “**Protected Lands**”); and
 - b) those lands which permit the Trust to legally access the Protected Lands from Highbury Avenue North and which are more particularly described in Schedule “A1” (the “**Access Lands**”).
- H. The Owner and the Trust recognize the provincial heritage value of the Protected Lands as set out in the Statement of Cultural Heritage Value and Interest attached hereto as Schedule “B1”.
- I. The Property was formerly part of a larger area of land (the “**Former Hospital Lands**”) associated with the former London Psychiatric Hospital. The Former Hospital Lands are

bisected by an east-west Canadian Pacific Railway line (the "**CPR Line**"). The approximate location of Former Hospital Lands and the CPR Line are shown on the site plan sketch in Schedule B2 attached hereto. The Former Hospital Lands are more particularly described as [PIN 08106-0147 being Part 1 on Plan 33R-15263 and PIN 08106-0158 being Parts 2 to 12 inclusive on Plan 33R-15263]. This agreement relates solely to that portion of the Former Hospital Lands north of the CPR Line comprised of the Protected Lands and the Access Lands.

- J. The provincial heritage value of the Protected Lands lies in:
- a) the provincially significant cultural heritage landscape on the Protected Lands; and
 - b) the exteriors of four provincially significant heritage buildings on the Protected Lands which buildings are known as the Horse Stable, the Infirmary, the Chapel of Hope and the Recreation Hall (collectively referred to hereafter as the "**Buildings**").
- K. The approximate location and configuration of the Protected Lands, the Allée and Ring Road Zone, the Campus Zone, the Horse Stable Zone and the Access Lands are shown on the site plan sketch in Schedule "B2" attached hereto, and legally described in Schedule "A1".
- L. The approximate locations on the Protected Lands of the Buildings are shown on the site plan sketch in Schedule "B2" attached hereto.
- M. The cultural heritage landscape features of the Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone (the "**Cultural Heritage Landscape Features**") that contribute to the provincial heritage value of the Protected Lands are described in Schedule "B3" attached hereto.
- N. The Cultural Heritage Landscape Features in the Allée and Ring Road Zone and Campus Zone include tree-lined allées (the "**Allées**") which extend north from the Infirmary in the Campus Zone and south from a circular driveway to the CPR Line in the Allée and Ring Road Zone.
- O. The heritage character defining features of the Buildings (the "**Heritage Features**") on the Protected Lands that contribute to the provincial heritage value of the Protected Lands are described in Schedule "B3" attached hereto.
- P. The Owner and Trust jointly acknowledge that a secondary plan known as the London Psychiatric Hospital Lands Secondary Plan Official Plan Amendment 510 (the "**Secondary Plan**") was adopted on October 3, 2011 by the City of London for the Former Hospital Lands pursuant to City of London By-Law No. C.P. - 1284 (rp) - 283 passed and that the boundaries of the Protected Lands and the Access Lands are not coincident with the parcels identified on the Secondary Plan.
- Q. The Owner and the Trust have the common purpose of preserving the provincial heritage value of the Protected Lands through the protection and conservation of its Cultural Heritage Landscape Features and the Heritage Features of the Buildings.
- R. To this end, the Owner and the Trust desire to enter into this agreement (the "**Agreement**").

THE PARTIES AGREE that in consideration of the sum of Two Dollars (\$2.00) of lawful money of Canada now paid by the Trust to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Trust agree to abide by the following covenants, easements and restrictions which shall run with the Property forever.

1.0 PURPOSE

- 1.1 It is the purpose of this Agreement (herein the "**Purpose**") to ensure that the heritage value of the Protected Lands will be preserved in perpetuity as part of the heritage of Ontario. To achieve this purpose, the Owner and the Trust agree that the Heritage Features will be retained, maintained and conserved by the Owner through the application of recognized heritage conservation principles and practices and that no change shall be made to the Heritage Features that will adversely affect the heritage value of the Protected Lands as set out in the Statement of Cultural Heritage Value and Interest.

1.2 Any reference in this Agreement to the Protected Lands includes the Buildings.

2.0 HERITAGE VALUE

2.1 Statement of Cultural Heritage Value

The Owner and the Trust agree that the Statement of Cultural Heritage Value and Interest explains the provincial heritage value of the Protected Lands and that the Cultural Heritage Landscape Features of the Protected Lands and the Heritage Features of the Buildings comprise the features of the Protected Lands that are to be conserved under this Agreement in order to preserve and protect the heritage value of the Protected Lands.

2.2 Baseline Documentation Report

After the registration of the Agreement the Trust shall complete a report depicting and describing the appearance, condition and construction of the Buildings and their surrounding grounds (including the Heritage Features) through photographs, plans, sketches and/or text (the "**Baseline Documentation Report**"). The Baseline Documentation Report will have the structure and contain the information specified in the baseline documentation report outline attached hereto as Schedule "C". When the Baseline Documentation Report has been completed the Owner agrees to execute an acknowledgment in the Baseline Documentation Report to confirm that it constitutes an accurate depiction and description of the then current appearance, condition and construction of the Buildings and their surrounding grounds (including the Heritage Features). The Baseline Documentation Report will also include a record of existing signs and fixtures on the Property and / or Buildings. When signed by both the Owner and the Trust a completed and signed copy of the Baseline Documentation Report shall be given by the Trust to the Owner, an original signed copy will be filed and may be examined at the head office of the Ontario Heritage Trust and an original signed copy will be filed with the Archives of Ontario. When completed and signed by the parties, the Baseline Documentation Report shall be referred to where applicable in determining the respective responsibilities and duties of the Owner and the Trust under this Agreement.

2.3 No Baseline Documentation Report

If the Baseline Documentation Report has not been approved and signed by the parties as provided for in section 2.2, then the Trust may refuse to consider or grant any approval to be given by the Trust under this Agreement until such time as the Baseline Documentation Report has been approved and signed by both parties.

3.0 CONSERVATION PRINCIPLES AND PRACTICES

3.1 Both the Owner and the Trust in carrying out their respective responsibilities and duties under this Agreement shall, where applicable, be guided by and apply the conservation principles set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010 Edition), as revised from time to time, and other recognized heritage conservation best practices (collectively herein the "**Conservation Principles and Practices**").

3.2 The current Standards for the Conservation of Historic Places in Canada set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* are attached for information purposes only as Schedule "D". Reference to the complete text of the *Standards and Guidelines for the Conservation of Historic Places in Canada* shall be made in applying them.

4.0 DUTIES OF OWNER

4.1 Maintenance of the Buildings and Cultural Heritage Landscape Features

4.1.1 With respect to the Buildings, the Owner shall at all times and, subject to compliance with the requirements of section 4.2, maintain the Buildings in as good and sound a state of repair as a prudent owner would normally do so that no deterioration in the present condition and appearance of the Heritage Features shall take place except for reasonable wear and tear. The Owner's obligation to maintain the Buildings shall require that the Owner undertake such preventative maintenance, repair, stabilization and replacement whenever necessary to preserve the Buildings in substantially the same physical condition and state of repair as that existing on the date of this Agreement and to take all reasonable measures to secure and protect the Buildings from vandalism, fire and damage from inclement weather.

- 4.1.2 With respect to the Cultural Heritage Landscape Features, the Owner shall maintain the Cultural Heritage Landscape Features of the Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone in good condition and appearance and shall not substantially alter those landscape features. Such features include but are not limited to trees, shrubs, lawns, and other plantings, view planes, vehicular lanes, pedestrian footpath and other improvements.
- 4.1.3 Without limitation of paragraph 4.1.2 as it applies to the Allée and Ring Road Zone and the Campus Zone, and without limitation otherwise of the Owner's obligations under this Agreement, the Owner shall maintain :
- (a) the arboreal character of the Allées by planting replacement specimens of the same species as necessary when the existing specimens die, are destroyed by storm, become diseased and/or need to be removed for reasons of good tree husbandry or public safety; and
 - (b) the open space character of the Allées and the lawn directly south of the Infirmary by regularly mowing the lawns to the boundaries of the Allée and Ring Road Zone and the Campus Zone.

4.2 Alterations

The Owner shall not, without the prior written approval of the Trust, undertake or permit any demolition, construction, reconstruction, renovation, restoration, alteration, remodelling of the Buildings, or any other thing or act which would materially affect the condition, appearance or construction of the Heritage Features. The Owner may, without the prior written approval of the Trust, undertake or permit the repair or refinishing of the Buildings where damage has resulted from casualty, loss, deterioration or wear and tear, provided that such repair or refinishing is not performed in a manner which would materially affect the condition, appearance or construction of the Heritage Features and the Conservation Principles and Practices are applied where applicable.

4.3 Trust Approval Not Required

In the event that a conservation plan for the Protected Lands (hereafter called the "Plan") has been completed and has been jointly approved by the Trust and the Owner, then any and all demolition, construction, reconstruction, renovation, restoration, alterations, and remodelling of the Buildings or the Protected Lands, as described therein, shall be deemed approved by the Trust under sections 4.1, 4.2 and 4.6, subject to the submission of related final drawings and specifications that meet with the written approval of the Trust.

4.4 Emergency Measures

Notwithstanding the provisions of section 4.2, the Owner may undertake such temporary measures in respect of the Buildings as are reasonably necessary to deal with an emergency situation which puts the security or integrity of the Buildings at risk of damage or occupants of the Buildings at risk of harm provided that:

- (a) such measures are in keeping with the purpose of this Agreement;
- (b) such measures are consistent with the conservation of the Heritage Features;
- (c) the requirements of the *Building Code Act, 1992*, S.O. 1992, c.23 as amended or re-enacted from time to time are complied with; and
- (d) where time permits, the Trust is consulted before any such measures are undertaken.

In any case, the Owner shall advise the Trust forthwith when it undertakes temporary measures in respect of the Buildings in an emergency situation.

4.5 Signs and Fixtures

The Owner shall not place or affix on the Buildings or the Protected Lands any signs, satellite receiving dishes, or other similar objects and fixtures without the prior written approval of the Trust. Such approval may, in the sole discretion of the Trust and for any reason which the Trust considers necessary, be refused.

4.6 Regulated Activities

With respect to the Protected Lands, except with the prior written approval of the Trust, the Owner shall not:

- (a) grant any easement or right of way;
- (b) sever or subdivide;
- (c) erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever except temporary fencing required during construction;
- (d) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (e) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the Protected Lands, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, or other materials;
- (f) allow the removal, destruction or cutting of trees, shrubs or other vegetation;
- (g) allow the planting of trees, shrubs or other vegetation which would have the effect of (i) reducing the aesthetics of the Buildings or the Protected Lands, or (ii) causing any damage to the Buildings; or
- (h) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control or soil conservation.

4.7 Archaeological Resources

In the event that archaeological resources are uncovered at the Property during the course of any permitted excavations or ground disturbance, the Owner shall immediately cease all activities at the specific location where the discovery has exposed buried structural features and/or artifacts and notify the Trust in writing forthwith. The Trust may require that the Owner, at its cost, retain a licensed consulting archaeologist to investigate and document the finds prior to the Owner continuing or allowing the continuance of any excavation or ground disturbance.

4.8 Human Remains

In the event that human remains are uncovered at the Protected Lands during excavations or ground disturbances, in addition to any other parties or authorities that the Owner is legally required to contact, the Owner shall also notify the Trust immediately and cease all activities at the specific location(s) where human remains have been discovered.

5.0 OWNER'S RESERVED RIGHTS

- 5.1 The Owner expressly reserves for itself the right to use the Protected Lands and carry out such activities as are not inconsistent with the Purpose of this Agreement and which do not materially adversely affect, directly or indirectly, the Heritage Features.

6.0 APPROVALS

6.1 Information to be provided

In requesting any approval under this Agreement the Owner shall at its expense provide to the Trust such information in such detail as the Trust may reasonably require in order to consider and assess the Owner's request (the "**Information**") including without limitation the following:

- 1. plans, specifications describing the elevations, other drawings, sections and designs for any proposed work;
- 2. materials samples;
- 3. a work schedule;

4. the report of a qualified conservation engineer, architect, landscape architect, archaeologist, conservator or consultant; and
5. such other reports, studies or tests as may in the circumstances be reasonably required for the Trust to appropriately assess the impact of the proposed work on the Heritage Features.

6.2 Matters to be Considered

Where any request for approval required under this Agreement is submitted to the Trust, the determination of the Trust may be based upon choice of materials, architectural design, historical authenticity, or any other grounds, not limited to purely aesthetic or historical grounds, but the Trust's approval shall not be unreasonably withheld, unless otherwise specifically provided for in this Agreement. In considering any request for approval the Trust shall be guided by and apply the Conservation Principles and Practices. In giving its approval, the Trust may specify such conditions of approval as the Trust considers necessary or appropriate in the circumstances to ensure the conservation of the Heritage Features.

6.3 Deemed Approval

Provided that the Owner has first complied with the requirements of section 6.1 to the satisfaction of the Trust, any approval required to be obtained from the Trust under this Agreement shall be deemed to have been given upon the failure of the Trust to respond in writing to a written request for it within sixty (60) days of receiving such request and all of the Information requested by the Trust at its address as set out in section 11.1 of this Agreement.

6.4 Conditions of Approval

If the approval of the Trust is given or deemed to have been given under this Agreement the Owner, in undertaking or permitting the construction, alteration, remodelling, or other thing or act so approved of or deemed to be approved of, shall comply with all of the conditions of approval specified by the Trust in its approval including the use of materials and methods specified by the Trust in its approval.

6.5 Where Owner in Default

In the event that the Owner is in default of any of its obligations under this Agreement and, pursuant to section 10.1, the Trust has notified the Owner of such default, then the Trust may refuse to consider any request for approval submitted by the Owner whether requested before or after such notice of default has been given to the Owner and the deemed approval provisions of section 6.3 shall not apply so long as the Owner is in default.

6.6 Effect of Approval

Any approval given by the Trust under this Agreement shall have application only to the requirements of this Agreement and does not relieve the Owner from obtaining any approvals, permits or consents of any authority whether federal, provincial, municipal or otherwise that may be required by any statute, regulation, by-law, guideline or policy or by any other agreement.

7.0 **INDEMNITY AND INSURANCE**

7.1 Indemnity

The Owner shall hold the Trust and its employees, officers, agents, contractors and representatives harmless against and from any and all liabilities, suits, actions, proceedings, claims, causes, damages, judgments or costs whatsoever (including all costs of defending such claims) arising out of, incidental to, or in connection with any injury or damage to person or property of every nature and kind (including death resulting therefrom), occasioned by any act or omission of the Owner related to this Agreement, save and except for any such liabilities and claims for or in respect of any act, deed, matter or thing made or done by the Trust and its employees, officers, agents, contractors and representatives pursuant to sections 8.4, 9.1 and 10.2 of this Agreement.

7.2 Insurance

- 7.2.1 The Owner agrees to put in effect and maintain or cause to be put in effect and maintained, at all times, with insurers acceptable to the Trust, the following insurance (collectively the "Insurance"):

- (a) Commercial General Liability (“CGL”) coverage of an inclusive limit of not less than Five Million Dollars (\$5,000,000) per occurrence for Property Damage, Third-Party Bodily Injury and Personal Injury with the Trust being an additional insured and including the following policy endorsements: Cross-Liability and 30 day notice of cancellation;
- (b) Property insurance to a limit commensurate to the full replacement cost value of the Buildings on an “All Risks” basis and including the following policy endorsements: Replacement Cost Value, Stated Amount Co-Insurance, the Trust as an additional insured and thirty (30) days written notice of cancellation; and

The Owner shall deliver to the Trust upon the execution of this Agreement a certificate or certificates of the Insurance in a form and with limits satisfactory to the Trust, and thereafter evidence satisfactory to the Trust of the renewal of the Insurance shall be delivered to the Trust at least fifteen (15) clear days before the termination thereof.

- 7.2.2 If the Owner fails to obtain the Insurance or if the Insurance is cancelled, the Trust may effect such Insurance and the premium and any other amount paid in so doing shall forthwith be paid by the Owner to the Trust, or if not, shall be a debt owing to the Trust and recoverable from the Owner by action in a court of law.
- 7.2.3 All proceeds receivable by the Owner under the Insurance shall, on the written demand and in accordance with the requirements of the Trust, be applied to replacement, rebuilding, restoration or repair of the Buildings to the fullest extent possible having regard to the particular nature of the Buildings and the cost of such work. The Owner's financial liability to replace, rebuild, restore or repair the Buildings if it has been damaged or destroyed shall not exceed the proceeds receivable by the Owner under the Insurance. In the event that the Insurance proceeds receivable by the Owner are insufficient to effect a partial or complete restoration of the Buildings, the Trust shall have the privilege, but not the obligation, of contributing additional monies towards the replacement, rebuilding, restoration, or repair costs in order to effect a partial or complete restoration of the Heritage Features.
- 7.2.4 The amount of Insurance coverage specified in clause 7.2.1(a) that the Owner is required to put in effect may be increased by the Trust from time to time on written notice to the Owner to such amount that is prudent in the circumstances taking into account inflation, changes in the risks associated with the Protected Lands and industry practice.

8.0 BUILDING DEMOLITION OR REBUILDING

8.1 Notice of Damage or Destruction

In the event of any significant damage to or destruction of the Buildings the Owner shall notify the Trust in writing of such damage or destruction to the Buildings within ten (10) clear days of such damage or destruction occurring.

8.2 Approval to Demolish

If in the opinion of the Owner the replacement, rebuilding, restoration or repair of the Buildings which has been damaged or destroyed is impractical because of the financial costs involved or because of the particular nature of the Buildings, the Owner shall, in writing within forty (40) days of giving the Trust notice under section 8.1, request the Trust's approval to demolish the Buildings. In the event that the Trust approves or is deemed to approve the demolition of the Buildings, the Owner shall be entitled to retain any insurance proceeds payable to it as a result of the damage to or destruction of the Buildings and to demolish the Buildings.

8.3 Rebuilding by Owner

In the event that either the Owner does not request or the Trust does not give the approval referred to in section 8.2, the Owner shall replace, rebuild, restore or repair the Buildings to the limit of any proceeds receivable under the aforementioned insurance policy or policies on the Buildings and of any additional monies contributed by the Trust towards the replacement, rebuilding, restoration or repair of the Buildings to effect a partial or complete restoration of the Heritage Features (in this section 8.0, the “Work”). Before the commencement of the Work, the Owner shall submit all plans, designs and specifications for the Work for its written approval within one hundred and thirty-five (135) days of the damage or destruction occurring to the Buildings. The Owner shall not commence or cause the Work to be commenced before receiving the written approval of the Trust of the plans, designs and specifications for the Work and the Work shall be performed in accordance with the approved plans, designs and specifications and upon such terms and conditions as the Trust may

stipulate. The Owner shall cause the Work to be commenced within thirty (30) days of its approval by the Trust and to be completed within nine (9) months of commencement, or as soon as possible thereafter if factors beyond its control or the scope of the Work prevent completion within nine (9) months.

8.4 Reconstruction by Trust

- 8.4.1 In the event that the Owner does not submit a request to demolish the Buildings or the request to demolish is refused by the Trust and the Owner subsequently fails to submit plans, drawings and specifications for the Work within the period stipulated in section 8.3 which are acceptable to the Trust then the Trust may at its option prepare its own plans, drawings and specifications for the Work (herein the “**Trust’s Plans**”) and shall deliver a set of the Trust’s Plans to the Owner. The Owner shall have thirty (30) days from receiving the Trust’s Plans to notify the Trust in writing that it intends to undertake the Work in accordance with Trust’s Plans. If the Owner does not so notify the Trust within the said thirty (30) days, the Trust may (but shall not be obligated to) undertake the Work up to the value of any insurance proceeds receivable by the Owner in respect of the Buildings and of any additional amount that the Trust is prepared to contribute to effect a partial or complete restoration of the Heritage Features. The Owner shall reimburse the Trust for any expenses incurred by the Trust in undertaking the Work, including any professional or consulting costs reasonably incurred in connection with the Work to an amount not to exceed any insurance proceeds receivable by the Owner in respect of the damage to or destruction of the Buildings.
- 8.4.2 The Owner grants to the Trust the right and licence to enter and occupy the Property and the Buildings or such part or parts thereof that the Trust acting reasonably considers necessary or convenient for the Trust and its forces to undertake and complete the Work (herein the “**Licence**”). The Licence shall be exercisable by the Trust on the commencement of any Work undertaken by the Trust and shall terminate when such Work has been completed.
- 8.4.3 In the event that the Trust does not submit to the Owner the Trust’s Plans or does not proceed with the Work within sixty (60) days after it becomes so entitled, except where it is prevented from so doing by any act or omission of the Owner or any tenant or agent of the Owner, or by any other factors beyond its control, the Trust’s right to undertake the Work shall automatically terminate and the Owner shall be entitled to retain any insurance proceeds in respect of the damage to or destruction of the Buildings.

9.0 **INSPECTION, ACCESS LANDS AND PUBLIC VIEWING**

9.1 Inspection and Right of Way

The Trust or its representatives shall be permitted at all reasonable times during normal business hours to enter upon and inspect the Protected Lands and the Buildings, upon giving at least forty-eight (48) hours prior written notice to the Owner.

- 9.1.1 The Owner hereby grants to the Trust, its employees, agents, service providers, contractors and invitees, a right, interest and easement upon, over, across and along the Access Lands (the “**Right of Way**”) for the purpose of providing the Trust with a means of ingress and egress to and from the Protected Lands, including providing the Trust with pedestrian and vehicular access (along with all necessary equipment and materials) from Highbury Avenue North directly to the Horse Stable Zone and the Campus Zone and directly to Allée and Ring Road Zone, so as to enable the Trust to exercise its rights under this Agreement including: (i) conducting inspections pursuant paragraph 9.1; and (ii) exercising its remedial rights under sections 8.4, 10.1 and 10.2 of this Agreement, such right, interest and easement to continue in force until such time as the City of London assumes and opens a public road system on the Former Hospital Lands that provides the Trust with legal public vehicular and pedestrian access over dedicated public highways from Highbury Avenue North directly to the Horse Stable Zone and the Campus Zone and directly to the Allée and Ring Road Zone.
- 9.1.2 Upon the assumption and opening by the City of London of a public road system on the Former Hospital Lands which provides the Trust, its employees, agents, service providers, contractors and invitees, with legal public vehicular and pedestrian access (along with all necessary equipment and materials) over dedicated public highways directly to the Horse Stable Zone and the Campus Zone and directly to Allée and Ring Road Zone from Highbury Avenue North, the right, interest and easement granted in favour of the Trust by the Owner over the Access Lands under paragraph 9.1.1 shall expire and be extinguished. Any expiry of the Right of Way pursuant to this section 9.1.2 shall not affect or derogate from any other terms and conditions of this Agreement, save the Right of Way granted under section 9.1.1, and all other covenants, easements and restrictions granted herein shall remain in full force and effect in accordance with the terms and conditions of this Agreement.

9.2 Public Viewing

- 9.2.1 The Owner shall ensure that reasonable public access is available to the Protected Lands and the Buildings on a regular basis during normal business hours to permit public appreciation and interpretation of the Heritage Features and the Cultural Heritage Landscape Features, subject to such reasonable restrictions on public access to the interior of the Buildings as the Owner may require for business, privacy or security reasons.
- 9.2.2 The Owner shall, in addition to the requirements of subsection 9.2.1, at the request of the Trust, arrange for the Protected Lands and the Buildings, to be accessible for special event public viewing on at least two (2) occasions during each calendar year and that reasonable prior notice of such special event public viewing be given to the Trust.

10.0 REMEDIES OF TRUST

10.1 Notice of Default

If the Trust, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of its duties or obligations set out in this Agreement, the Trust may, in addition to any of its other legal or equitable remedies, give the Owner written notice setting out particulars of the Owner's default and the actions required to remedy the default. The Owner shall have thirty (30) days from receipt of such notice to remedy the default in the manner specified by the Trust or to make other arrangements satisfactory to the Trust for remedying the default within such period of time as the Trust may specify.

10.2 Trust May Rectify Default

If the Owner has not remedied the default or made other arrangements satisfactory to the Trust for remedying the default within the time specified in section 10.1, or if the Owner does not carry out the arrangements to remedy the default within the period of time specified by the Trust, the Trust may enter upon the Access Lands and Protected Lands and may carry out the Owner's obligations and the Owner shall reimburse the Trust for any expenses incurred thereby. Such expenses incurred by the Trust shall, until paid to it by the Owner, be a debt owed by the Owner to the Trust and recoverable by the Trust by action in a court of law. The provisions of subsection 8.4.2 shall apply with all necessary changes required by the context to any entry by the Trust onto the Property to remedy the default.

10.3 Other Remedies

As damages based upon market value may not be adequate or effective to compensate for destruction of or restoration of the Heritage Features or the Cultural Heritage Landscape Features as they existed prior to default or breach of the Agreement, the parties agree that:

- (a) compensation to the Trust in the event of the Owner's default under this Agreement may be based upon market value, restoration or replacement costs whichever, in the opinion of the court, shall better compensate the Trust in the circumstances; and
- (b) in addition and without limiting the scope of the other enforcement rights available to the Trust under this Agreement, the Trust may bring an action or an application for injunctive relief to prohibit or prevent the Owner's default or the continuance of the Owner's default under this Agreement.

11.0 NOTICE

- 11.1 Any notices to be given or required under this Agreement shall be in writing and sent by personal delivery, facsimile transmission ("Fax"), or by ordinary prepaid mail to the following addresses:

To the Owner:

Old Oak Properties Inc.
Suite 600, 465 Richmond Street
London, ON N6A 5PA
Attention: Gregory C. Bierbaum, President
Fax: 519-439 6572

To the Trust:

Ontario Heritage Trust
10 Adelaide Street East
Toronto ON M5C 1J3
Attention: Easements Program
Fax: 416-325-5071

The parties may designate in writing to each other a change of address at any time. Notice by mail shall be deemed to have been received on the fourth (4th) business day after the date

of mailing, and notice by personal delivery or Fax shall be deemed to have been received at the time of the delivery or transmission. In the event of an interruption in postal service, notice shall be given by personal delivery or Fax.

12.0 PLAQUE AND PUBLICITY

12.1 The Owner agrees to allow the Trust, at its expense, to erect a plaque on the Buildings or the Protected Lands, in a tasteful manner and in such location as the Trust and the Owner may mutually determine, acting reasonably, indicating that the Trust holds a heritage conservation agreement on the Protected Lands. The Owner also agrees to allow the Trust to publicize the existence of the Agreement and the Heritage Features in its publications, educational materials, website and research databases.

13.0 GENERAL

13.1 Waiver

The failure of the Trust at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Trust of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Any waiver must be in writing and signed by the Trust.

13.2 Extension of Time

Time shall be of the essence of this Agreement. Any time limits specified in this Agreement may be extended with the consent in writing of the Trust, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Agreement notwithstanding any extension of any time limit. Any extension must be in writing and signed by the Trust.

13.3 Severability of Covenants

All covenants, easements and restrictions contained in this Agreement shall be severable, and should any covenant, easement or restriction in this Agreement be declared invalid or unenforceable, the validity and enforceability of the remaining covenants, easements and restrictions shall not be affected.

13.4 Costs

In the event that a dispute arises between the parties hereto because of this Agreement, each party shall be responsible for its own legal fees, court costs and all other similar expenses that may result from any such dispute except where costs are awarded by a court or a tribunal.

13.5 Entirety

This Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal, collateral or otherwise, exist between the parties except as herein expressly set out.

13.6 Subsequent Instruments

Notice of this Agreement shall be inserted by the Owner in any subsequent deed, lease or other legal instrument by which it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property, the Protected Lands or the Buildings provided that such notice shall not be required where the Owner, in leasing and licensing premises in the Buildings, retains responsibility for the alteration of any Heritage Features forming part of the licensed or leased premises and the tenant or licensee has no authority to alter such Heritage Features.

13.7 Notification of Transfer of Title or Possession

The Owner shall immediately notify the Trust in the event that it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property, the Protected Lands or the Buildings, provided that such notice shall not be required where the Owner, in leasing and licensing premises in the Buildings, retains responsibility for the alteration of any Heritage Features forming part of the licensed or leased premises, and the tenant or licensee has no authority to alter such Heritage Features.

13.8 Agreement to Run with the Property

This Agreement shall be registered on title to the Property and the covenants, easements and restrictions set out herein shall run with the Property and enure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, personal representatives, successors and assigns, as the case may be. In order to effect the registration the Trust may, at its option:

- (a) authorize and direct the Owner to register this Agreement against title to the Property, as a first encumbrance in accordance with section 13.9 of this Agreement; or
- (b) register this Agreement against title to the Property, as a first encumbrance, in which event registration of this Agreement shall be at the Trust's expense, and section 13.9 of this Agreement shall continue to apply with respect to priority and postponement.

If the Trust authorizes and directs the Owner to register the Agreement against title to the Property in accordance with subsection 13.8(a) above, the Owner shall forthwith upon such registration provide the Trust with a copy of the registered instrument and a copy of the parcel register for the Property showing registration of the Agreement as a first encumbrance on title to the Property subject only to any Permitted Encumbrances in accordance with section 13.9.

13.9 Priority and Postponement

The Owner shall, at its expense, obtain and register any postponement agreements or other similar agreements that the Trust may require to ensure that this Agreement shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Protected Lands, save and except for and subject to any encumbrances which affect the Property and are set out in Schedule "A2" of this Agreement as permitted encumbrances (the "**Permitted Encumbrances**"). For greater certainty, the Owner shall not be required to obtain or register any postponement agreements or other similar agreements in respect of any Permitted Encumbrances.

13.10 Assignment

The Trust may assign all of its interest in this Agreement to any person in accordance with section 22(3) of the Act. The Trust shall not be liable to the Owner for any breach or default in the obligations owed to the Owner under this Agreement committed after notice of the assignment of this Agreement has been given to the Owner.

13.11 Owner Not Liable

No person who is an Owner shall be liable to the Trust for any breach of or default in the obligations of the Owner owed to the Trust under this Agreement committed after the registration of a transfer by such person of that person's entire interest in the Property to another person, provided that the Owner has delivered to the Trust notice of such transfer and an acknowledgement and assumption executed by the new registered owner, acknowledging the priority of this Agreement and the interest of the Trust, and assuming the obligations of the Owner under this Agreement.

13.12 Gender, Number and Joint and Several

Words importing the masculine gender include the feminine or neutral gender and words in the singular include the plural, and *vice versa*. Whenever the Owner comprises more than one person, the Owner's obligations in this Agreement shall be joint and several.

13.13 Circumstances Beyond the Control of Either Party

Neither party will be responsible for damage caused by delay or failure to perform under the terms of this Agreement resulting from matters beyond the control of the Trust and the Owner including strike, lockout or any other action arising from a labour dispute, fire, flood, act of God, war, riot or other civil insurrection, lawful act of public authority, or delay or default caused by a common carrier which cannot be reasonably foreseen or provided against.

13.14 Headings

The headings in the body of this Agreement form no part of the Agreement but are inserted for convenience of reference.

13.15 Counterparts

This Agreement may be executed by the parties in one or more counterparts, each of which shall be deemed to be an original and all of which taken together shall be deemed to constitute one and the same instrument. Each of the parties hereto agree that this Agreement may be delivered, once executed, by facsimile transmission (and the executed version of this Agreement delivered by facsimile transmission shall have the same force and effect as if it were originally executed and personally delivered) and that a photocopy of a facsimile copy of the Agreement may be relied upon by all parties that have signed the Agreement to the same extent as if it were an original executed version addressed specifically to each of them. Notwithstanding the foregoing, at the request of a party, the parties shall exchange originally signed copies of this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement effective as of the date first written above.

ONTARIO HERITAGE TRUST

Per: 
Beth Hanna – Chief Executive Officer

Per: 
Wayne Kelly – A/Director, Heritage Programs and Operations

We have authority to bind the Trust.

OLD OAK PROPERTIES INC.

Per: 
Gregory C. Bierbaum, President:

I have authority to bind the Corporation.

SCHEDULE "A1"

LEGAL DESCRIPTION OF THE PROPERTY

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2, 4, 5, 7, 9, 10, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 24, 28, 30, 34, 35, 36, 38, 39 and 40 Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE PROTECTED LANDS

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2, 4, 5, 7, 9, 10, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 24, 34, 36, 38, 39 and 40 Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE ACCESS LANDS

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 28, 30, and 35, Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE ALLÉE AND RING ROAD ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2, 4, 5, 9, 10, 18, 19, 20, 21, 22, 23, and 24, Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE CAMPUS ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 7, 12, 13, 14, 17, and 40, Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE HORSE STABLE ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 34, 36, 38, and 39, Plan 33R-20053, City of London, County of Middlesex

SCHEDULE "A2"
PERMITTED ENCUMBRANCES

1. Instrument No. ER85796 registered November 27, 2000 - Bylaw No. LSP-3321-208 of the Corporation of the City of London to designate the property municipally known as 850 Highbury Avenue and more particularly described in Schedule A thereof, pursuant to the Ontario Heritage Act, as being real property of historical and architectural value or interest.
2. Instrument No. 644506 registered July 25, 1983 - Agreement for Right-of-Way between Her Majesty the Queen in right of Ontario as represented by the Minister of Government Service ("MGS"), as grantor, and Union Gas Limited, as grantee, over lands described as Parts 3, 4, 9, 10, 11, 12, 15, 17, 20, 23 and 26 on Plan 33R-20053, for purposes of constructing and maintaining a gas transmission pipeline.
3. Instrument No. 623868 registered October 1, 1982 - Agreement for Right-of-Way between MGS, as grantor, and Union Gas Limited, as grantee, over lands described as Part 32, 36 and 37 on Plan 33R-20053, for the purposes of constructing and maintaining a gas transmission pipeline.
4. Instrument No. 526153 - Order in Council # PC 1978-3/2759 dated August 30, 1978, transferring control of lands described as Parts 19, 20, 21 and 28 on Plan 33R-20053, from Her Majesty in right of the Province of Ontario to Her Majesty in right of Canada for the purposes of road access for pedestrian and light vehicle traffic only.

SCHEDULE "B1"

STATEMENT OF CULTURAL HERITAGE VALUE AND INTEREST

DESCRIPTION OF HISTORIC PLACE:

The former London Psychiatric Hospital is located at 850 Highbury Avenue North on a 26.3-hectare (65-acre) parcel of land in the City of London. The rectangular-shaped property is bounded by Highbury Avenue North, Oxford Street East, Dundas Street East and a Canadian Pacific Railway spur line. The Former Hospital Lands contain a complex of 23 buildings and a number of landscape features. Four of the buildings have been identified as having provincial heritage value: the Chapel of Hope (1884), Horse Stable (1894), Infirmary (1902), and the Recreation Hall (ca.1920). A number of landscape features have been as identified having provincial heritage value. These include remnants of a ring road and a circular drive, open space, remnants of an ornamental landscape containing mature plantings of black walnut trees and the grand, tree-lined Allée. The facility opened in 1871 as the London Asylum for the Insane and operated under a number of names over the course of its history including the Ontario Hospital London, London Psychiatric Hospital and Regional Mental Health Care Centre.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients¹ lived and received treatment. The rural location of the London Psychiatric Hospital was part of "moral therapy," an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time that the Infirmary Building was constructed as part of Superintendent R.M Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a standalone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope,

¹ The accepted term for a recipient of mental health services is "client". For the purposes of this report, which is a discussion of the history of the site, patient will be used unless discussing present-day client care.

Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynaecological surgeries on women for treatment of mental illness.

BACKGROUND:

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new institution partially due to the influence of John Carling – Ontario’s first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

Religion was an important part of moral therapy treatment and the new chapel was constructed by patient labour as part of their treatment plan. The Chapel was built in 1884 at the behest of Dr. Bucke who petitioned the provincial government to fund its construction. Regular church services were part of treatment at the London Asylum with religious services held in the general recreation facilities prior to the Chapel’s construction. The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone Chapel.

The Infirmary or Exam Building, completed in 1902 was intended to house patients who needed more enhanced medical care and offered dormitories and individual rooms for patients and common rooms and sunrooms. Superintendent Bucke toured similar facilities in the United States and helped design the building plan with provincial architect Francis R. Heakes. In 1908 the building was converted to use as a reception hospital to house new and short-term patients. These short-term patients might stay for a few months to a few years, and had access to advanced treatments such as showers, massages and continuous baths.

Following the First World War, a large number of Canadian veterans were admitted to London Psychiatric Hospital suffering from psychological effects of the war. They were treated for “shell-shock” for which symptoms are now associated with post-traumatic stress disorder. Overcrowding was an issue at the London Psychiatric Hospital and by 1924 it accommodated almost 1200 patients. Maintaining a peaceful and idyllic setting for patients was difficult for the superintendents due to the overcrowding. Many common and sun rooms were used as wards to accommodate patients instead of places of rest and relaxation. R.M Bucke is the most well-known and controversial superintendent at the London Psychiatric Hospital for his encouragement and use of gynecological surgeries on women. Some argue the surgeries were an attempt by Bucke to find a successful treatment for his patients – but there seems to be little merit of such surgeries on mentally ill women. Upon his death, the use of gynecological surgery came to an end at London Psychiatric Hospital. The London Psychiatric Hospital is also associated with eight superintendents who were the chief administrators and medical directors of the London Psychiatric Hospital from 1870-1970. They had an array of responsibilities including supervising staff, medical services, training nurses, therapies, property and facilities maintenance and medical study of all patients. .

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Architectural Value:

Chapel of Hope

The Chapel of Hope was built in 1884 by patient labour under instruction by Superintendent Bucke. It is a 1 ½ storey buff-brick structure in the Gothic Revival style and features two chimney's at the east and west elevation. The gable roof is interrupted with four dormers on the north and south elevations with trefoil shaped windows. The side walls feature seven gothic-arched stained glass windows separated by buttresses. The stained glass window over the alter features a combination of religious and London Psychiatric Hospital images.

Horse Stable

The Horse Stable was built in 1894 under the direction of Superintendent Bucke and the scale and quality of materials shows the importance of agriculture to the self-sufficiency and practice of moral therapy at London Psychiatric Hospital. It is a large two-storey buff brick building. There are two intersecting gable roof sections and five ventilators along the apex to provide ventilation and give the building a distinct silhouette. The segmental arched window openings (bricked over) have brick voussoirs and most have stone sills. The eaves have tongue and groove soffits. A large second storey board and batten door provides access to the hay loft on the building's west elevation .

The Infirmary

The Infirmary is an imposing building with a combination of architectural styles popular in the Victorian-era including Beaux-arts Classicism, Edwardian Classicism and Colonial Revival. The Infirmary is constructed of local buff brick with a central administration block with two recessed symmetrical wards on either side (one for men and one for women). The three-storey central block sits on a raised basement. It has a hipped roof with a central skylight to the operating theatre and tall distinctive chimneys. The main front entrance is topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentilated cornice. The symmetrical wards are connected to the central block by a narrow corridor. The wards feature Colonial Revival influence seen in the projecting central bay with a pediment and coins, ventilators, dormer windows and dentillated cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid. The current ones are rectangular and date from 1945. The rear (north) elevation of the Infirmary is simplified with projecting bays, dormer windows and tall chimneys. All of the window openings are flat-arched and many of the double-hung wood-sash windows survive. The exception is a singular rounded-arch window on both ward façades above an off-centered entrance door.

Recreation Hall

The Recreation Hall was constructed in 1920 and is located directly east of the Chapel of Hope. It was constructed in a Classical Revival style of reddish-brown brick laid in common bond. It features a symmetrical façade frontispiece – a central block and two flanking wings. The central block features a pediment with an oculus window, a central rectangular shaped tripartite window flanked with 6-paned window. The flanking wings feature a rounded-arched window. The brickwork that surrounds the windows is dark brown and extends well beyond the base of the window. Each of the six multi-paned rectangular wood windows are divided into three parts on the side-walls and set within a shallow rounded-arched niche. The austere rear elevation features coining and a singular rounded-arched window in the gable.

Contextual Value:

The London Psychiatric Hospital is deliberately setback from the main street to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan. The historic main entrance to the Former Hospital Lands is off Dundas Street East where the Allée leads visitors from the street and into the complex of institutional buildings. The Former Hospital Lands were originally surrounded by a rural farming landscape. They are now bordered by three extremely busy thoroughfares (Highbury Avenue North, Oxford Street East and Dundas Street East) and the surrounding neighbourhood has evolved to become the home to several business and industries along Highbury Avenue North and Dundas Street East and a residential subdivision to the east.

Archaeological Value:

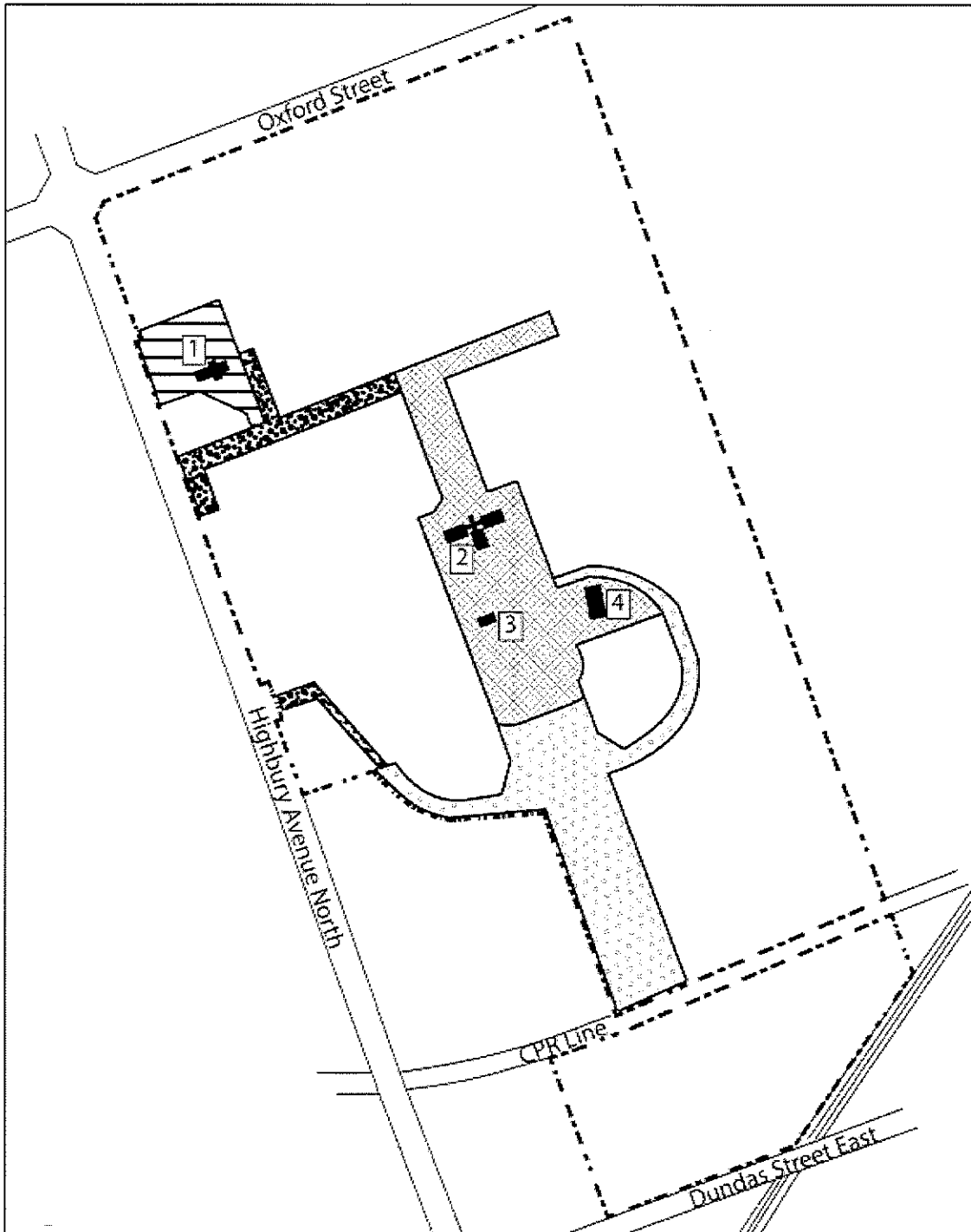
The London Psychiatric Hospital has archaeological value due to the below ground resources associated with the evolution mental health care. The main building, airing yard, portions of the root house represent the era in the 19th century when use of the Kirkbride Plan and self-sufficiency was the norm at these large-scale government run mental health institutions.

:SF August 23 2017

SCHEDULE "B2"

SITE SKETCH SHOWING





- A. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE PROTECTED LANDS AND THE ACCESS LANDS ON THE FORMER HOSPITAL LANDS
- B. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE ALLÉE AND RING ROAD ZONE ON THE PROTECTED LANDS
- C. THE APPROXIMATE LOCATION OF BUILDINGS ON THE PROTECTED LANDS



SKETCH NOT TO SCALE

SKETCH NOT A PLAN OF SURVEY

LEGEND

- | | | |
|---|------------------------------|----------------------|
|  | Access Lands | |
|  | Allée and Ring Road and Zone | 1. Horse Stable |
|  | Campus Zone | 2. Infirmary |
|  | Horse Stable Zone | 3. Chapel of Hope |
| | | 4. Recreational Hall |

- . - . - . Boundaries of the Former Hospital Lands

SCHEDULE "B3"

DESCRIPTION OF THE HERITAGE FEATURES

The Heritage Features referred to in this Agreement are comprised of the exteriors of the Buildings on the Protected Lands which include, but are not limited to, the following highlighted elements which contribute to their heritage value:

The Horse Stable:

- General massing and two intersecting gable roof sections
- "t"-shaped footprint
- Local buff brick (also called white brick)
- Five roof ventilators
- Brick chimney (east elevation)
- Location of existing segmental-arched window and door openings
- Brick voussoirs and stone sills above and below window openings
- Board and batten upper access doors to hay loft (west elevation)

Chapel of Hope:

- Local buff brick construction
- Gable roof topped with a finial
- Double-lancet stained glass windows
- Large stained glass window above the alter depicting religious imagery and scenes from the London Psychiatric Hospital
- Bull's eye window with quatrefoil muntin in the gable end
- Seven bay side walls with buttresses
- Trefoil dormers
- Chimneys

The Infirmary:

- Local buff brick construction
- Symmetrical composition - tall three-storey central administration block on a raised basement centre block flanked by two identical wards with rectangular wood verandahs
- Main front entrance topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and dentilated cornice
- Tall chimneys and skylights atop the hipped roof of the central block
- Dentilated cornice around the entire building
- Double-hung wood-sash windows
- Flat arch buff-brick lintels and stone sills
- Louvered ventilators atop the flanking wards
- Pediments, dormer and Bull's eye windows of the wards
- The single rounded-arched window of the wards façade
- Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards
- The simplified rear (north) elevation with projecting bays, dormers and chimneys
- Sun porches at the end of each ward

Recreation Hall:

- Reddish-brown brick construction
- Symmetrical façade frontispiece – a central block and two flanking wings.
- Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with 6-paned window
- Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window.
- Side walls with six multi-paned rectangular wood windows divided into three parts and set within a shallow rounded-arched niche
- Raised basement with multi-paned windows
- Projecting bays on the side wall with a pediment, quoins, entrance door and six-over-six wood-sash windows
- Rear elevation features quoins and a rounded-arched window in the gable

SCHEDULE "B3" (continued)

DESCRIPTION OF CULTURAL HERITAGE LANDSCAPE FEATURES

The provincially significant cultural heritage landscape on the Protected Lands is composed of three zones:

1. **The Allée and Ring Road Zone:** This zone contains the grand tree-lined Allée that stretches from the historic entrance at Dundas Street East northward to the circular drive and ring road that connects the Infirmary, the Chapel of Hope and the Recreational Hall. With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the Hospital which are set back from the main entrance off Dundas Street East.
2. **The Campus Zone:** This zone contains three (3) buildings associated with the London Psychiatric Hospital of provincially significant heritage value: the Infirmary, the Chapel of Hope and the Recreational Hall as well as associated open spaces, landscape and plantings. These elements are located within a ring road at the end of a long Allée stretching south to Dundas Street.
3. **The Horse Stable Zone:** This zone is comprised of open space, mature trees and unobstructed views of all sides of the horse stable.

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone include, but are not limited to, the following highlighted elements:

- The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive
- Circular drive with internal green space and east/west access to the ring road
- Remnants of the ring road
- Mature trees that border the ring road on both sides

The Cultural Heritage Landscape Features of the Campus Zone

The Cultural Heritage Landscape Features of the Campus Zone include, but are not limited to, the following highlighted elements:

- The location of the provincially significant buildings: Chapel of Hope, Infirmary and Recreation Hall within the landscape
- Their deliberate setback of the from the Dundas Street East to provide a serene and rural setting
- Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable
- North/south tree-lined roadways framing a view of the north (rear) elevation of the Infirmary
- The open space of the lawn with mature plantings directly south of the Infirmary

The Cultural Heritage Landscape Features of the Horse Stable Zone

The Cultural Heritage Landscape Features of the Horse Stable Zone include, but are not limited to, the following highlighted elements:

- Mature trees including sugar maples and walnuts
- Surrounding open space providing unobstructed views of all four elevations of the Horse Stable

:SF August 23, 2017

SCHEDULE "C"

BASELINE DOCUMENTATION REPORT OUTLINE

A Baseline Documentation Report (BDR) is the document used by the Ontario Heritage Trust and the owner of a Trust easement property to identify the specific heritage character and condition of a property at the time the heritage conservation easement is established or at an agreed upon time thereafter.

The BDR provides the Trust and the owner with a permanent record of the built heritage resources located on an easement property. It is a separate document, completed after the easement agreement is executed, and which forms a legal reference under the agreement (Section 2.2). Its main purpose is to establish the initial benchmark against which future monitoring of the property is conducted by the Trust. It is the datum against which the maintenance requirement of the easement is measured and is the mechanism by which pre-existing alterations or acknowledged property conditions can be authenticated.

There are a number of internationally accepted formatting and archival standards for architectural documentation including: The Library of Congress, HABS/HAER Field Book (U.S. Parks Service), Public Works Government Services Canada - Heritage Conservation Program, and many others. These organizations standardize information for a number of reasons such as accessibility, conservation, completeness of recording and archival stability. By incorporating the best features of these standards with the legal requirements of the easement agreement, the Trust has developed the following Baseline Documentation Report (BDR) Outline which is used at the Ontario Heritage Trust for cultural heritage easement agreements.

A. Preface

The purpose of the BDR as well as the legal context, author/contributors, summary of property data is included here.

B. Statement of Cultural Heritage Value

This is a narrative explanation of the historical, architectural and contextual significance and heritage value of the property. The Character Defining Features embody this significance and are described in greater detail. This section will also include sources and property evolution/ history of alterations.

C. Site Plan/Aerial Photograph

This plan/image should identify the physical boundaries of the property, the adjacent streets, access and the urban or natural context of the property. It should also be a scaled plan based on a survey for greatest accuracy.

D. Condition Report

This component of the BDR clarifies the various architectural systems and physical condition, with textual descriptions of the materials and construction. The BDR shall record all existing signs and fixtures currently located on the Property and the exterior of the Building. This report should identify any major pre-existing deficiencies and cross reference them to the plans and / or photos.

E. Photographic Key Plan

The location and orientation of the camera including the angle relative to the horizon is useful information in re-establishing the views for subsequent monitoring. All images in the BDR should be referenced on the photo key plans(s).

F. Photographs

Two types of photographs are used to visually document the heritage resource.

Black and White Photography

This film type is relatively stable if stored properly. It captures the texture and form of a property much better than colour film. Where necessary, large or medium format photography may be the preferred method of capturing a space or architectural feature. All photography should be as free as possible from optical distortion (i.e. perspective). The ideal elevations are orthogonal though this is not always possible owing to tight geometry and physical access to a property.

Colour Photography

This film captures patina, materials and subtleties of hue that may not be seen in black and white photography. If colour corrected, this medium can provide excellent reference for true colour which may also be provided with Munsell or other well recognized colour reference information. Otherwise the same issues apply as for black and white photography.

G. Architectural Drawings

These may include plans, elevations, sections, and other architectural drawings available and relevant to the Heritage Character Defining Features.

H. Acknowledgement Page

This form is signed and dated by the owner and the Trust. It indicates that both parties agree that the contents of the BDR are accurate to a given date.

I. Legal Context

A copy of the entire registered easement agreement is included as an appendix at the back of the BDR.

J. Copies

All of the material is then recorded on an archival quality CD/DVD and included in the BDR as well. It is recognized that this is not a particularly stable format even when kept in the best archival quality CD/DVD sleeve but it is better than not being included. As stipulated in the easement agreement, a hardcopy of the BDR is deposited with the provincial archives.

A Baseline Documentation Report must be prepared by heritage professionals who have expertise in documenting and assessing heritage resources, their condition and their significance.

SCHEDULE "D"

STANDARDS FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value*² of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The complete *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) may be obtained from the Trust or may be found on the internet at www.historicplaces.ca (or such other website). The *Standards and Guidelines*, a Federal, Provincial and Territorial collaboration, are published by the Government of Canada (ISBN 978-1-100-15952-2) under the administration of Parks Canada

² Definitions of italicized words and phrases are set out in the Glossary included in the 'Standards and Guidelines for the Conservation of Historic Places in Canada'

AUTHORIZATION AND DIRECTION

TO: OLD OAK PROPERTIES INC., and its solicitors, Harrison Pensa LLP

RE: Heritage Conservation Easement Agreement dated as of January 16, 2019 between the Ontario Heritage Trust and Old Oak Properties Inc. respecting a part of a parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex, legally described as Part of PIN 08106-0147 (LT), being Part of Lot 8, Concession 1, being designated as Parts 3 and 4 on Reference Plan 33R-19935, City of London, County of Middlesex (the "Property");

The undersigned confirms that:

1. You are authorized and directed to release for registration and register electronically, on our behalf, the documents described below (the "**Document**") in the form attached, subject to and upon satisfaction of the conditions set out in paragraph 2 of this Authorization and Direction:
 - a. Notice under Section 71 of the Land Titles Act re: Heritage Conservation Easement Agreement between Old Oak Properties Inc. and the Ontario Heritage Trust.
2. This Authorization and Direction, pursuant to section 12.8 of the HCEA, does not release the Documents for registration on our behalf except in compliance with section 12.9 of the Heritage Conservation Easement Agreement dated as of January 16, 2019 between Old Oak Properties Inc. and the Ontario Heritage Trust respecting the Property (the "**HCEA**"), which HCEA requires that the Document shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Property, and that the Owner as defined under the HCEA shall, at its expense, obtain and register any postponement agreements or other agreements that the Ontario Heritage Trust may require to ensure that the Document shall be such a first encumbrance. This Authorization and Direction shall only be valid to release the Document for registration upon compliance with the following conditions:
 - a. as at registration the Document shall be registered as a first encumbrance on title to the Property immediately subsequent to the registered Transfer of the Property to Old Oak Properties Inc.
3. The effect of the Document described in this authorization and direction has been fully explained to us; and we understand that we are parties to and shall be bound by the terms and provisions of the Document to the same extent as if we had signed the Document.
4. This authorization and direction may be validly delivered, once executed, by facsimile transmission or other similar electronic system reproducing the original.

DATED at Toronto this 11th day of January 2019.

ONTARIO HERITAGE TRUST

Per: 
Beth Hanna – Chief Executive Officer

Per: 
Wayne Kelly – A/Director, Heritage Programs
and Operations

We have authority to bind the Trust.

Properties

PIN 08106 - 0147 LT Redescription
Description PART OF LOT 8, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF LONDON,
 DESIGNATED AS PARTS 1 TO 8 ON PLAN 33R-19935, CITY OF LONDON, COUNTY
 OF MIDDLESEX
Address LONDON

Consideration

Consideration \$2.00

Applicant(s)

The notice is based on or affects a valid and existing estate, right, interest or equity in land

Name OLD OAK PROPERTIES INC.
 Acting as a company
Address for Service Suite 600
 465 Richmond Street
 London, ON, N6A 5P4

I, GREGORY C. BIERBAUM, PRESIDENT, have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

Party To(s)	Capacity	Share
--------------------	-----------------	--------------

<i>Name</i> ONTARIO HERITAGE TRUST Acting as a company		
<i>Address for Service</i> 10 Adelaide Street East Toronto, ON, M5C 1J3 Attn: Easement Program		

This document is being authorized by a representative of the Crown.
This document is not authorized under Power of Attorney by this party.

Statements

This notice is pursuant to Section 71 of the Land Titles Act.
This notice is for an indeterminate period
Schedule:

File Number

Applicant Client File Number : CJH-175848

HERITAGE CONSERVATION EASEMENT AGREEMENT

This Agreement made this 16th day of January 2019,

BETWEEN:

OLD OAK PROPERTIES INC.

(hereinafter called the "**Owner**")

– and –

ONTARIO HERITAGE TRUST

a body corporate continued by
the *Ontario Heritage Act*,
R.S.O. 1990, c.O-18, as amended

(hereinafter called the "**Trust**")

WHEREAS:

- A. The Owner is the registered owner of certain lands and premises which are more particularly described in Schedule "A1" attached hereto (the "**Property**"), and which form part of a larger parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex.
- B. The Property was formerly owned by the Government of Ontario and was determined to be a provincial heritage property of provincial significance pursuant to an assessment performed in accordance with the Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance set out in Ontario Regulation 10/06.
- C. Under section F.5 of *The Standards and Guidelines for Conservation of Provincial Heritage Properties* (the "**Standards and Guidelines**") which came into effect as of July 1, 2010, the consent of the Minister is required before a provincial heritage property of provincial heritage significance is transferred from provincial ownership or control.
- D. In light of the foregoing, the Minister has granted consent to the transfer of ownership of the Property to the Owner on the condition that the Owner grant a heritage conservation easement interest to the Trust as a first encumbrance on title to the Property.
- E. By subsection 10(1)(c) of the *Ontario Heritage Act*, R.S.O. 1990, c.O-18, as amended (herein the "**Act**"), the Trust is entitled to enter into agreements, easements and covenants with owners of real property, or interests therein, for the conservation, preservation and protection of the heritage of Ontario.
- F. By section 22 of the Act, any covenants and easements entered into by the Trust, when registered in the proper land registry office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Trust against the owner or any subsequent owners of the real property, even where the Trust owns no other land which would be accommodated or benefited by such covenants and easements.
- G. The Property is part of a larger area of land (the "**Former Hospital Lands**") associated with the former London Psychiatric Hospital. The Former Hospital Lands are bisected by an east-west Canadian Pacific railway line (the "**CPR line**"), thus creating a parcel north of the CPR line, which is legally described as Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2 to 12 inclusive on Plan 33R-15263, City of London, County of Middlesex being the whole of PIN 08106-0158 (LT) (the "**North Parcel**") and a parcel south of the CPR line, which is legally described as PIN 08106-0147 being Part 1 on Plan 33R-15263 (the "**South Parcel**"). The approximate location of the Former Hospital Lands and the CPR line are shown on the site plane sketch in Schedule B3 attached hereto. This agreement relates solely to that part of South Parcel which is the Property.
- H. The Former Hospital Lands contain a provincially significant cultural heritage landscape comprised of the following three zones:
 1. the Allée and Ring Road Zone;
 2. the Campus Zone; and
 3. the Horse Stable Zone.

- I. The general location and configuration of the Allée and Ring Road Zone, the Campus Zone and the Horse Stable Zone on the Former Hospital Lands are shown on the site plan sketch in Schedule "B3" attached hereto.
- J. The Allée and Ring Road Zone is comprised of a tree-lined allée with dual laneways (the "Allée") which extends north from the historic entrance to the Former Hospital Lands off Dundas Street East 470 metres to a circular driveway and remnants of a ring road. The Allée is bisected by the CPR line. This agreement relates exclusively to that part of the Allée and Ring Road Zone situated south of the CPR line on lands described as the Property. The section of the Allée and Ring Road Zone located north of the CPR line is protected under a separate heritage conservation easement agreement.
- K. The general location and configuration of the Property on the Former Hospital Lands are shown on the site plan sketch in Schedule "A3" attached hereto.
- L. The provincial heritage value of the Property lies in the provincially significant cultural heritage landscape on the Property associated with that part of the Allée south of the CPR line.
- M. The Owner and the Trust recognize the provincial heritage value of the Property as set out in the Statement of Cultural Heritage Value and Interest attached hereto as Schedule "B1".
- N. The heritage character defining features of the cultural heritage landscape on the Property that contribute to the provincial heritage value of the Property are described in Schedule "B2" attached hereto (the "**Cultural Heritage Landscape Features**").
- O. The Owner and Trust jointly acknowledge that a secondary plan known as the London Psychiatric Hospital Secondary Plan (the "**Secondary Plan**") was adopted by the City of London on October 3, 2011 by By-law No. C.P. - 1284 (rp) - 283 as part of Official Plan Amendment 510 and that the boundaries of the Property (being the lands protected by this agreement) are not coincident with the parcels identified on the Secondary Plan.
- P. The Owner and the Trust have the common purpose of preserving the heritage value of the Property through the protection and conservation of its Cultural Heritage Landscape Features.
- Q. To this end, the Owner and the Trust desire to enter into this agreement (the "**Agreement**").

THE PARTIES AGREE that in consideration of the sum of Two Dollars (\$2.00) of lawful money of Canada now paid by the Trust to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Trust agree to abide by the following covenants, easements and restrictions which shall run with the Property forever.

1.0 PURPOSE

- 1.1 It is the purpose of this Agreement (herein the "**Purpose**") to ensure that the heritage value of the Property will be preserved in perpetuity as part of the heritage of Ontario. To achieve this purpose, the Owner and the Trust agree that the Cultural Heritage Landscape Features will be retained, maintained and conserved by the Owner through the application of recognized heritage conservation principles and practices and that no change shall be made to the Cultural Heritage Landscape Features that will adversely affect the heritage value of the Property as set out in the Statement of Cultural Heritage Value and Interest.

2.0 HERITAGE VALUE

2.1 Statement of Cultural Heritage Value

The Owner and the Trust agree that the Statement of Cultural Heritage Value explains the heritage value of the Property and that the Cultural Heritage Landscape Features comprise the features of the Property that are to be conserved under this Agreement in order to preserve and protect the heritage value of the Property.

2.2 Baseline Documentation Report

After the registration of the Agreement the Trust shall complete a report depicting and describing the appearance and condition of the Property (including the Cultural Heritage Landscape Features) through photographs, plans, sketches and/or text (the "**Baseline Documentation Report**"). The Baseline Documentation Report will have the structure and contain the information specified in the baseline documentation report outline attached hereto as Schedule "C". When the Baseline Documentation Report has been completed the Owner

agrees to execute an acknowledgment in the Baseline Documentation Report to confirm that it constitutes an accurate depiction and description of the then current appearance and condition of the Property (including the Cultural Heritage Landscape Features). The Baseline Documentation Report will also include a record of existing signs and fixtures on the Property. When signed by both the Owner and the Trust a completed and signed copy of the Baseline Documentation Report shall be given by the Trust to the Owner, an original signed copy will be filed and may be examined at the head office of the Ontario Heritage Trust and an original signed copy will be filed with the Archives of Ontario. When completed and signed by the parties, the Baseline Documentation Report shall be referred to where applicable in determining the respective responsibilities and duties of the Owner and the Trust under this Agreement.

2.3 No Baseline Documentation Report

If the Baseline Documentation Report has not been approved and signed by the parties as provided for in section 2.2, then the Trust may refuse to consider or grant any approval to be given by the Trust under this Agreement until such time as the Baseline Documentation Report has been approved and signed by both parties.

3.0 **CONSERVATION PRINCIPLES AND PRACTICES**

3.1 Both the Owner and the Trust in carrying out their respective responsibilities and duties under this Agreement shall, where applicable, be guided by and apply the conservation principles set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010 Edition), as revised from time to time, and other recognized heritage conservation best practices (collectively herein the “**Conservation Principles and Practices**”).

3.2 The current Standards for the Conservation of Historic Places in Canada set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* are attached for information purposes only as Schedule “D”. Reference to the complete text of the *Standards and Guidelines for the Conservation of Historic Places in Canada* shall be made in applying them.

4.0 **DUTIES OF OWNER**

4.1 Maintenance

4.1.1 The Owner shall maintain the Cultural Heritage Landscape Features of the Property in good condition and appearance and shall not substantially alter those landscape features. Such features include but are not limited to trees, shrubs, lawns and other plantings, view planes, vehicular lanes, pedestrian footpath and other improvements.

4.1.2 For greater clarification of paragraph 4.1.1, the Owner shall maintain:

- (a) the arboreal character of the Allée by planting replacement specimens of the same species as necessary when the existing specimens die, are destroyed by storm damage, become diseased and/or need to be removed for reasons of good tree husbandry or public safety; and
- (b) the open space character of the Allée by regularly mowing the lawns to the boundaries of the Property.

4.2 Alterations

The Owner shall not, without the prior written approval of the Trust, undertake or permit any alteration of the Property, or any other thing or act which would materially affect the condition and appearance of the Cultural Heritage Landscape Features.

4.3 Trust Approval Not Required

In the event that a conservation plan for the Property (hereafter called the “**Plan**”) has been completed and has been jointly approved by the Trust and the Owner, then any and all demolition, construction, reconstruction, renovation, restoration, or alterations, as described therein, shall be deemed approved by the Trust under sections 4.2 and 4.4, subject to the submission of related final drawings and specifications that meet with the written approval of the Trust.

4.4 Emergency Measures

Notwithstanding the provisions of section 4.2, the Owner may undertake such temporary measures in respect of the Cultural Heritage Landscape Features as are reasonably necessary to deal with an emergency situation which puts the public at risk of harm provided that:

- (a) such measures are in keeping with the purpose of this Agreement;
- (b) such measures are consistent with the conservation of the Cultural Heritage Landscape Features; and
- (c) where time permits, the Trust is consulted before any such measures are undertaken.

In any case, the Owner shall advise the Trust forthwith when it undertakes temporary measures in respect of the Cultural Heritage Landscape Features in an emergency situation.

4.5 Signs and Fixtures

The Owner shall not place or affix on the Property any signs, satellite receiving dishes, or other similar objects and fixtures without the prior written approval of the Trust. Such approval may, in the sole discretion of the Trust and for any reason which the Trust considers necessary, be refused.

4.6 Regulated Activities

The Owner shall not in respect of the Property, except with the prior written approval of the Trust:

- (a) grant any easement or right of way;
- (b) sever or subdivide;
- (c) erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever except temporary fencing required during construction;
- (d) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (e) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the Property, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, renewable energy installations, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, or other materials;
- (f) allow the removal, destruction or cutting of trees, shrubs or other vegetation;
- (g) allow the planting of trees, shrubs or other vegetation which would have the effect of reducing the aesthetics or organization of the tree-lined Allée on the Property; or
- (h) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control or soil conservation

4.7 Archaeological Resources

In the event that archaeological resources are uncovered at the Property during the course of any excavations or ground disturbance the Owner shall immediately cease all activities at the specific location where the discovery has exposed buried structural features and/or artifacts and notify the Trust in writing forthwith. The Trust may require that the Owner, at its cost, retain a licensed consulting archaeologist to investigate and document the finds prior to the Owner continuing or allowing the continuance of any excavation or ground disturbance.

4.8 Human Remains

In the event that human remains are uncovered at the Property during excavations or ground disturbances, in addition to any other parties or authorities that the Owner is legally required to contact, the Owner shall also notify the Trust immediately and cease all activities at the specific location(s) where human remains have been discovered.

5.0 OWNER'S RESERVED RIGHTS

- 5.1 The Owner expressly reserves for itself the right to use the Property and carry out such activities as are not inconsistent with the Purpose of this Agreement and which do not materially adversely affect, directly or indirectly, the Cultural Heritage Landscape Features.

6.0 APPROVALS

6.1 Information to be provided

In requesting any approval under this Agreement the Owner shall at its expense provide to the Trust such information in such detail as the Trust may reasonably require in order to consider and assess the Owner's request (the "Information") including without limitation the following:

- (a) plans, specifications describing the elevations, other drawings, sections and designs for any proposed work;
- (b) materials samples;
- (c) a work schedule;
- (d) the report of a qualified conservation engineer, architect, landscape architect, archaeologist, conservator or consultant; and
- (e) such other reports, studies or tests as may in the circumstances be reasonably required for the Trust to appropriately assess the impact of the proposed work on the Cultural Heritage Landscape Features.

6.2 Matters to be Considered

Where any request for approval required under this Agreement is submitted to the Trust, the determination of the Trust may be based upon choice of materials, architectural design, historical authenticity, or any other grounds, not limited to purely aesthetic or historical grounds, but the Trust's approval shall not be unreasonably withheld, unless otherwise specifically provided for in this Agreement. In considering any request for approval the Trust shall be guided by and apply the Conservation Principles and Practices. In giving its approval, the Trust may specify such conditions of approval as the Trust considers necessary or appropriate in the circumstances to ensure the conservation of the Cultural Heritage Landscape Features.

6.3 Deemed Approval

Provided that the Owner has first complied with the requirements of section 6.1 to the satisfaction of the Trust, any approval required to be obtained from the Trust under this Agreement shall be deemed to have been given upon the failure of the Trust to respond in writing to a written request for it within sixty (60) days of receiving such request and all of the Information requested by the Trust at its address as set out in section 10.1 of this Agreement.

6.4 Conditions of Approval

If the approval of the Trust is given or deemed to have been given under this Agreement the Owner, in undertaking or permitting the construction, alteration, remodelling, or other thing or act so approved of or deemed to be approved of, shall comply with all of the conditions of approval specified by the Trust in its approval including the use of materials and methods specified by the Trust in its approval.

6.5 Where Owner in Default

In the event that the Owner is in default of any of its obligations under this Agreement and, pursuant to section 9.1, the Trust has notified the Owner of such default, then the Trust may refuse to consider any request for approval submitted by the Owner whether requested before or after such notice of default has been given to the Owner and the deemed approval provisions of section 6.3 shall not apply so long as the Owner is in default.

6.6 Effect of Approval

Any approval given by the Trust under this Agreement shall have application only to the requirements of this Agreement and does not relieve the Owner from obtaining any approvals, permits or consents of any authority whether federal, provincial, municipal or otherwise that may be required by any statute, regulation, by-law, guideline or policy or by any other agreement.

7.0 INDEMNITY AND INSURANCE

7.1 Indemnity

The Owner shall hold the Trust and its employees, officers, agents, contractors and representatives harmless against and from any and all liabilities, suits, actions, proceedings, claims, causes, damages, judgments or costs whatsoever (including all costs of defending such claims) arising out of, incidental to, or in connection with any injury or damage to person or property of every nature and kind (including death resulting therefrom), occasioned by any act or omission of the Owner related to this Agreement, save and except for any such liabilities and claims for or in respect of any act, deed, matter or thing made or done by the Trust and its employees, officers, agents, contractors and representatives pursuant to sections 8.1 and 9.2 of this Agreement.

7.2 Insurance

7.2.1 The Owner agrees to put in effect and maintain or cause to be put in effect and maintained, at all times, with insurers acceptable to the Trust, the following insurance (collectively the “**Insurance**”):

Commercial General Liability (“CGL”) coverage of an inclusive limit of not less than Five Million Dollars (\$5,000,000) per occurrence for Property Damage, Third-Party Bodily Injury and Personal Injury with the Trust being an additional insured and including the following policy endorsements: Cross-Liability and 30 day notice of cancellation.

The Owner shall deliver to the Trust upon the execution of this Agreement a certificate or certificates of the Insurance in a form and with limits satisfactory to the Trust, and thereafter evidence satisfactory to the Trust of the renewal of the Insurance shall be delivered to the Trust at least fifteen (15) clear days before the termination thereof.

7.2.2 If the Owner fails to obtain the Insurance or if the Insurance is cancelled, the Trust may effect such Insurance and the premium and any other amount paid in so doing shall forthwith be paid by the Owner to the Trust, or if not, shall be a debt owing to the Trust and recoverable from the Owner by action in a court of law.

7.2.3 The amount of Insurance coverage specified in clause 7.2.1(a) that the Owner is required to put in effect may be increased by the Trust from time to time on written notice to the Owner to such amount that is prudent in the circumstances taking into account inflation, changes in the risks associated with the Property and industry practice.

8.0 INSPECTION AND PUBLIC VIEWING

8.1 Inspection

The Trust or its representatives shall be permitted at all reasonable times to enter upon and inspect the Property and inspect the Cultural Heritage Landscape Features upon giving at least twenty-four (24) hours prior written notice to the Owner.

8.2 Public Viewing

8.2.1 The Owner shall ensure that reasonable public access is available to the Property on a regular basis to permit public appreciation and interpretation of the Cultural Heritage Landscape Features.

8.2.2 The Owner shall, in addition to the requirements of subsection 8.2.1, at the request of the Trust, arrange for the Property to be accessible for special event public viewing on at least two (2) occasions during each calendar year and that reasonable prior notice of such special event public viewing be given to the Trust.

9.0 REMEDIES OF TRUST

9.1 Notice of Default

If the Trust, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of its duties or obligations set out in this Agreement, the Trust may, in addition to any of its other legal or equitable remedies, give the Owner written notice setting out particulars of the Owner’s default and the actions required to remedy the default. The Owner shall have thirty (30) days from receipt of such notice to remedy the default in the manner specified by the Trust or to make other arrangements satisfactory to the Trust for remedying the default within such period of time as the Trust may specify.

9.2 Trust May Rectify Default

If the Owner has not remedied the default or made other arrangements satisfactory to the Trust for remedying the default within the time specified in section 9.1, or if the Owner does not carry out the arrangements to remedy the default within the period of time specified by the Trust, the Trust may enter upon the Property and may carry out the Owner's obligations and the Owner shall reimburse the Trust for any expenses incurred thereby. Such expenses incurred by the Trust shall, until paid to it by the Owner, be a debt owed by the Owner to the Trust and recoverable by the Trust by action in a court of law.

9.3 Other Remedies

As damages based upon market value may not be adequate or effective to compensate for destruction of or restoration of the Cultural Heritage Landscape Features as they existed prior to default or breach of the Agreement, the parties agree that:

- (a) compensation to the Trust in the event of the Owner's default under this Agreement may be based upon market value, restoration or replacement costs whichever, in the opinion of the court, shall better compensate the Trust in the circumstances; and
- (b) in addition and without limiting the scope of the other enforcement rights available to the Trust under this Agreement, the Trust may bring an action or an application for injunctive relief to prohibit or prevent the Owner's default or the continuance of the Owner's default under this Agreement.

10.0 **NOTICE**

10.1 Any notices to be given or required under this Agreement shall be in writing and sent by personal delivery, facsimile transmission ("Fax"), or by ordinary prepaid mail to the following addresses:

To the Owner:

Old Oak Properties Inc.
Suite 600, 465 Richmond Street
London, ON N6A 5PA
Attention: Gregory C. Bierbaum, President

Fax: 519-439 6572

To the Trust:

Ontario Heritage Trust
10 Adelaide Street East
Toronto ON M5C 1J3
Attention: Easements Program

Fax: 416-325-5071

The parties may designate in writing to each other a change of address at any time. Notice by mail shall be deemed to have been received on the fourth (4th) business day after the date of mailing, and notice by personal delivery or Fax shall be deemed to have been received at the time of the delivery or transmission. In the event of an interruption in postal service, notice shall be given by personal delivery or Fax.

11.0 **PLAQUE AND PUBLICITY**

11.1 The Owner agrees to allow the Trust, at its expense, to erect a plaque on the Property, in a tasteful manner and in such location as the Trust and the Owner may mutually determine, acting reasonably, indicating that the Trust holds a heritage conservation agreement on the Property. The Owner also agrees to allow the Trust to publicize the existence of the Agreement and the Cultural Heritage Landscape Features in its publications, educational materials, website and research databases.

12.0 **GENERAL**

12.1 Waiver

The failure of the Trust at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Trust of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Any waiver must be in writing and signed by the Trust.

12.2 Extension of Time

Time shall be of the essence of this Agreement. Any time limits specified in this Agreement may be extended with the consent in writing of the Trust, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Agreement notwithstanding any extension of any time

limit. Any extension must be in writing and signed by the Trust.

12.3 Severability of Covenants

All covenants, easements and restrictions contained in this Agreement shall be severable, and should any covenant, easement or restriction in this Agreement be declared invalid or unenforceable, the validity and enforceability of the remaining covenants, easements and restrictions shall not be affected.

12.4 Costs

In the event that a dispute arises between the parties hereto because of this Agreement, each party shall be responsible for its own legal fees, court costs and all other similar expenses that may result from any such dispute except where costs are awarded by a court or a tribunal.

12.5 Entirety

This Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal, collateral or otherwise, exist between the parties except as herein expressly set out.

12.6 Subsequent Instruments

Notice of this Agreement shall be inserted by the Owner in any subsequent deed, lease or other legal instrument by which it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property.

12.7 Notification of Transfer of Title or Possession

The Owner shall immediately notify the Trust in the event that it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property.

12.8 Agreement to Run with the Property

This Agreement shall be registered on title to the Property and the covenants, easements and restrictions set out herein shall run with the Property and enure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, personal representatives, successors and assigns, as the case may be. In order to effect the registration the Trust may, at its option:

- (a) authorize and direct the Owner to register this Agreement against title to the Property, as a first encumbrance in accordance with section 12.9 of this Agreement; or
- (b) register this Agreement against title to the Property, as a first encumbrance, in which event registration of this Agreement shall be at the Trust's expense, and paragraph 12.9 of this Agreement shall continue to apply with respect to priority and postponement.

If the Trust authorizes and directs the Owner to register the Agreement against title to the Property in accordance with subsection 12.8(a) above, the Owner shall forthwith upon such registration provide the Trust with a copy of the registered instrument and a copy of the parcel register for the Property showing registration of the Agreement as a first encumbrance on title to the Property, subject only to any Permitted Encumbrances, in accordance with section 12.9.

12.9 Priority and Postponement

The Owner shall, at its expense, obtain and register any postponement agreements or other agreements that the Trust may require to ensure that this Agreement shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Property, save and except for and subject to any encumbrances which affect the Property and are set out in Schedule "A2" of this Agreement as permitted encumbrances (the "**Permitted Encumbrances**").

12.10 Assignment

The Trust may assign all of its interest in this Agreement to any person in accordance with section 22(3) of the Act. The Trust shall not be liable to the Owner for any breach or default in the obligations owed to the Owner under this Agreement committed after notice of the assignment of this Agreement has been given to the Owner.

12.11 Owner Not Liable

No person who is an Owner shall be liable to the Trust for any breach of or default in the obligations of the Owner owed to the Trust under this Agreement committed after the registration of a transfer by such person of that person's entire interest in the Property to another person, provided that the Owner has delivered to the Trust notice of such transfer and an acknowledgement and assumption executed by the new registered owner, acknowledging the priority of this Agreement and the interest of the Trust, and assuming the obligations of the Owner under this Agreement.

12.12 Gender, Number and Joint and Several

Words importing the masculine gender include the feminine or neutral gender and words in the singular include the plural, and *vice versa*. Whenever the Owner comprises more than one person, the Owner's obligations in this Agreement shall be joint and several.

12.13 Circumstances Beyond the Control of Either Party

Neither party will be responsible for damage caused by delay or failure to perform under the terms of this Agreement resulting from matters beyond the control of the Trust and the Owner including strike, lockout or any other action arising from a labour dispute, fire, flood, act of God, war, riot or other civil insurrection, lawful act of public authority, or delay or default caused by a common carrier which cannot be reasonably foreseen or provided against.

12.14 Headings

The headings in the body of this Agreement form no part of the Agreement but are inserted for convenience of reference.

12.15 Counterparts

This Agreement may be executed by the parties in one or more counterparts, each of which shall be deemed to be an original and all of which taken together shall be deemed to constitute one and the same instrument. Each of the parties hereto agree that this Agreement may be delivered, once executed, by facsimile transmission (and the executed version of this Agreement delivered by facsimile transmission shall have the same force and effect as if it were originally executed and personally delivered) and that a photocopy of a facsimile copy of the Agreement may be relied upon by all parties that have signed the Agreement to the same extent as if it were an original executed version addressed specifically to each of them. Notwithstanding the foregoing, at the request of a party, the parties shall exchange originally signed copies of this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement effective as of the date first written above.


ONTARIO HERITAGE TRUST

Per: 
Beth Hanna, Chief Executive Officer

Per: 
Wayne Kelly Director, Heritage Programs and Operations

We have authority to bind the Trust.

OLD OAK PROPERTIES INC.

Per: 
Gregory C. Bierbaum, President

I have authority to bind the Corporation.

SCHEDULE "A1"

DESCRIPTION OF THE PROPERTY

Part of PIN 08106-0147 (LT)

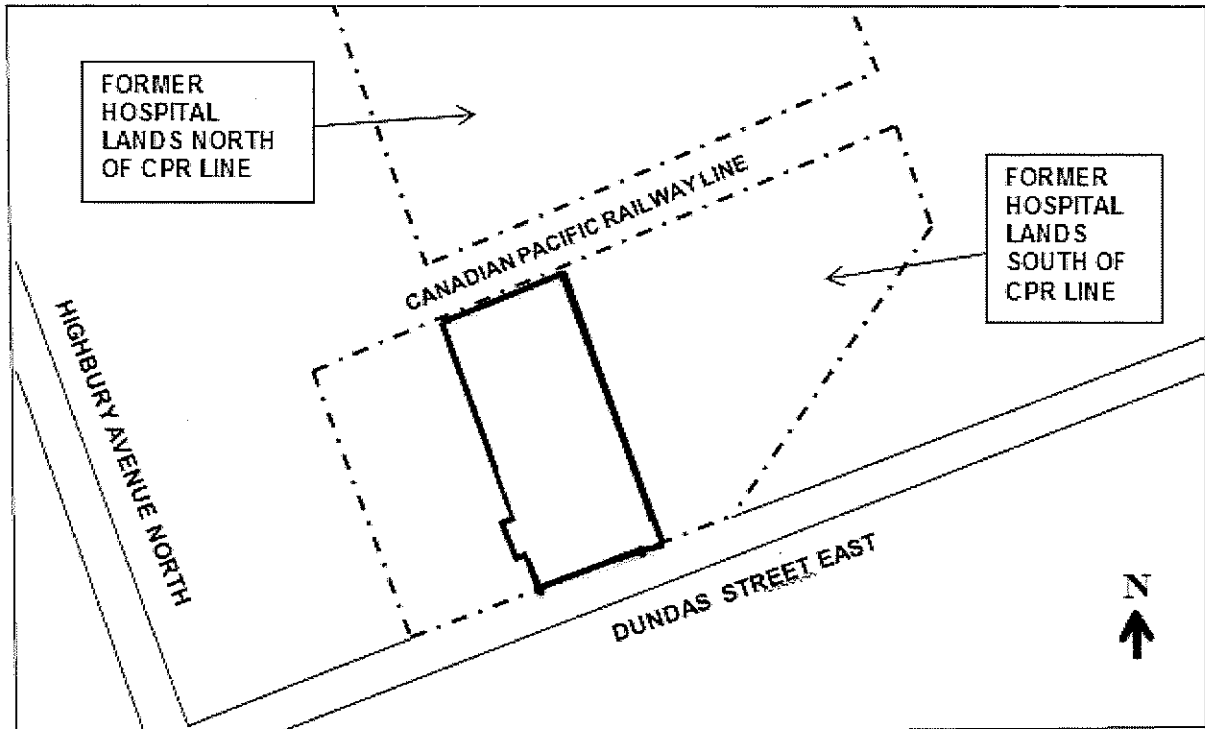
Part of Lot 8, Concession 1,; being designated as Parts 3 and 4 on Reference Plan 33R-19935, City of London, County of Middlesex,

SCHEDULE "A2"
PERMITTED ENCUMBRANCES

Nil

SCHEDULE "A3"

SKETCH OF THE APPROXIMATE
LOCATION AND CONFIGURATION OF THE PROPERTY



SKETCH IS NOT A PLAN OF SURVEY

SKETCH IS NOT TO SCALE

--- FORMER HOSPITAL LANDS

□ THE PROPERTY

SCHEDULE "B1"

STATEMENT OF CULTURAL HERITAGE VALUE AND INTEREST

DESCRIPTION OF HISTORIC PLACE:

The Property forms an integral part of the Allée that extends approximately 470 metres north from the historic main entrance to the Hospital Lands off Dundas Street East to a circular driveway and the remnants of a ring road. The Property encompasses that part of the Allée south of the Canadian Pacific Railway corridor.

The Allée was completed under the supervision of Superintendent Richard Maurice Bucke in 1900 and represents a distinctive and significant feature of the former London Psychiatric Hospital. Historically, it was used for gatherings such as picnics and parties. It formed the central north-south axis from the southern property line to the main institutional buildings and frames the views of those buildings. It was and still is bisected by the Canadian Pacific Railway line.

The Allée is composed of open space and remnants of the ornamental landscape that include plantings such as the rows of mature sugar maple and black walnuts trees which line the Allée. The rows of trees frame the views of the main institutional buildings at the north end of the Allée. The setback from Dundas Street East of the main campus of the former London Psychiatric Hospital Infirmary at the north end of the Allée provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients¹ lived and received treatment. The rural location of the London Psychiatric Hospital was part of "moral therapy," an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time that the Infirmary Building was constructed as part of Superintendent R.M. Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the Property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming

¹ The accepted term for a recipient of mental health services is "client". For the purposes of this report, which is a discussion of the history of the site, patient will be used unless discussing present-day client care.

as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope, Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynaecological surgeries on women for treatment of mental illness.

BACKGROUND:

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new institution partially due to the influence of John Carling – Ontario's first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years, patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Contextual Value:

As the central north-south axis for the Former Hospital Lands, the Allée physically and visually connects the historic main campus of the former London Psychiatric Hospital (comprised of the Chapel of Hope (1884), the Infirmary (1902), and the Recreation Hall (ca.1920)) with the main entrance off Dundas Street East. The main campus is deliberately setback from the main entrance to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

:JC August 15, 2017

SCHEDULE "B2"

CULTURAL HERITAGE LANDSCAPE FEATURES

The Cultural Heritage Landscape Features of the Property referred to in this Agreement include, but are not limited to, the following highlighted elements of the Property which contribute to its provincial heritage value:

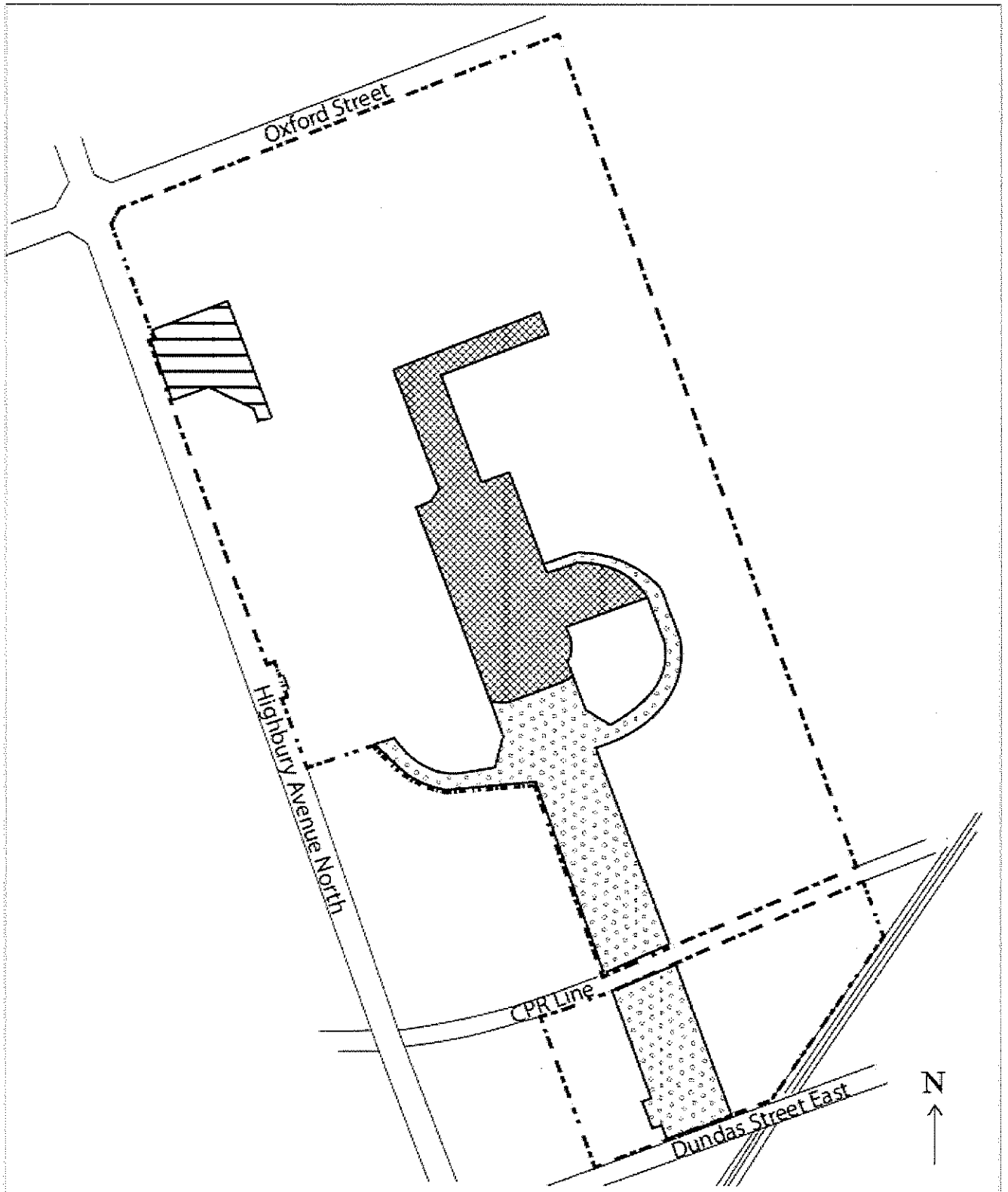
The Allée

- Rows of mature trees including sugar maples and walnuts
- Open space between the rows of trees allowing for views of the main campus
- Views of the historic main campus framed by the Allée
- Dual laneways located in the centre of the Allée running parallel to the rows of trees

:JC August 15, 2017

SCHEDULE "B3"

SKETCH OF THE FORMER HOSPITAL LANDS SHOWING
THE APPROXIMATE LOCATION OF
THE HORSE STABLE ZONE, CAMPUS ZONE AND THE ALLÉE AND RING ROAD ZONE



Legend

--- .. Boundary of the Former Hospital Lands

 Campus Zone

 Allée and Ring Road Zone

 Horse Stable Zone

Sketch is not to scale

Sketch is not a plan of survey

Source: Infrastructure Ontario

SCHEDULE “C”

BASELINE DOCUMENTATION REPORT OUTLINE

A Baseline Documentation Report (BDR) is the document used by the Ontario Heritage Trust and the owner of a Trust easement property to identify the specific heritage character and condition of a property at the time the heritage conservation easement is established or at an agreed upon time thereafter.

The BDR provides the Trust and the owner with a permanent record of the built heritage resources located on an easement property. It is a separate document, completed after the easement agreement is executed, and which forms a legal reference under the agreement (Section 2.2). Its main purpose is to establish the initial benchmark against which future monitoring of the property is conducted by the Trust. It is the datum against which the maintenance requirement of the easement is measured and is the mechanism by which pre-existing alterations or acknowledged property conditions can be authenticated.

There are a number of internationally accepted formatting and archival standards for architectural documentation including: The Library of Congress, HABS/HAER Field Book (U.S. Parks Service), Public Works Government Services Canada - Heritage Conservation Program, and many others. These organizations standardize information for a number of reasons such as accessibility, conservation, completeness of recording and archival stability. By incorporating the best features of these standards with the legal requirements of the easement agreement, the Trust has developed the following Baseline Documentation Report (BDR) Outline which is used at the Ontario Heritage Trust for cultural heritage easement agreements.

A. Preface

The purpose of the BDR as well as the legal context, author/contributors, summary of property data is included here.

B. Statement of Cultural Heritage Value

This is a narrative explanation of the historical, architectural and contextual significance and heritage value of the property. The Character Defining Features embody this significance and are described in greater detail. This section will also include sources and property evolution/ history of alterations.

C. Site Plan/Aerial Photograph

This plan/image should identify the physical boundaries of the property, the adjacent streets, access and the urban or natural context of the property. It should also be a scaled plan based on a survey for greatest accuracy.

D. Condition Report

This component of the BDR clarifies the various architectural systems and physical condition, with textual descriptions of the materials and construction. The BDR shall record all existing signs and fixtures currently located on the Property and the exterior of the Building. This report should identify any major pre-existing deficiencies and cross reference them to the plans and / or photos.

E. Photographic Key Plan

The location and orientation of the camera including the angle relative to the horizon is useful information in re-establishing the views for subsequent monitoring. All images in the BDR should be referenced on the photo key plans(s).

F. Photographs

Two types of photographs are used to visually document the heritage resource.

Black and White Photography

This film type is relatively stable if stored properly. It captures the texture and form of a property much better than colour film. Where necessary, large or medium format photography may be the preferred method of capturing a space or architectural feature. All photography should be as free as possible from optical distortion (i.e. perspective). The ideal elevations are orthogonal though this is not always possible owing to tight geometry and physical access to a property.

Colour Photography

This film captures patina, materials and subtleties of hue that may not be seen in black and white photography. If colour corrected, this medium can provide excellent reference for true colour which may also be provided with Munsell or other well recognized colour reference information. Otherwise the same issues apply as for black and white photography.

G. Architectural Drawings

These may include plans, elevations, sections, and other architectural drawings available and relevant to the Heritage Character Defining Features.

H. Acknowledgement Page

This form is signed and dated by the owner and the Trust. It indicates that both parties agree that the contents of the BDR are accurate to a given date.

I. Legal Context

A copy of the entire registered easement agreement is included as an appendix at the back of the BDR.

J. Copies

All of the material is then recorded on an archival quality CD/DVD and included in the BDR as well. It is recognized that this is not a particularly stable format even when kept in the best archival quality CD/DVD sleeve but it is better than not being included. As stipulated in the easement agreement, a hardcopy of the BDR is deposited with the provincial archives.

A Baseline Documentation Report must be prepared by heritage professionals who have expertise in documenting and assessing heritage resources, their condition and their significance.

SCHEDULE "D"

STANDARDS FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

1. **General Standards for Preservation, Rehabilitation and Restoration** Conserve the *heritage value*² of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The complete *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) may be obtained from the Trust or may be found on the internet at www.historicplaces.ca (or such other website). The *Standards and Guidelines*, a Federal, Provincial and Territorial collaboration, are published by the Government of Canada (ISBN 978-1-100-15952-2) under the administration of Parks Canada.

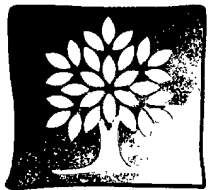
² Definitions of italicized words and phrases are set out in the Glossary included in the 'Standards and Guidelines for the Conservation of Historic Places in Canada'

Middlesex

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CONSERVATION REVIEW
BOARD

CITY OF



LONDON
CANADA

The Forest City

REGISTERED

December 11, 2000

JEFF MALPASS
Deputy City Manager

Ontario Heritage Foundation
10 Adelaide Street East
Toronto ON M5C 1J3

Re: Designation of Various Properties
The Ontario Heritage Act, R.S.O. 1990, c. O.18

Please find enclosed a certified copy of the following by-laws:

- ✓ 1. By-law No. L.S.P.-3315-157, entitled "A by-law to designate 353 Richmond Street to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on September 5, 2000 and registered as Instrument No. ER75623 on September 13, 2000;
- ✓ 2. By-law No. L.S.P.-3316-158, entitled "A by-law to designate 55 Centre Street to be of historical and architectural and value.", passed by the Municipal Council of The Corporation of the City of London on September 5, 2000 and registered as Instrument No. ER75624 on September 13, 2000;
- ✓ 3. By-law No. L.S.P.-3318-193, entitled "A by-law to designate 513 Talbot Street to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on October 16, 2000 and registered as Instrument No. ER82341 on November 1, 2000;
- ✓ 4. By-law No. L.S.P.-3320-207, entitled "A by-law to designate 1 Dundas Street to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on November 6, 2000 and registered as Instrument No. ER85803 on November 27, 2000;

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300 Dufferin Avenue
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London, ON N6A 4L9

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Ontario Heritage Foundation

December 11, 2000

Page 2

- ✓ 5. By-law No. L.S.P.-3321-208 entitled "A by-law to designate 850 Highbury Avenue to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on November 6, 2000 and registered as Instrument No. ER85796 on November 27, 2000;
- ✓ 6. By-law No. L.S.P.-3322-209, entitled "A by-law to designate 398 Piccadilly Street to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on November 6, 2000 and registered as Instrument No. ER85799 on November 27, 2000;
- ✓ 7. By-law No. L.S.P.-3319-198, entitled "A by-law to designate 1040 Waterloo Street to be of historical and architectural value.", passed by the Municipal Council of The Corporation of the City of London on October 16, 2000 and registered as Instrument No. ER83376 on November 8, 2000.

Smalleris -

fn Cathie L. Best
Deputy City Clerk
/sm
Encl.

Bill No. 364
2000

By-law No. L.S.P.-3321-208

A by-law to designate 850 Highbury Avenue to be of historical and architectural value.

WHEREAS pursuant to the *Ontario Heritage Act, R.S.O. 1990, c. 0.18*, the Council of a municipality may by by-law designate a property including buildings and structures thereon to be of historic or architectural value or interest;

AND WHEREAS notice of intention to so designate the property known as 850 Highbury Avenue has been duly published and served and no notice of objection to such designation has been received;

The Municipal Council of The Corporation of the City of London enacts as follows:


1. There is designated as being of historical and architectural value or interest, the real property at 850 Highbury Avenue, more particularly described in Schedule "A" hereto, for the reasons set out in Schedule "B" hereto.
2. The City Clerk is authorized to cause a copy of this by-law to be registered upon the title to the property described in Schedule "A" hereto in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in the London Free Press, and to enter the description of the aforesaid property, the name and address of its registered owner, and short reasons for its designation in the Register of all properties designated under the *Ontario Heritage Act*.
4. This by-law comes into force on the day it is passed.

on November 6, 2000.



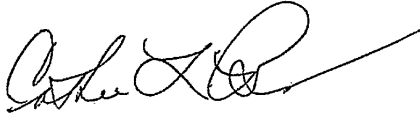
**CITY OF LONDON BY-LAW
CERTIFICATION RECORD**

I, C. L. Best, Deputy City Clerk of The Corporation of the City of London, hereby certify that the By-law hereunder is a true copy of By-law No. L.S.P.-3321-208 of the City of London, passed on November 6, 2000.


Dianne Haskett
Mayor

Dated at London, Ontario, this 11th day of December, 2000.


Signature


Cathie L. Best
Deputy City Clerk

Form No. 0926

First reading - November 6, 2000
Second reading - November 6, 2000
Third reading - November 6, 2000

SCHEDULE "A"
To By-law No. L.S.P.-3321-208

CON 1 Pt Lot 8 as in LX10368, LX10369 and LX10370
s/e Parts 2, 3, 4, 5, 6, 33R-11178
s/t 644506, 623868 and 526153.

SCHEDULE "B"
To By-law No. L.S.P.-3321-208

Reasons for Designation
London Psychiatric Hospital (850 Highbury Avenue)

Historical Reasons

The first asylum in southwestern Ontario was set up in 1860 at Fort Malden, Amherstburg, as a branch of the Toronto Asylum, which was already overcrowded. Dr. Henry Landor was appointed superintendent of Fort Malden, a former military barracks converted into an asylum to house inmates and incurables. After Confederation in 1867, politicians decided to build an asylum two miles outside the London city limits. The Asylum was modeled on Thomas Kirkbride's landmark Pennsylvania Asylum. The London Asylum for the Insane opened at the present site November 18, 1870 on 300 acres of farmland. The hospital grew in size and by 1914 there were 1,130 patients. In 1968 the hospital was renamed the London Psychiatric Hospital. The hospital was joined to St. Thomas Psychiatric Hospital to operate under a single administration in 1995. The original main hospital building was demolished in 1975.

Dr. Richard Maurice Bucke was the second superintendent of the London Asylum for the Insane (1877 to 1902). Acting on his convictions that the mentally ill respond favourably to humanitarian and sympathetic treatment, he elaborated on the efforts of his predecessor, Dr. Henry Landor, to provide therapeutic activity for patients by making the asylum into a working farm. Bucke provided improved farm facilities and he created grounds that were more ornamental. He implemented an elaborate plan for the beautification of the grounds, in keeping with his theory that beautiful surroundings were conducive to mental health and provided many social occasions. He also reduced the use of alcohol and mechanical constraints as means of controlling patients. His innovative ideas are reflected in the buildings and grounds of the London Psychiatric Hospital.

Architectural Reasons

Tree-lined Avenue (entrance off Dundas Street)

Built under Bucke's supervision, (circa 1900) the original entrance to the hospital grounds is a two-lane avenue with a centre walkway lined with eight rows of elm trees. (Three rows of trees on either side of the lanes and one row on either side of the walkway) Some trees have been replaced with coniferous varieties but the form remains the same. It forms a magnificent vista north from Dundas Street to where the original hospital building stood and is still on axis with the 1902 Infirmary building further back. This was the site for patient picnics on Sundays.

Infirmary Building

Also known as the 1902 Building, Exam Building, Bucke Research Institute, Outpatient Department and Admitting Hospital, this tall Victorian three storey yellow brick building with a hip roof, is a classical example of balance and symmetry. The central surgical block is attached by two passageways to mirror-image side pavilions, each featuring a gabled projection and cupola. This classical organization is appropriately accompanied by numerous classical details like the corner quoins, the plain pediment over the front entrance, voussoirs over windows and a semi-circular window on the second level above the front entrance. Huge skylights provided light for the surgical suite on the third floor. Entrance steps have closed brick railings.

Recreation Hall

This two storey brown brick building was built around 1920 and was used to host recreational activities for patients including a basement level swimming pool (now filled in) and a stage for performances. The building has gable ends with a wide plain frieze and molding with return eaves over broad pilasters at the south end and a pediment at the north end. There are four small wings,

two at each end, with pediment gables. The metal roof has two ventilators. The auditorium windows on the sides are large and tall, and are set in semi-circular headed brick panels, and each has 40 panes arranged in nine sections. The double door centre entrance way has an eight-light transom, windowed doors, small lanterns to each side, high wide front steps, and a canopy supported by chains.

The Chapel

The Chapel of Hope was built by patients in 1884. Originally built as an Interdenominational chapel, it was later only a Catholic place of worship since the Protestant congregation had grown so large. In 1965 it was again made into an Interdenominational chapel. This Gothic revival brick structure has seven stone-capped buttresses on each side. It has four small dormers on each side of the gable roof, each featuring a trillium shaped stained glass window. There are seven Gothic arch shaped stained glass windows on each side of the building and a large stained glass window behind the altar. The front entrance roof peak is capped with a carved stone ornament as is the two smaller side entrances.

Horse Stable

The 1894 horse barn located on the hospital grounds is close to Highbury Avenue and Oxford Street. It is the last remaining building of the farmyard built by Bucke. Built of white brick, white washed at the base and with a slate roof, the barn is the last of three original buildings. It was obviously intended to be functional rather than decorative but its almost monumental size, its nearly regular fenestration, its classical proportions and the picturesque effect produced by the ventilation cupolas make it a strikingly handsome building, as well as a meaningful symbol of the last vestige of the hospital's significant agricultural past.

Appendix D Baseline Documentation Report



LONDON PSYCHIATRIC HOSPITAL

CHAPEL OF HOPE, STABLES, INFIRMARY AND RECREATION CENTRE

850 Highbury Avenue North, London

BASELINE DOCUMENTATION REPORT
HERITAGE EASEMENT AGREEMENT



SBA No. 20056

FINAL

April 13th, 2021



An agency of the Government of Ontario



CONTRIBUTORS

CLIENT

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PREFACE

The following document forms the official Baseline Documentation Report (BDR) for the Property as referenced in the Heritage Conservation Easement Agreements – North and South Parcels held by the Ontario Heritage Trust. The Property was formerly part of a larger area of land (the “Former Hospital Lands”) associated with the former London Psychiatric Hospital. The Former Hospital Lands are bisected by an east-west Canadian Pacific Railway line (the “CPR Line”), thus creating a parcel north of the CPR line, which is legally described as Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2 to 12 inclusive on Plan 33R-15263, City of London, County of Middlesex being the whole of PIN 08106-0158 (LT) (the “North Parcel”) and a parcel south of the CPR line, which is legally described as PIN 08106-0147 being Part 1 on Plan 33R-15262 (the “South parcel”).

The provincial heritage value of the Protected Lands lies in: a) the provincially significant cultural heritage landscape on the Protected Lands; and b) the exteriors of four provincially significant heritage buildings on the Protected Lands known as the Chapel of Hope, the Horse Stable, the Infirmary and the Recreation Hall. The Heritage Conservation Easement Agreements covers the provincially significant cultural heritage landscape on the Protected Lands and is composed of three zones; the Allée and Ring Road Zone, the Campus Zone and the Horse Stable Zone, and Heritage Features (exterior attributes) of the Chapel of Hope, Stables, Infirmary and Recreation Hall. The property is owned by Old Oak Properties Inc.

On October 6th and October 29th 2020 the consultant team of Stevens Burgess Architects Ltd. (SBA) recorded the condition and appearance of the Property at 850 Highbury Avenue North, London known as the former London Psychiatric Hospital. Photographs were taken by Stevens Burgess Architects Ltd., Heritage Architects and Wendy Shearer, Landscape Architect and Cultural Heritage Landscape Specialist. The Statement of Cultural Heritage Value and Interest was provided by Ontario Heritage Trust in October 2020. The report was written, compiled and edited by Stevens Burgess Architects Ltd. in conjunction with Wendy Shearer.

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STATEMENT OF CULTURAL HERITAGE VALUE AND INTEREST

Current Name: London Psychiatric Hospital

Location: 850 Highbury Avenue North

Municipality: City of London

Date Built: Chapel of Hope (1884), Stables (1894), Infirmary (1902), Recreation Building (1920)

The following **Statement of Cultural Heritage Value and Interest, North Parcel** was provided by the Ontario Heritage Trust in October 2020.

DESCRIPTION OF HISTORIC PLACE

The former London Psychiatric Hospital is located at 850 Highbury Avenue North on a 26.3-hectare (65-acre) parcel of land in the City of London. The rectangular-shaped property is bounded by Highbury Avenue North, Oxford Street East, Dundas Street East and a Canadian Pacific Railway spur line. The former Hospital Lands contain a complex of 23 buildings and a number of landscape features. Four of the buildings have been identified as having provincial heritage value: the Chapel of Hope (1884), Horse Stable (1894), Infirmary (1902), and the Recreation Hall (ca.1920). A number of landscape features have been identified as having provincial heritage value. These include remnants of a ring road and a circular drive, open space, remnants of an ornamental landscape containing mature plantings of black walnut trees and the grand, tree-lined Allée. The facility opened in 1871 as the London Asylum for the Insane and operated under a number of names over the course of its history including the Ontario Hospital London, London Psychiatric Hospital and Regional Mental Health Care Centre.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients lived and received treatment. The rural location of the London Psychiatric Hospital was part of “moral therapy,” an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which

was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time that the Infirmary Building was constructed as part of Superintendent R.M Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the Property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope, Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynecological surgeries on women for treatment of mental illness.

BACKGROUND

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new institution partially due to the influence of John Carling – Ontario’s first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years, patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

Religion was an important part of the moral therapy treatment and the new chapel was constructed by patient labour as part of their treatment plan. The Chapel was built in 1884 at the behest of Dr. Bucke who petitioned the provincial government to fund its construction. Regular church services were part of treatment at the London asylum with religious services held in the general recreation facilities prior to the Chapel’s construction. The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone Chapel.

The Infirmary or Exam Building, completed in 1902 was intended to house patients who needed more enhanced medical care and offered dormitories and individual rooms for patients and common rooms and sunrooms. Superintendent Bucke toured similar facilities in the United States and helped design the building plan with provincial architect Francis R. Heakes. In 1908 the building was converted to use as a reception hospital to house new and short-term patients. These short-term patients might stay for a few months to a few years, and had access to advanced treatments such as showers, massages and continuous baths.

Following the First World War, a large number of Canadian veterans were admitted to London Psychiatric Hospital suffering from psychological effects of the war. They were treated for “shell-shock” for which symptoms are now associated with post-traumatic stress disorder.

Overcrowding was an issue at the London Psychiatric Hospital and by 1924 it accommodated almost 1200 patients. Maintaining a peaceful and idyllic setting for patients was difficult for the superintendents due to the overcrowding. Many common and sun rooms were used as wards to accommodate patients instead of places of rest and relaxation. R.M Burke is the most well-known and controversial superintendent at the London Psychiatric Hospital for his encouragement and use of gynecological surgeries on women. Some argue the surgeries were an attempt by Bucke to find a successful treatment for his patients – but there seems to be little merit of such surgeries on mentally ill women. Upon his death, the use of gynecological surgery came to an end at London Psychiatric Hospital. The London Psychiatric Hospital is also associated with eight superintendents who were the chief administrators and medical directors of the London Psychiatric Hospital from 1870-1970. They had an array of responsibilities including supervising staff, medical services, training nurses, therapies, property and facility maintenance and medical study of all patients.

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Architectural Value:

Chapel of Hope

The Chapel of Hope was built in 1884 by patient labour under instruction by Superintendent Bucke. It is a 1½ storey buff-brick structure in the Gothic Revival style and features two chimneys at the east and west elevation. The gable roof is interrupted with four dormers on the north and south elevations with trefoil shaped windows. The side walls feature seven gothic-arched stained glass windows separated by buttresses. The stained glass window over the altar features a combination of religious and London Psychiatric Hospital images.

Horse Stable

The Horse Stable was built in 1894 under the direction of Superintendent Bucke and the scale and quality of materials shows the importance of agriculture to the self-sufficiency and practice of moral therapy at London Psychiatric Hospital. It is a large two-storey buff brick building. There are two intersecting gable roof sections and five ventilators along the apex to provide ventilation and give the building a distinct silhouette. The segmental arched window openings (bricked over) have brick voussoirs and most have stone sills. The eaves have tongue and groove soffits. A large second storey board and batten door provides access to the hay loft on the building's west elevation.

The Infirmary

The Infirmary is an imposing building with a combination of architectural styles popular in the Victorian-era including Beaux-arts Classicism, Edwardian Classicism and Colonial Revival. The Infirmary is constructed of local buff brick with a central administration block with two recessed symmetrical wards on either side (one for men and one for women). The three-storey central block sits on a raised basement. It has a hipped roof with a central skylight to the operating theatre and tall distinctive chimneys. The main front entrance is topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentillated cornice. The symmetrical wards are connected to the central block by a narrow corridor. The wards feature Colonial Revival influence seen in the projecting central bay with a pediment and quoins, ventilators, dormer windows and a dentillated cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid. The current ones are rectangular and date from 1945. The rear (north) elevation of the Infirmary is simplified with projecting bays, dormer windows and tall chimneys. All of the window openings are flat-arched and many of the double-hung wood-sash windows survive. The exception is a singular rounded-arch window on both ward facades above an off-centered entrance door.

Recreation Hall

The Recreation Hall was constructed in 1920 and is located directly east of the Chapel of Hope. It was constructed in a Classical Revival style of reddish-brown brick laid in common bond. It features a symmetrical façade frontispiece – a central block and two flanking wings. The central block features a pediment with an oculus window, a central rectangular shaped tripartite window flanked with 6-paned window. The flanking wings feature a rounded-arched window. The brickwork that surrounds the windows is dark brown and extends well beyond the base of the window. Each of the six multi-paned rectangular wood windows are divided into three parts on the side-walls and set within a shallow rounded-arched niche. The austere rear elevation features quoining and a singular rounded-arched window in the gable.

Contextual Value:

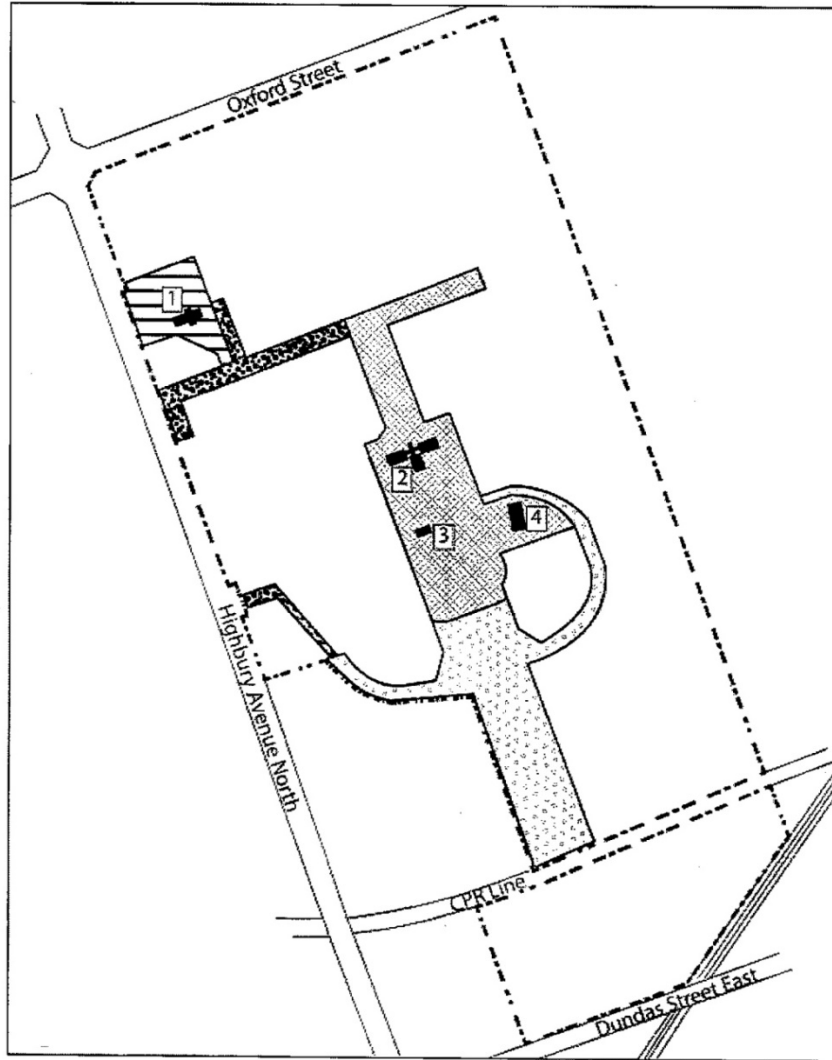
The London Psychiatric Hospital is deliberately setback from the main street to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan. The historic main entrance to the Former Hospital Lands is off Dundas Street East where the Allée leads visitors from the street and into the complex of institutional buildings. The Former Hospital Lands were originally surrounded by a rural farming landscape. They are now bordered by three extremely busy thoroughfares (Highbury Avenue North, Oxford Street East and Dundas Street East) and the surrounding neighbourhood has evolved to become the home to several business and industries along Highbury Avenue North and Dundas Street East and a residential subdivision to the east.

Archaeological Value:

The London Psychiatric Hospital has archaeological value due to the below ground resources associated with the evolution [of] mental health care. The main building, airing yard, portions of the root house represent the era in the 19th century when use of the Kirkbride Plan and self-sufficiency was the norm at these large-scale government run mental health institutions.

SITE SKETCH SHOWING





- A. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE PROTECTED LANDS AND THE ACCESS LANDS ON THE FORMER HOSPITAL LANDS
- B. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE ALLÉE AND RING ROAD ZONE ON THE PROTECTED LANDS
- C. THE APPROXIMATE LOCATION OF BUILDINGS ON THE PROTECTED LANDS



SKETCH NOT TO SCALE

SKETCH NOT A PLAN OF SURVEY

LEGEND

- | | | |
|---|------------------------------|----------------------|
|  | Access Lands | |
|  | Allée and Ring Road and Zone | 1. Horse Stable |
|  | Campus Zone | 2. Infirmary |
|  | Horse Stable Zone | 3. Chapel of Hope |
| | | 4. Recreational Hall |

- - - - Boundaries of the Former Hospital Lands

Figure 1: Sketch of the approximate location and configuration of the north parcel, protected buildings and cultural heritage landscape

Credit: Heritage Easement Agreement for the former London Psychiatric Hospital, 2019

DESCRIPTION OF THE HERITAGE FEATURES

The Heritage Features ... [as per the Heritage Conservation Easement Agreement – North Parcel for the former London Psychiatric Hospital] are comprised of the exteriors of the Buildings on the Protected Lands which include, but are not limited to, the following highlighted elements which contribute to their heritage value:

The Horse Stable:

- General massing and two intersecting gable roof sections
- “t”-shaped footprint
- Local buff brick (also called white brick)
- Five roof ventilators
- Brick chimney (east elevation)
- Location of existing segmental-arched window and door openings
- Brick voussoirs and stone sills above and below window openings
- Board and batten upper access doors to hay loft (west elevation)

Chapel of Hope:

- Local buff brick construction
- Gable roof topped with a finial
- Double-lancet stained glass windows
- Large stained glass window above the altar depicting religious imagery and scenes from the London Psychiatric Hospital
- Bull’s eye window with quatrefoil muntin in the gable end
- Seven bay side walls with buttresses
- Trefoil dormers
- Chimneys

The Infirmary:

- Local buff brick construction
- Symmetrical composition – tall three-storey central administration block on a raised basement central block flanked by two identical wards with rectangular wood verandahs
- Main front entrance topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentillated cornice
- Tall chimneys and skylight atop of the hipped roof of the central block
- Dentillated cornice around the entire building
- Double-hung wood-sash windows
- Flat arch buff-brick lintels and stone sills
- Louvered ventilators atop the flanking wards
- Pediments, dormer and Bull’s eye windows of the wards
- The single rounded-arched window of the wards façade
- Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards

- The simplified rear (north) elevation with projecting bays, dormers and chimneys
- Sun porches at the end of each ward

Recreation Hall:

- Reddish-brown brick construction
- Symmetrical façade frontispiece – a central block and two flanking wings
- Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with 6-paned window
- Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window
- Side walls with six multi-paned rectangular wood windows divided into three parts and set within a shallow rounded-arched niche
- Raised basement with multi-paned windows
- Projecting bays on the side wall with a pediment, quoins, entrance door and six-over-six wood-sash windows
- Rear elevation features quoins and a rounded-arched window in the gable

DESCRIPTION OF CULTURAL HERITAGE LANDSCAPE FEATURES

The provincially significant cultural heritage landscape on the Protected Lands is composed of three zones:

1. **The Allée and Ring Road Zone:** This zone contains the grand tree-lined Allée that stretches from the historic entrance at Dundas Street East northward to the circular drive and ring road that connects the Infirmary, the Chapel of Hope and the Recreational Hall. With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the Hospital which are set back from the main entrance off Dundas Street East.
2. **The Campus Zone:** The zone contains three (3) buildings associated with the London Psychiatric Hospital of provincially significant heritage value: the Infirmary, the Chapel of Hope and the Recreational Hall as well as associated open spaces, landscape and plantings. These elements are located within a ring road at the end of a long Allée stretching south to Dundas Street.
3. **The Horse Stable Zone:** This zone is comprised of open space, mature trees and unobstructed view of all side of the horse stable.

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone

The Cultural Heritage Landscape Features of the Allée and Ring Road include, but are not limited to, the following highlighted elements:

- The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive
- Circular drive with internal green space and east-west access to the ring road
- Remnants of the ring road
- Mature trees that boarder the ring road on both sides

The Cultural Heritage Landscape Features of the Campus Zone

The Cultural Heritage Landscape Features of the Campus Zone include, but are not limited to, the following highlighted elements:

- The location of the provincially significant buildings: Chapel of Hope, Infirmary and Recreation Hall within the landscape
- Their deliberate setback from Dundas Street East to provide a serene and rural setting
- Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable
- North/south tree-lined roadways framing a view of the north (rear) elevation of the infirmary
- The open space of the lawn with mature plantings directly south of the Infirmary

The Cultural Heritage Landscape Features of the Horse Stable Zone

The Cultural Heritage Landscape Features of the Horse Stable Zone include, but are not limited to, the following highlighted elements:

- Mature trees including sugar maples and walnuts
- Surrounding open space providing unobstructed view of all elevations of the Horse Stable

The following **Statement of Cultural Heritage Value and Interest, South Parcel** was provided by the Ontario Heritage Trust in October 2020.

DESCRIPTION OF HISTORIC PLACE

The Property forms an integral part of the Allée that extends approximately 470 metres north from the historic main entrance to the Hospital Lands off Dundas Street East to a circular driveway and the remnants of a ring road. The Property encompasses that part of the Allée south of the Canadian Pacific Railway corridor.

The Allée was completed under the supervision of Superintendent Richard Maurice Bucke in 1900 and represents a distinctive and significant feature of the former London Psychiatric Hospital. Historically, it was used for gatherings such as picnics and parties. It formed the central north-south axis from the southern property line to the main institutional buildings and frames the views of those buildings. It was and still is bisected by the Canadian Pacific Railway line.

The Allée is composed of open space and remnants of the ornamental landscape that include plantings such as the rows of mature sugar maple and black walnuts trees which line the Allée. The rows of trees frame the views of the main institutional buildings at the north end of the Allée. The setback from Dundas Street East of the main campus of the former London Psychiatric Hospital Infirmary at the north end of the Allée provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients lived and received treatment. The rural location of the London Psychiatric Hospital was part of “moral therapy,” an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time

that the Infirmary Building was constructed as part of Superintendent R.M Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the Property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope, Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynecological surgeries on women for treatment of mental illness.

BACKGROUND:

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and

moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new institution partially due to the influence of John Carling – Ontario’s first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years, patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Contextual Value:

As the central north-south axis for the Former Hospital Lands, the Allée physically and visually connects the historic main campus of the former London Psychiatric Hospital (comprised of the Chapel of Hope (1884), the Infirmary (1902), and the Recreation Hall (ca.1920)) with the main entrance off Dundas Street East. The main campus is deliberately setback from the main entrance to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

CULTURAL HERITAGE LANDSCAPE FEATURES

The Cultural Heritage Landscape Features of the Property ... [as per the **Heritage Conservation Easement Agreement for the former London Psychiatric Hospital**] include, but are not limited to, the following highlighted elements of the Property which contribute to its provincial heritage value:

The Allée

- Rows of mature trees including sugar maples and walnuts
- Open space between the rows of trees allowing for viewscapes of the main campus
- Viewscapes of the historic main campus framed by the Allée
- Dual laneways located in the centre of the Allée running parallel to the rows of trees

**SKETCH OF THE APPROXIMATE
LOCATION AND CONFIGURATION OF THE PROPERTY**

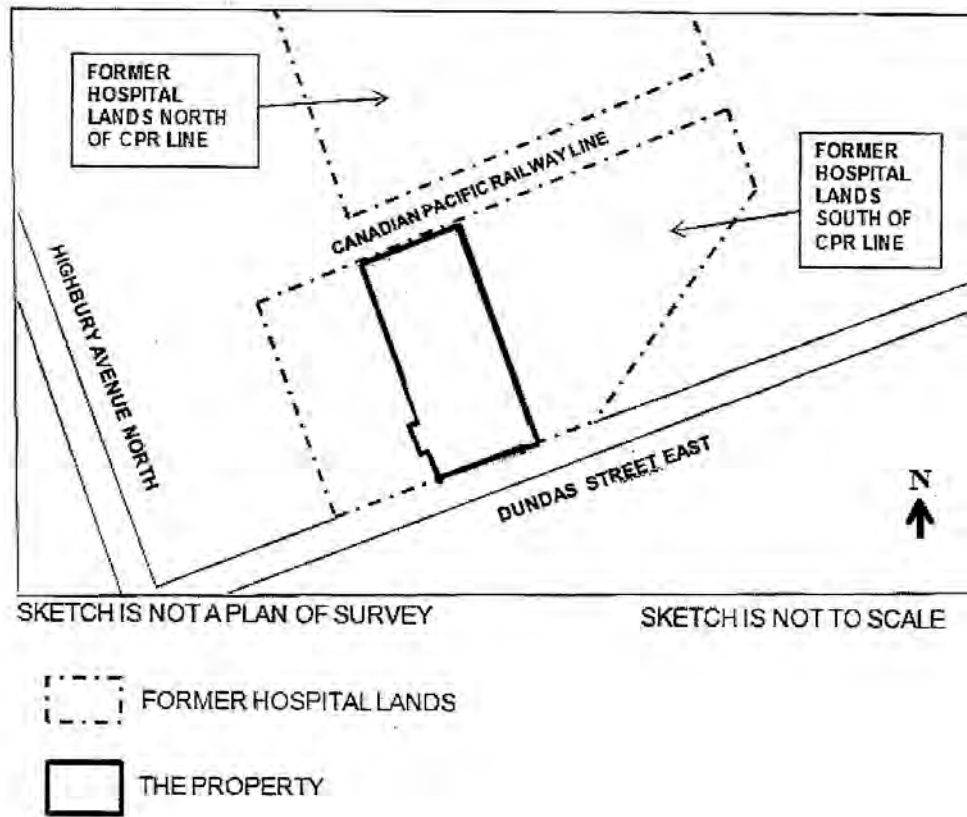


Figure 2: Sketch of the approximate location and configuration of the property
Credit: Heritage Easement Agreement for the former London Psychiatric Hospital, 2019

SITE PLANS

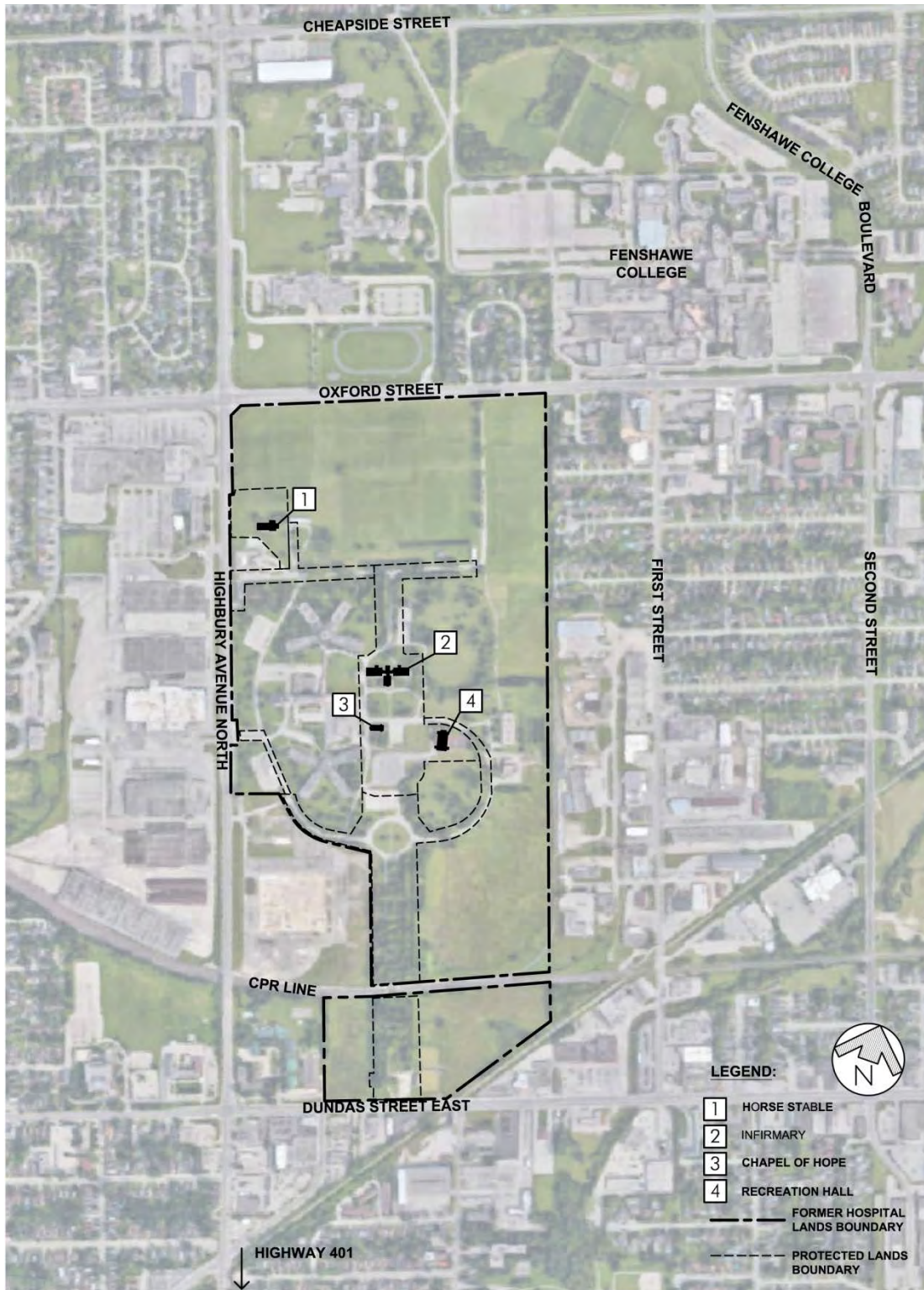


Figure 3: Context Plan

Credit: Google Maps, Annotated by SBA, 2021

Note: Boundary outlines as per the Heritage Conservation Easement Agreements for the North and South Parcels for the former London Psychiatric Hospital.

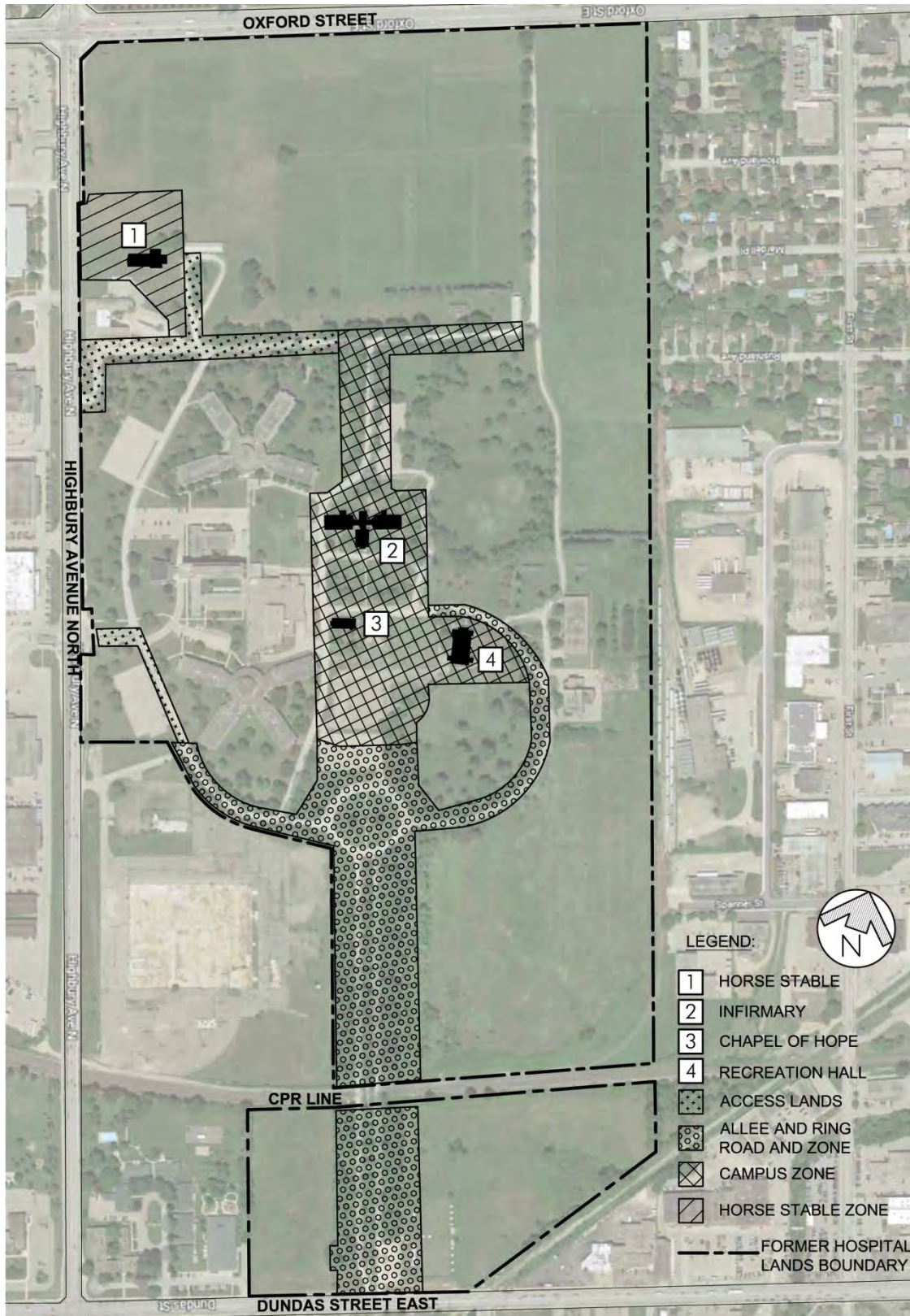


Figure 4: Site Plan "Sketch"

Credit: Google Maps, Annotated by SBA, 2021

Note: Site Plan derived from sketches included within the Heritage Conservation Easement Agreements for the North and South Parcels for the former London Psychiatric Hospital.

EASEMENT PROPERTY CONDITION SUMMARY - CHAPEL OF HOPE

Property: London Psychiatric Hospital – Chapel of Hope

Municipal Address and Location: 850 Highbury Avenue North, London, Ontario

Current Use: Vacant

Owner: Old Oak Properties Inc.

Owner Phone No.: 519-661-0215

OHT Rep: Thomas Wicks

OHT Rep Phone No.: 437-246-6591

Cultural Heritage Architect Site Recorder: Kelly Gilbride and Ashley Stewart of Stevens Burgess Architects Ltd.

Date Visited: October 6th and October 29th, 2020

Weather Conditions: October 6th, 2020 - The temperature was 18° C, windy, cloudy with some periods of sun. October 29th, 2020 - The temperature was 12° C, light breeze, overcast with some periods of sun.

Limitations of Survey: The survey was confined to the exterior of the building and was completed over 2 days. Given the extent of vegetative overgrowth the 2nd site visit was completed after removal of overgrowth so that the survey could be completed. Visual review and reporting on the existing condition of the east and south elevations was still limited due to the extent of ivy growth. The visual reviews were completed at grade level with no access to the interior. The interior is not protected under the Easement.

General Description:

The Architectural Value of the Chapel of Hope is included within the Statement of Cultural Heritage Value and Interest:

The Chapel of Hope was built in 1884 by patient labour under instruction by Superintendent Bucke. It is a 1½ storey buff-brick structure in the Gothic Revival style and has a chimney on both the east and west elevations. The gable roof is interrupted with four dormers on the north and south elevations with trefoil shaped windows. The side walls feature seven gothic-inspired stained glass windows separated by buttresses. The stained glass window over the altar features a combination of religious and London Psychiatric Hospital Images.

The heritage features of the Chapel of Hope include the following:

- Local buff brick construction
- Gable roof topped with a finial
- Double-lancet stained glass windows
- Large stained glass window above the altar depicting religious imagery and scenes from the London Psychiatric Hospital
- Bull's eye window with quatrefoil muntin in the gable end
- Seven bay side walls with buttresses
- Trefoil dormers
- Chimneys

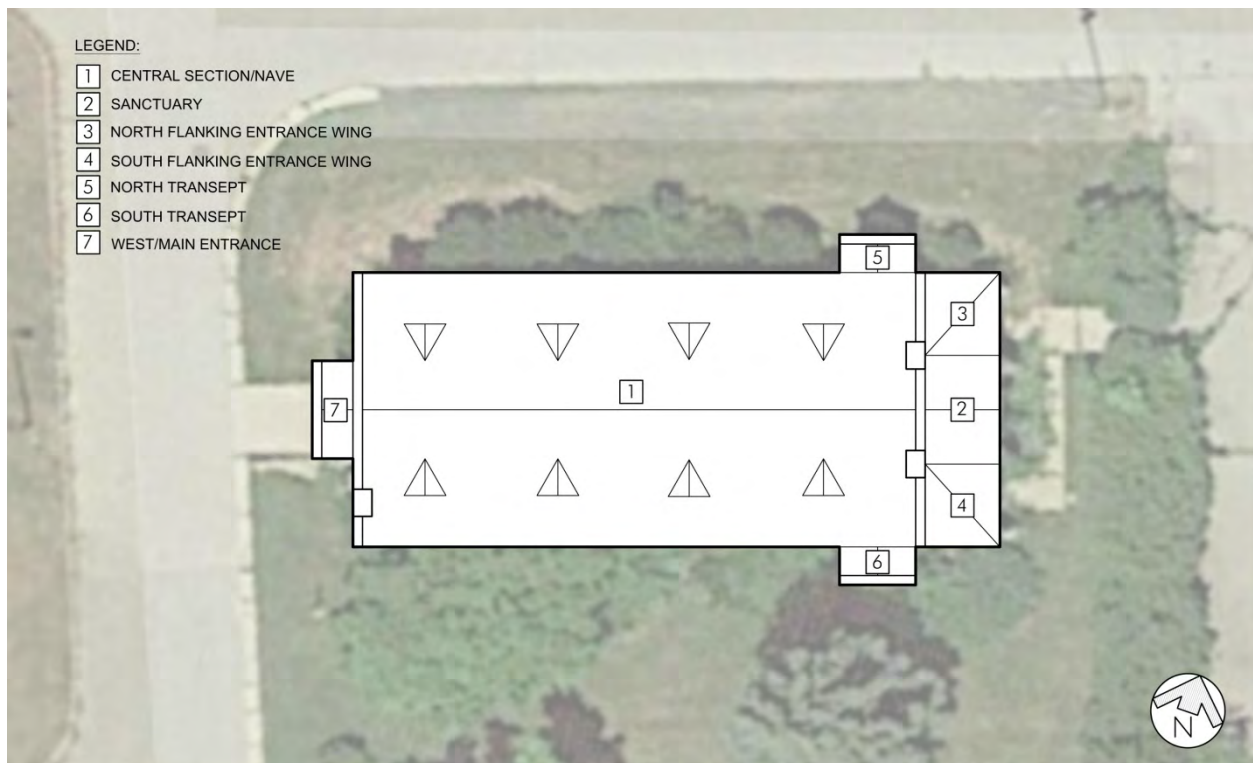


Figure No. 5: Key Plan of Chapel

Credit: Google Maps, Annotated by SBA, 2021

Roof

Description:

The Chapel of Hope is a one-and-a-half storey structure with a gabled Main Roof with brick parapet walls and chimneys at each gable end. The rectangular plan was designed with a central nave facing the one storey gable roofed Sanctuary/Altar at the east end and flanked by two small entrance wings at each side with asphalt shingled hip roofs. To the west is a small transept with entrances on both the north and south elevations. Each entrance has a small asphalt shingled gable roof. The main entrance is located on the west elevation and is flanked by a chimney on the south side inset towards the ridge. A series of four trefoil dormers are located along both the north and south sides of the asphalt shingled Main Roof.

Condition:

Main Roof - North Elevation (Figure No. 6)

It is assumed that the reroofing of the Main Roof, Sanctuary Roof, hipped roofs the Sanctuary wings, North and South Entrance Roofs and vestibule roof at the Main/West Entrance were all completed at the same time and the age of the brown asphalt shingles and prefinished metal flashings is not known. The flashings along the backside of the gables were not stepped to align with the brick coursing. The condition of the shingles is fair however staining is visible on the shingles from water runoff along the bottom corners of the dormers. Toward the west side ivy has grown up the masonry walls and along the roof edge, gutter and along the backside and top of the stone capping on the west gable. The dormer windows on the Main Roof have been clad in plywood as part of an earlier mothballing of the structure. The paint on the visible perimeter wood trim around the dormers is peeling.

Main Roof - South Elevation (Figure No. 7)

The condition of the shingles is fair however ivy has grown up the masonry walls and along the entirety of the roof edge, gutter, and backside of both the east and west masonry gables. The dormer windows on the Main Roof have been clad in plywood as part of an earlier mothballing of the structure. The paint on the visible perimeter wood trim around the dormers is peeling.

Sanctuary Roof with Flanking Entrance Wings - North and East Elevations (Figure No. 8)

Generally the condition of the Sanctuary roof shingles appear fair though there is ivy growth along the gutter running along the north side and along the backside and top of the stone capping on the east gable. Similarly the condition of the asphalt shingles on the flanking hipped roof appears to be fair though there is selective vegetative growth along the gutters and along the bottom edges of the roof.

Sanctuary Roof with Flanking Entrance Wings - South and East Elevations (Figure No. 9)

Generally the condition of the Sanctuary roof shingles appear fair though there is excessive ivy/vegetative growth along the gutters running along the south side and along the backside and top of the stone capping on the east gable. Similarly the condition of the asphalt shingles on the flanking hipped roof appears to be fair though there is excessive vegetative growth along the gutters and along the bottom edges of the roof.

North Transept Roof (Figure No. 10)

The condition of the North Entrance roof shingles appears fair.

South Entrance Roof (Figure No. 11)

The condition of the South Entrance roof shingles appears fair though there is excessive ivy/vegetative growth along the roof edge and along the masonry gable.

West/Main Entrance Roof (Figure No. 12)

The condition of the West Entrance roof shingles, both on the north and south elevations, appears fair. At the time of the 2nd site visit there was limited ivy growth on the north side.

Roof Elements: Metal Capping/Roof Flashing**Description:**

The detailing at the base of the gable roofs and top of the masonry walls is consistent at the Main Roof, Sanctuary Roof and flanking hipped roofs, North and South Transepts and at the West Entrance Roof; a continuous pre-painted brown metal capped fascia/trim board with a continuous gutter above. It is assumed that the original wood fascia/trim board is behind the metal capping. The condition of the original wood fascia/trim board is unknown.

Condition:***North Elevations (Figure No. 13 and 14)***

The pre-painted brown metal capped fascia boards along the north side of the Chapel, inclusive of the Main Roof, hipped roofs flanking the Sanctuary, North Entrance and West Entrance is in good condition with limited vegetative growth. The vegetative growth along the north fascia board of the Sanctuary is more excessive.

South Elevations (Figure No. 15)

The pre-painted brown metal capped fascia boards along the south side of the Chapel, inclusive of the Main Roof, Sanctuary and hipped roofs flanking the Altar, and the South Entrance have excessive vegetative growth. Accordingly the condition of the fascia boards is unknown. The fascia board on the south side of the West Entrance is in good condition with no vegetative growth.



Figure No. 6: North Roof Shingles (Photo No. 5.0)



Figure No. 7: South Roof Shingles (Photo No. 7.0)



Figure No. 8: East Elevation – Sanctuary and North Entrance Wing Roof Shingles (Photo No. 6.0)



Figure No. 9: East Elevation – Sanctuary and South Entrance Wing Roof Shingles (Photo No. 6.1)



Figure No. 10: West Elevation – North Transept (Photo No. 8.1)



Figure No. 11: West Elevation – South Transept (Photo No. 8.2)



Figure No. 12: South Elevation – Main Entrance (Photo No. 7.1)



Figure No. 13: North Elevation – North Transept Fascia (Photo No. 9.1)



Figure No. 14: North Elevation – Nave Fascia (Photo No. 9.3)

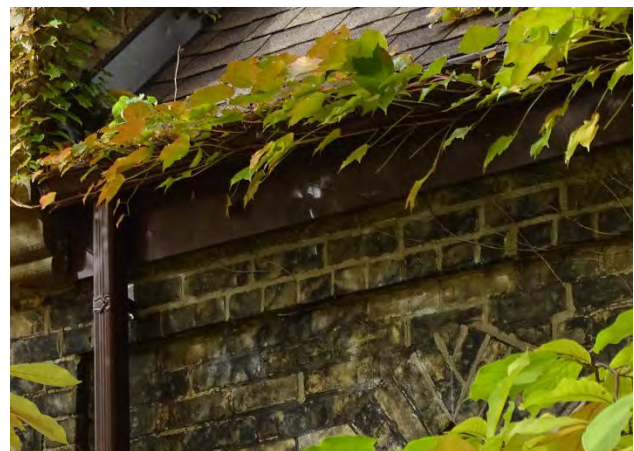


Figure No. 15: South Elevation – Nave Fascia (Photo No. 11.2)

Rainwater Disposal inclusive of Gutters and Rainwater Leaders

Description:

Pre-finished metal gutters run the length of both the north and south elevations of the Main Roof with evidence of former rain water leaders. In similar fashion pre-finished metal gutters run along the north, east and south elevations of the hipped roofs flanking the Sanctuary as well as the east and west elevations of the gabled roofs above the transept entrances and at the vestibule roof of the Main Entrance.

Condition:

Main Roof - North Elevation (Figure No. 16 and 17)

The rainwater disposal system for the Main Roof on the north elevation is poor or practically non-existent as only one rain water leader is intact within the centre bay.

Main Roof - South Elevation (Figures 18 and 19)

The condition of the rainwater disposal system for the Main Roof on the south elevation is unknown as the fascia and gutters are hidden behind the excessive vegetative growth on the masonry walls and extending to the bottom edge of the roof. Two rain water leaders were partially visible within a central bay and at the east end of the elevation. Neither rain water leader extended to grade.

Sanctuary Roof – North and South Elevations (Figure No. 20)

The condition of the rainwater disposal system for the Sanctuary Roof, on both the north and south elevations, is unknown as the fascia and gutters are hidden behind the excessive vegetative growth on the masonry walls and extending to the bottom edge of the roof.

Hipped Roofs Flanking the Sanctuary Roof (Figure No. 21)

The rainwater disposal system for the hipped roof flanking the Sanctuary Roof on the north side appears to have an intact gutter but no rain water leader.

The condition of the gutter on the hipped roof flanking the Sanctuary Roof on the south side cannot be determined due the excessive vegetative growth. A sloped rain water leader, which may be intact, is visible on the south side.

North Transept Roof (Figure No. 22)

There are no rain water leaders on the east and west sides of the North Entrance Roof

South Transept Roof (Figure No. 23)

The condition of the rainwater disposal system for the South Entrance on both the east and west sides is unknown as the fascia and gutters are hidden behind the excessive vegetative growth on the masonry walls and extending to the bottom edge of the roof. Rain water leaders, which may be intact, still exist on the east and west elevations.

West/ Main Entrance Roof (Figure No. 24 and 25)

The rainwater disposal system, inclusive of gutter and rain water leader, is intact on the south side of the West Entrance but does not extend to grade. The rain water leader on the north side is missing.



Figure No. 16: North Elevation – Main Roof RWL (Photo No. 13.1)



Figure No. 17: North Elevation – Main Roof Gutter and Missing RWL (Photo No. 13.0)



Figure No. 18: South Elevation – Main Roof Gutter and RWL (Photo No. 15.1)



Figure No. 19: South Elevation – Main Roof RWL Detail at Grade (Photo No. 15.3)



Figure No. 20: North Elevation – Sanctuary Gutter (Photo No. 13.4)



Figure No. 21: South Elevation – South Entrance Wing Gutter and Broken RWL (Photo No. 15.4)



Figure No. 22: West Elevation – North Transept Gutter and Missing RWL (Photo No. 16.0)



Figure No. 23: East Elevation – South Transept Gutter and RWL (Photo No. 14.4)



Figure No. 24: North Elevation – West/Main Entrance Gutter and missing RWL (Photo No. 13.6)



Figure No. 25: South Elevation – West/Main Entrance Gutter RWL (Photo No. 15.0)

Chimneys and Flashings

Description:

There are three masonry chimneys on the Chapel of Hope, one to the south of the Main Entrance on the west elevation/gable and offset from the roof ridge and two chimneys along the east gable. All were constructed of buff brick.

Condition:

2 Chimneys on East Gable/Elevation (Figure No. 26, 27, 28 and 29)

The 2 chimneys were detailed with 3 sections. The lower /bottom section of the chimneys was constructed with a simple running bond; the middle section was detailed with inset brick panels and the upper or top section with decorative brick detailing. The mortar may be original given the beaded mortar joints.

Both chimneys have deteriorated/spalled or even missing brick and open joints. The metal flashings at the base of the chimneys where they intersect the roof are not stepped with the brick coursing. The base section of the chimney on the south side has ivy/vegetative growth.

Chimney on West Gable/Elevation (Figure No. 30 and 31)

The chimney on the west elevation was detailed to match the 2 chimneys on the east gable.

The entire chimney has deteriorated/spalled brick and open joints. The metal flashing at the base of the chimney where it intersects the roof is not stepped with the brick coursing.



Figure No. 26: East Gable – North Chimney – East Elevation
(Photo No. 17.1)



Figure No. 27: East Gable – North Chimney – Detail
(Photo No. 17.5)



Figure No. 28: East Gable – South Chimney – South Elevation
(Photo No. 18.2)



Figure No. 29: East Gable – South East Chimney – Detail
(Photo No. 18.4)



Figure No. 30: West Gable – South Chimney – West Elevation
(Photo No. 19.2)



Figure No. 31: West Gable – South Chimney – Detail
(Photo No. 19.5)

Walls (above foundation)

Description:

The one-and-a-half storey chapel was constructed of buff brick laid in a common bond with brick parapets at each end and pointed voussoirs and cut lug sills beneath the masonry window openings. The masonry window openings along the north and south elevations have pointed Gothic brick arches. The masonry window openings at both the east and west elevations of the North and South Entrances have flat headed openings with stone lintels. All of the gables, inclusive of the east and west gables, the north and south gables of the North and South Entrances and the main entrance gable have pinned cap stones.

The length of the main structure is detailed with brick buttresses, with stone cap stones and detailing, dividing the north and south walls into 7 bays plus the side entrance elements. The west gable end is detailed with an offset chimney south of the central ridge, a stone detailed cross at the ridge and asymmetrical stone detailing north of the ridge. A large arched opening and quatrefoil window is located on the east gable above the altar section.

In similar fashion to the central nave the one storey altar was detailed with a brick parapet wall at the east elevation. The parapet walls are crowned with cap stones and stone detailing.

Condition:

Central Section/Nave - North Elevation (Figure No. 32 and 33)

The masonry walls are generally in fair condition with what is believed to be original beaded mortar joints. Discrete areas of masonry repointing and broken stone capping is evident, primarily at the masonry buttresses. Along the base of the walls, where the brick masonry extends to grade, green lichen or organic staining is evident along the bottom 5 to 6 courses of brick as well as at the interior corners. Black atmospheric staining, to various degrees, is evident on the original buff masonry as well as at areas of brick adjacent to grade that have been mechanically impacted.

Central Section/Nave - South Elevation (Figure No. 34, 35 and 36)

As previously noted the masonry walls on the south elevation have excessive vegetative overgrowth thereby limiting a visual review. However unlike the north elevation the brick masonry bears on atleast one course of stone with metal vents set above. The masonry around the vent on the south elevation of the Main Entrance appeared to be in good condition however open and cracked mortar joints were evident at several other vents.

Where visible, areas of open joints were evident in addition to damaged stone and black atmospheric staining. On the south elevation large stalks for the ivy, are growing in close proximity to the base of the walls.

Sanctuary and Flanking Entrance Wings - East Elevations (Figure No. 37 - 40)

The extent of vegetative growth on the Sanctuary and flanking entrance wings increases from the north towards the south elevation, thereby limiting a visual review with growth on the north entrance wing was fairly limited compared to the Sanctuary and south entrance wing. Similarly to the other elevations along the base of the walls, where the brick masonry extends to grade, green lichen or organic staining is evident along the bottom 5 to 6 courses of brick as well as at the interior corners where the main walls intersect projecting walls/elements. Black atmospheric staining, to various degrees, is evident on the original buff masonry as well as areas of brick adjacent to grade that have been mechanically impacted and discrete open mortar joints are evident. On the south flanking wing graffiti is evident on both the brick masonry and plywood enclosures for the doors.

North and South Transepts (Figure No. 41 - 46)

The masonry walls, inclusive of brick and stone detailing, is generally in fair condition with the exception of discrete areas of open mortar joints and areas adjacent to grade that have been mechanically impacted or affected by snow/ice and salt. As previously noted where the downspouts are missing the brick within these areas is starting to show algae growth.

West/Main Entrance – West Elevation (Figure No. 47 - 51)

The masonry walls are generally in fair to good condition with what is believed to be original beaded mortar joints. There is limited vegetative growth on the west gable and on the one storey gable entrance and flanking north and south sides walls. Along the base of the wall on the north side, where the brick masonry extends to grade and the rainwater leaders are missing, green lichen or organic staining is evident along the bottom 5 to 6 courses of brick. The brick is relatively clean with atmospheric staining to a lesser degree than the adjacent elevations.

The stone detailing; inclusive of cross at the peak of the gable (noted as finial within the Statement of Heritage Attributes) and similar detail at the peak of the vestibule and stone capping along the heads of the gables are all in relatively good shape. Some atmospheric staining is evident.

Foundation Walls (where visible above grade)**Description and Condition: (Figure No. 52, 53, 54 and 55)**

As previously noted the brick extends to grade with the exception of along the south elevation and south side of west elevation where one course of stone is visible above grade. Along the east elevation of the Sanctuary, it is assumed that the brick course above or the stone foundation itself is deteriorated which has created a void in the wall.



Figure No. 32: North Elevation – Brick (Photo No. 20.1)



Figure No. 33: North Elevation – Previous Mortar Replacement (Photo No. 20.3)



Figure No. 34: South Elevation – Nave – Crack in Brick Wall (Photo No. 22.6)



Figure No. 35: South Elevation – Nave Detail at Base of Buttress (Photo No. 22.10)



Figure No. 36: South Elevation – Nave and South Transept (Photo No. 22.12)



Figure No. 37: East Elevation – Sanctuary North Pier (Photo No. 21.7)



Figure No. 38: North Entrance Wing Pier Base Detail
(Photo No. 21.4)



Figure No. 39: East Elevation – North Entrance Wing Brick Detail
(Photo No. 21.6)



Figure No. 40: East Elevation – Sanctuary Graffiti
(Photo No. 21.9)



Figure No. 41: East Elevation – Sanctuary South Pier Base Detail
(Photo No. 21.11)



Figure No. 42: East Elevation – South Entrance Wing
(Photo No. 21.12)



Figure No. 43: North Elevation – North Transept
(Photo No. 20.7)



Figure No. 44: North Elevation – North Transept
(Photo No. 20.9)



Figure No. 45: East Elevation – North Transept Staining at Grade
(Photo No. 21.1)



Figure No. 46: East Elevation – North Transept
(Photo No. 21.15)



Figure No. 47: North Elevation – West/Main Entrance
(Photo No. 20.4)



Figure No. 48: South Elevation – West/Main Entrance
(Photo No. 22.1)



Figure No. 49: West Elevation – West/Main Entrance North Brick Pier
(Photo No. 23.5)



Figure No. 50: West Elevation – West Gable Stone Detailing (Photo No. 27.2)



Figure No. 51: West Elevation – West/Main Entrance Stone Capping and Stone Band Detail (Photo No. 27.6)



Figure No. 52: North Elevation – West/Main Entrance Exposed Stone Foundation (Photo No. 28.0)



Figure No. 53: East Elevation – Sanctuary Missing Foundation Detail (Photo No. 29.1)



Figure No. 54: South Elevation – Stone Foundation at Nave Wall and Buttress Base (Photo No. 30.1)





Figure No. 55: West Elevation – West/Main Entrance Visible Stone Foundation (Photo No. 31.0)




Windows




Description and Condition: *(Figures No. 56 - 64)*

The following table has broken down the windows into various types, elevation where located and number of the specific windows per type. Given that the windows had been previously boarded during the mothballing of the structure and access to the interior was not possible detailed descriptions and condition assessments of the windows is limited and/or non-existent. It is however assumed, that based on the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) and prior to the mothballing that the stained glass windows (all windows with the exception of the dormers (Type 2)) were all in good condition prior to the installation of the plywood protection and venting.

Peeling paint was noted around the exposed woodwork around the roof dormers on both the north and south elevations.

Window Type	Elevation (Number)	Photo
<p>Type 1 Nave Arched Window North/South – Boarded with Vents</p> <p>Figure No. 56: Window Type 1 Nave Arched Window North/South – Boarded with Vents (Photo No. 32.0)</p>	<p>North (7), South (7)</p>	
<p>Type 2 Dormer Window – Boarded</p> <p>Figure No. 57: Window Type 2 Dormer Window – Boarded (Photo No. 32.1)</p>	<p>North (4), South (4)</p>	

<p>Type 3 Arched Window Main Entrance – Boarded</p> <p>Figure No. 58: Window Type 3 Arched Window Main Entrance – Boarded (Photo No. 32.2)</p>	<p>North (1), South (1)</p>	
<p>Type 4 Double Arched Window North/South Entrance Wing – Boarded</p> <p>Figure No. 59: Window Type 4 Double Arched Window North/South Entrance Wing – Boarded (Photo No. 32.3)</p>	<p>North (2), South (2)</p>	
<p>Type 5 Rectangular Window North/South Transept – Boarded</p> <p>Figure No. 60: Window Type 5 Rectangular Window North/South Transept – Boarded (Photo No. 32.4)</p>	<p>East (2), West (2)</p>	

<p>Type 6 Large Arched Window Sanctuary – Boarded</p> <p>Figure No. 61: Window Type 6 Large Arched Window Sanctuary – Boarded (Photo No. 32.5)</p>	<p>East (1)</p>	
<p>Type 7 Circular Window East Gable – Boarded</p> <p>Figure No. 62: Window Type 7 Circular Window East Gable – Boarded (Photo No. 32.6)</p>	<p>East (1)</p>	
<p>Type 8 Large Arched Window West Nave – Boarded</p> <p>Figure No. 63: Window Type 8 Large Arched Window West Nave – Boarded (Photo No. 32.7)</p>	<p>West (2)</p>	

<p>Type 9 Arched Window West Nave – Boarded</p> <p>Figure No. 64: Window Type 9 Arched Window West Nave – Boarded (Photo No. 32.8)</p>	<p>West (1)</p>	
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Doors

Description and Condition: *(Figures 65 - 72)*

In similar fashion to the windows the doors were boarded as part of the mothballing of the structure and there was no interior access. There are 5 exterior doors to the Chapel of Hope; the main entrance on the west gable with a set of double wood doors with an arched transom above (Door W-D1), 2 single arch headed wood doors at the North and South Transepts (Door N-D1 and Door S-D1) and 2 single arch headed doors at the Entrance Wings flanking the Sanctuary (Door E-D1 and Door E-D2).

No documentation was provided as part of the Baseline Documentation Report to confirm the condition of these doors prior to mothballing, accordingly detailed descriptions and condition assessments of the doors is not possible. The main doors were the only exception as they were not totally covered by plywood and weathered wood was evident at the head of the doors as well as hinges on both sides. Vegetative growth was evident at the concrete threshold as well as single step/landing adjacent to the doors.



Figure No. 65: Door N-D1 (Photo No. 33.0)



Figure No. 66: Door E-D1 (Photo No. 33.1)



Figure No. 67: Door E-D2 (Photo No. 33.2)



Figure No. 68: Door S-D1 (Photo No. 33.3)



Figure No. 69: Door S-D1 Detail (Photo No. 33.4)



Figure No. 70: Door S-D1 Detail (Photo No. 33.5)



Figure No. 71: Door W-D1 (Photo No. 33.6)



Figure No. 72: Door W-D1 Detail (Photo No. 33.7)

Signage

Description:

The Chapel of Hope has 3 types of signage: a letter J located on the west gable above the main entrance (typical building signage on the site); individual letters on the west gable above the main entrance with the structure's name: *Chapel of Hope*; and an Ontario Heritage Trust (OHT) Plaque located on a stand to the south of the main entrance. There is a "Private Property No Trespassing" sign on the North Transom Door.

Condition: (Figure No. 73 and 74)

The signage identifying *Chapel* are missing the C with the remaining letters skewed.

The OHT plaque is missing with only the stand remaining. Refer to landscape photos, Photo No. 3.6



Figure No. 73: West Elevation – West/Main Entrance – Letter "J"
(Photo No. 34.0)



Figure No. 74: West Elevation – West/Main Entrance – "Chapel of Hope"
(Photo No. 34.1)

EASEMENT PROPERTY CONDITION SUMMARY - HORSE STABLE

Property: London Psychiatric Hospital – Horse Stable

Municipal Address and Location: 850 Highbury Avenue North, London, Ontario

Current Use: Unoccupied

Owner: Old Oak Properties Inc.

Owner Phone No.: 519-661-0215

OHT Rep: Thomas Wicks

OHT Rep Phone No.: 437-246-6591

Cultural Heritage Architect Site Recorder: Kelly Gilbride and Ashley Stewart of Stevens Burgess Architects Ltd.

Date Visited: October 6th, 2020

Weather Conditions: October 6th, 2020 - The temperature was 18° C, windy, cloudy with some periods of sun.

Limitations of Survey: The survey was confined to the exterior of the building. It took the form of a visual inspection at grade level. There was no access to the interior. The interior is not protected under the Easement.

General Description:

The Architectural Value of the Horse Stable is included within the Statement of Cultural Heritage Value and Interest:

The Horse Stable was built in 1894 under the direction of Superintendent Bucke and the scale and quality of materials shows the importance of agriculture to the self-sufficiency and practice of moral therapy at London Psychiatric Hospital. It is a large two-storey buff brick building. There are two intersecting gable roof sections and five ventilators along the apex to provide ventilation and give the building a distinct silhouette. The segmental arched window openings (bricked over) have brick voussoirs and most have stone sills. The eaves have tongue and groove soffits. A large second storey board and batten door provides access to the hay loft on the building's west elevation.

The heritage features of the Horse Stable include the following:

- General massing and two intersecting gable roof sections
- “t”-shaped footprint
- Local buff brick (also called white brick)
- Five roof ventilators
- Brick chimney (east elevation)
- Location of existing segmental-arched window and door openings
- Brick voussoirs and stone sills below window openings
- Board and batten upper access doors to hay loft (west elevation)

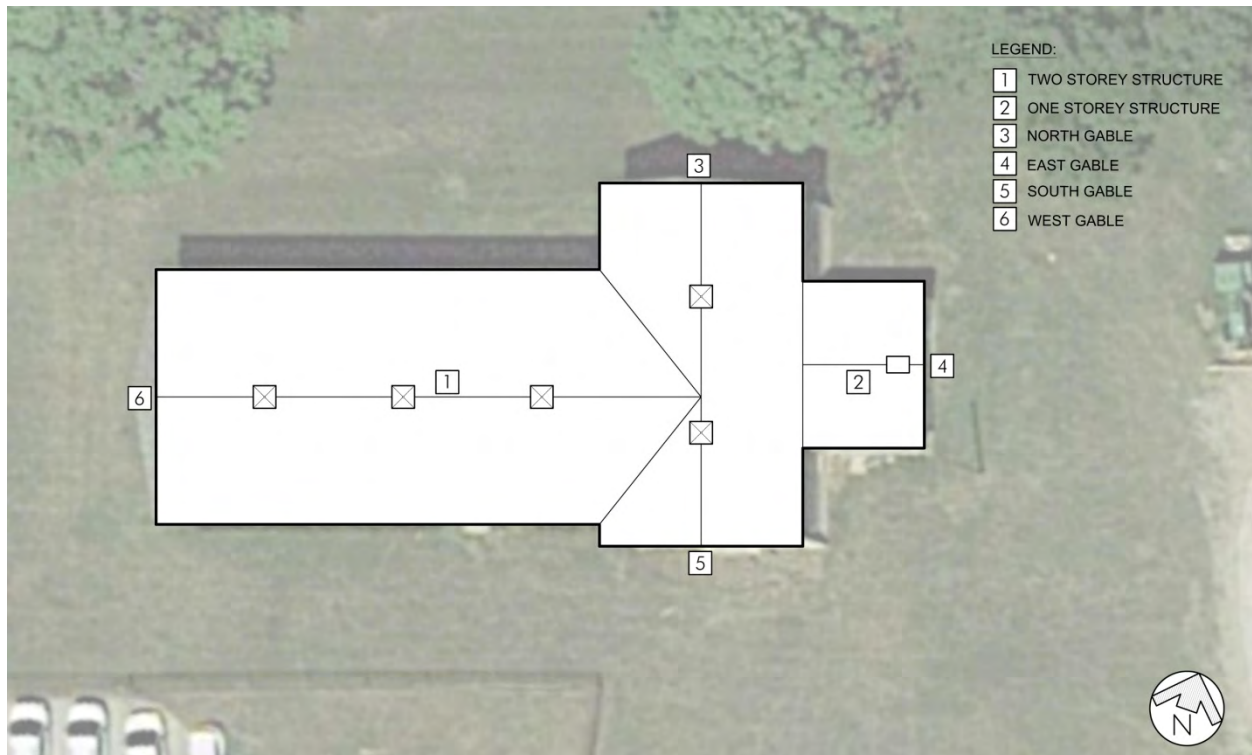


Figure No. 75: Key Plan of Horse Stable

Credit: Google Maps, Annotated by SBA, 2021

Roof

Description:

The Horse Stable is a two storey buff brick building with an asphalt shingled roof composed of two intersecting gable roof sections. The t-shaped plan has a small one storey section/wing with a gabled roof along the east side. A series of distinctive roof ventilators/cupolas are located along the ridges of both gable roof sections; two on the roof running north-south and three on the roof section running east to west. The segmental arch windows have decorative brick voussoirs and most have stone sills. The roof eaves at the two storey gable ends have tongue and groove soffits with an ogee molding above a simple fascia on the vergeboards. A large board and batten door on the west gable would have provided access to the original hay loft. The double doors are currently set on a sliding rail and may have been altered during the repairs to the structure completed since the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008). The Plan noted that the structure was designed with large queen-post trusses, with large diagonal braces hereby dividing the large east-west structure into distinct bays with limited headroom on the upper level. A brick chimney is centrally located along the east side of the one storey wing.

Condition:

Main Roof - North Elevation (Figure No. 76 and 77)

The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) noted that the slate roof of the Horse Stable was in poor condition and had started to leak. The current asphalt shingles are believed to have been installed to address this issue as a stabilization measure. Generally the grey asphalt shingles appear to be in good condition with the exception of discrete areas on the north side that have lifted and some shingles have fallen off possibly due to high winds.

Main Roof - South and West Elevations (Figure No. 78 and 79)

Generally the grey asphalt shingles appear to be in good condition with the exception of discrete areas that have lifted and some shingles have fallen off possibly due to high winds.

One Storey Roof on East Side

The grey asphalt shingles on the one storey wing appear to be in good condition. The prefinished metal flashing at the junction of the one-storey wing and east elevation is not stepped to align with the brick coursing.

Wood Elements of the Main Roof

Description:

The Horse Stable is a two storey buff brick building with an asphalt shingled roof composed of two intersecting gable roof sections. A series of distinctive roof ventilators/cupolas are located along the ridges of both gable roof sections; two on the roof running north-south and three on the roof section running east to west. The roof eaves at the two storey gable ends have tongue and groove soffits with an ogee molding above a simple fascia on the vergeboards. The ogee molding detail is repeated on the one story gable end.

Condition:***Main Roof – Both Sides (Figure No. 80, 81, 82 and 83)***

The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) noted that both the detailing around the ventilators and the condition of the ventilators themselves were in poor condition. The ventilators are believed to have been repaired/restored since 2008 as part of the building stabilization measures. The ventilators are in good condition. The soffits, fascias and ogee moldings appear to be in good condition with the exception of a damaged area on the south side of the west gable.

Wood Elements of the One-Storey Wing**Description:**

The Horse Stable has a small one storey section/wing with an asphalt shingled gabled roof along the east side. The ogee molding detail from the main roof gables is repeated on the one story east gable.

Condition:***One Storey Wing (Figure No. 84 and 85)***

The fascias and ogee moldings appear to be in good condition



Figure No. 76: North Elevation Shingles Detail (Photo No. 5.2)



Figure No. 77: North Elevation Shingles Detail (Photo No. 5.3)



Figure No. 78: South Elevation Shingles Detail (Photo No. 6.3)



Figure No. 79: West Elevation, North Gable (Photo No. 6.5)



Figure No. 80: Ventilator (Photo No. 15.0)

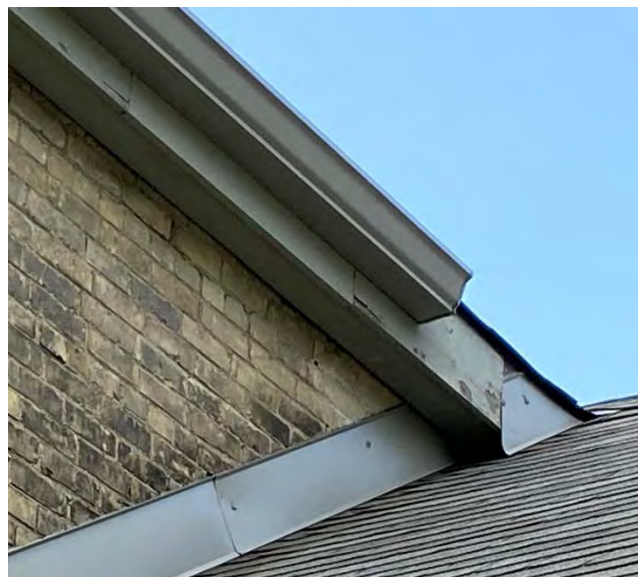


Figure No. 81: East Elevation Fascia Detail (Photo No. 8.0)



Figure No. 82: One Storey South Elevation Fascia (Photo No. 9.0)



Figure No. 83: West Elevation Soffit Detail (Photo No. 10.0)

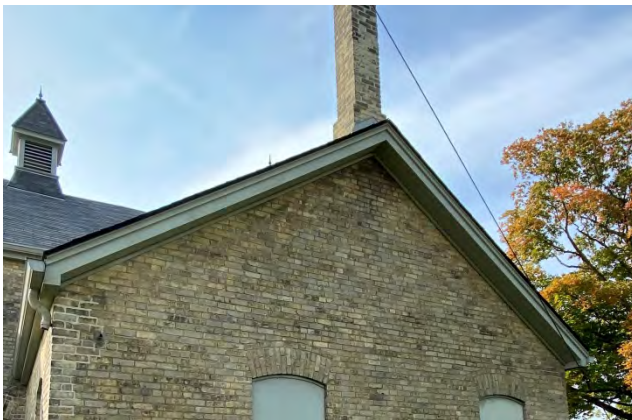


Figure No. 84: East Elevation Fascia (Photo No. 7.0)



Figure No. 85: East Elevation Fascia Detail (Photo No. 7.1)

Rainwater Disposal inclusive of Gutters and Rainwater Leaders

Description:

Prefinished metal gutters run the length of the north elevation of the Main Roof with 4 downspouts; one centrally located, one at west end, one adjacent to the intersection of the two roof sections and a fourth on the east side of the north gable. On the south side the rain water leaders/downspouts are located at each side of the two-storey south gable, one centrally located and one at the west end. The base of the metal downspouts typically end within black plastic corrugated piping assumed to be tied underground into a weeping tile system. Prefinished metal gutters run the length of the north and south elevations of the one-storey gable roof with downspouts at the outer corners.

Condition:

Main Roof (Figure No. 86, 87 and 88)

The gutters and rainwater leaders of the Main Roof are in fair to good condition however the black plastic corrugated piping at the base of the downspouts is typically damaged and cut to varying degrees. Damage is assumed to have occurred from trimming the grass with a weed wacker. The central rainwater leader on the north side, inclusive of the plastic corrugated piping, is not vertical and appears to have been impacted.

One-Storey Roof (Figure No. 89)

The gutters of the one-storey gable roof are in fair to good condition however the rainwater leader on the south corner is missing.

Chimney and Flashings

Description:

A buff brick chimney with a metal clad cap stone is centrally located along the east gable of the one storey wing. The chimney may have been capped at the time of the stabilization measures.

Condition: (Figure No. 90 and 91)

The upper half of the chimney appears to have been rebuilt as there are distinctive brick differences and areas of masonry repairs are evident. A metal flashing with rain diverters at each side is evident at the base of the chimney. The chimney appears to be in fair condition.



Figure No. 86: North Elevation RWL (Photo No. 11.0)



Figure No. 87: South Elevation RWL Detail (Photo No. 12.2)



Figure No. 88: South Elevation RWL Detail (Photo No. 12.3)



Figure No. 89: South Elevation Missing RWL (Photo No. 12.0)



Figure No. 90: Chimney (Photo No. 14.0)

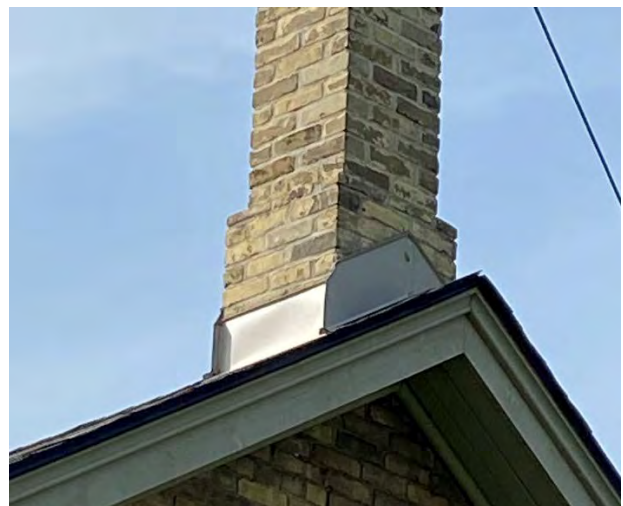


Figure No. 91: Chimney Flashing (Photo No. 13.1)

Walls (above foundation)

Description:

The two storey horse stable was constructed of buff brick laid in a common bond. The segmental arch windows have decorative brick voussoirs and most have stone sills. Both the window and door masonry openings have either been infilled by brick or protected with plywood with an integral metal sill detail covering most of the stone window sills. Where the original masonry openings were brick infilled the corresponding stone sills were removed and these areas infilled with brick as well.

As visible on the north gable the base of the buff brick masonry sits on a three course high brick base proud of the wall above. The bottom +/- 13 courses of brick, above the base, have been coated with a white wash or paint at some point.

Condition:

Two Storey Structure – North Elevations (Figure No. 92, 93, 94 and 95)

The masonry walls on the north elevations are generally in fair to good condition with many of the masonry openings bricked in at some point. **Refer to Windows and Doors.** Along the base of the walls, where the brick masonry extends to grade and where below grade masonry openings still exist, there is substantial brick damage and areas of missing brick. Black atmospheric staining, to various degrees, is evident on the original buff masonry as well as the previously noted areas that have been painted throughout the structure.

Two Storey Structure – South Elevations (Figure No. 96, 97, 98 and 99)

The masonry walls on the south elevations are generally in good condition with the masonry openings covered in plywood. **Refer to Windows and Doors.** Compared to the north elevation there is generally no damage at grade with the exception of mechanical impact believed to be from trimming /edging of the grass by mechanical means. There is some missing mortar on South Gable.

Two Storey Structure – West Elevation (Figure No. 100 and 101)

The masonry walls on the west gable are generally in good condition with only 3 openings on the ground floor bricked in at some point. **Refer to Windows and Doors.** Compared to the north elevation there is generally no damage at grade with the exception of mechanical impact believed to be from trimming /edging of the grass by mechanical means. Staining was noted on one of the stone sills. At the below grade windows openings (1) within window wells there are missing plywood panels and some stone damage.

One Storey Structure (Figure No. 102 and 103)

The masonry walls on the east gable are generally in good condition with 2 openings covered in plywood. **Refer to Windows and Doors.** On the west side graffiti is evident on the brick masonry as well as on two adjacent plywood enclosures of the main section of the stable. On the south side 2 masonry openings have been covered with plywood and a single door

appeared to have been covered at some point. The plywood may have been removed to provide security access.

Foundation Walls (where visible above grade)

Description and Condition:

The Heritage Assessment of ORC Mental Health and Developmental Services Facilities, N00014 – Regional Mental Health, London Site-Specific Report (September 2004) noted that the Horse Stable had a parged stone foundation. With the exception of a damaged window well on the north elevation where stone was evident the brick masonry extended to grade as of the 2020 site visit. As noted on the north gable the base of the buff brick masonry sits on a three course high brick base proud of the wall above. The stone foundation may exist but has been covered by the changes in grade over time. **Refer to Walls (above foundation).**



Figure No. 92: North Elevation, North Gable (Photo No. 16.2)



Figure No. 93: North Elevation, West Wing (Photo No. 16.3)



Figure No. 94: North Elevation (Photo No. 20.0)



Figure No. 95: North Elevation Foundation (Photo No. 20.1)



Figure No. 96: South Elevation (Photo No. 18.0)



Figure No. 97: South Elevation (Photo No. 18.1)



Figure No. 98: South Elevation (Photo No. 22.1)



Figure No. 99: South Elevation (Photo No. 22.2)



Figure No. 100: West Elevation (Photo No. 19.0)



Figure No. 101: West Elevation Detail (Photo No. 23.1)



Figure No. 102: Graffiti and White Wash (Photo No. 16.0)









Figure No. 103: South Elevation (Photo No. 18.0)

Windows

Description and Condition: *(Figures No. 104 - 117)*

The following table has broken down the windows into various types, elevation where located and number of the specific windows per type. Given that the windows had been previously infilled with brick or boarded during the mothballing of the structure and access to the interior was not possible detailed descriptions and condition assessments of the windows is limited and/or non-existent. The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) noted that there are still some original wood window sashes in place beneath the plywood and at some of the infilled window openings on the north elevation.

Window Type	Elevation (Number)	Photo
<p>Type 1 Brick Infilled</p> <p>Figure No. 104: Window Type 1 Brick Infilled (Photo No. 24.0)</p>	<p>North (2), East (1), West (2)</p>	
<p>Type 1 Boarded</p> <p>Figure No. 105: Window Type 1 Boarded (Photo No. 24.1)</p>	<p>North (1), East (3), South (3), West (2)</p>	
<p>Type 1 Boarded with Vent</p> <p>Figure No. 106: Window Type 1 Boarded with Vent (Photo No. 24.2)</p>	<p>North (2), South (3)</p>	

<p>Type 2 Boarded</p> <p>Figure No. 107: Window Type 2 Boarded (Photo No. 24.3)</p>	<p>North (1), South (1)</p>	 A photograph of a window set in a brick wall. The window is boarded with a light-colored material. Above the window is a decorative brick arch. The brickwork is made of light-colored bricks.
<p>Type 3 Brick Infilled</p> <p>Figure No. 108: Window Type 3 Brick Infilled (Photo No. 24.4)</p>	<p>North (6)</p>	 A photograph of a window opening in a brick wall. The opening is filled with brickwork, forming a semi-circular arch. The brickwork is made of light-colored bricks.
<p>Type 3 Boarded</p> <p>Figure No. 109: Window Type 3 Boarded (Photo No. 24.5)</p>	<p>South (3)</p>	 A photograph of a window set in a brick wall. The window is boarded with a light-colored material. Above the window is a decorative brick arch. The brickwork is made of light-colored bricks.




<p>Type 3 Boarded with Vent</p> <p>Figure No. 110: Window Type 3 Boarded with Vent (Photo No. 24.6)</p>	<p>South (3)</p>	
<p>Type 4 Brick Infilled</p> <p>Figure No. 111: Window Type 4 Brick Infilled (Photo No. 24.7)</p>	<p>North (1)</p>	
<p>Type 4 Boarded</p> <p>Figure No. 112: Window Type 4 Boarded (Photo No. 24.8)</p>	<p>South (1)</p>	



Figure No. 115: Stained Stone Sill (Photo No. 24.11)



Figure No. 116: Damaged Sill Protection (Photo No. 24.12)



Figure No. 117: Damaged Window Protection (Photo No. 24.13)

Doors

Description and Condition: *(Figure No. 118 - 125)*

In similar fashion to the windows the doors had been infilled with brick or were boarded as part of the mothballing of the structure and there was no interior access. There are 6 exterior door openings at grade level to the Horse Stable; a single door on the south side of the one-storey wing (Door S-D1), a large double door opening on the south gable (Door S-D2), a single door opening within the 1st bay of the south side (Door S-D3), a brick infilled single door on the west side (Door W-D1), a brick infilled single door on the north side (Door N-D1) and a brick infilled single door on the west side of the north gable (Door W-D3). On the west gable is a large former hay loft opening on the 2nd floor (Door W-D2).

No documentation was provided as part of the Baseline Documentation Report to confirm the condition of these doors prior to mothballing, accordingly detailed descriptions and condition assessments of the doors is not possible. The hay loft door was visible and appeared to be in good condition.



Figure No. 118: Door N-D1 (Photo No. 25.0)



Figure No. 119: Door S-D1 (Photo No. 25.1)



Figure No. 120: Door S-D2 (Photo No. 25.2)



Figure No. 121: Door S-D3 (Photo No. 25.3)



Figure No. 122: Door W-D1 (Photo No. 25.4)



Figure No. 123: Door W-D2 – Hayloft Doors (Photo No. 25.5)



Figure No. 124: Door W-D3 – Hayloft Doors (Photo No. 25.6)



Figure No. 125: Door S-D3 Step Detail (Photo No. 25.7)

Signage

Description and Condition: *(Figure No. 126)*

The Horse Stable has 1 type of signage: a danger sign noting no trespassing.



Figure No. 126: Door Signage (Photo No. 26.0)

EASEMENT PROPERTY CONDITION SUMMARY - INFIRMARY

Property: London Psychiatric Hospital – the Infirmary

Municipal Address and Location: 850 Highbury Avenue North, London, Ontario

Current Use: Vacant

Owner: Old Oak Properties Inc.

Owner Phone No.: 519-661-0215

OHT Rep: Thomas Wicks

OHT Rep Phone No.: 437-246-6591

Cultural Heritage Architect Site Recorder: Kelly Gilbride and Ashley Stewart of Stevens Burgess Architects Ltd.

Date Visited: October 6th and October 29th, 2020

Weather Conditions: October 6th, 2020 - The temperature was 18° C, windy, cloudy with some periods of sun. October 29th, 2020 - The temperature was 12° C, light breeze, overcast with some periods of sun.

Limitations of Survey: The survey was confined to the exterior of the building and was completed over 2 days. Given the extent of vegetative overgrowth the 2nd site visit was completed after removal of overgrowth so that the survey could be completed. Visual review and reporting on the existing conditions were in some areas impacted by the remaining extent of ivy growth and security fencing. The visual reviews were completed at grade level with no access to the interior. The interior is not protected under the Easement.

General Description:

The Architectural Value of the Infirmary is included within the Statement of Cultural Heritage Value and Interest:

The Infirmary is an imposing building with a combination of architectural styles popular in the Victorian-era including Beaux-arts Classicism, Edwardian Classicism and Colonial Revival. The Infirmary is constructed of local buff brick with a central administration block with two recessed symmetrical wards on either side (one for men and one for women). The three-storey central block sits on a raised basement. It has a hipped roof with a central skylight to the operating theatre and tall distinctive chimneys. The main front entrance is topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentillated cornice. The symmetrical wards are connected to the central block by a narrow corridor. The wards feature Colonial Revival

influence seen in the projecting central bay with a pediment and quoins, ventilators, dormer windows and a dentillated cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid. The current ones are rectangular and date from 1945. The rear (north) elevation of the Infirmary is simplified with projecting bays, dormer windows and tall chimneys. All of the window openings are flat-arched and many of the double-hung wood-sash windows survive. The exception is a singular rounded-arch window on both ward facades above an off-centred entrance door.

The heritage features of the Infirmary include the following:

- Local buff brick construction
- Symmetrical composition – tall three storey central administration block on a raised basement central block flanked by two identical wards with rectangular wood verandahs
- Main front entrance topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentillated cornice
- Tall chimneys and skylight atop of the hipped roof of the central block
- Dentillated cornice around the entire building
- Double-hung wood-sash windows
- Flat arch buff-brick lintels and stone sills
- Bellcast Cupolas (louvered ventilators) atop the flanking wards
- Pediments, dormer and bull's eye windows of the wards
- The single rounded-arched window of the wards' façade
- Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards
- The simplified rear (north) elevation with projecting bays, dormers and chimneys
- Sun porches at the end of each ward

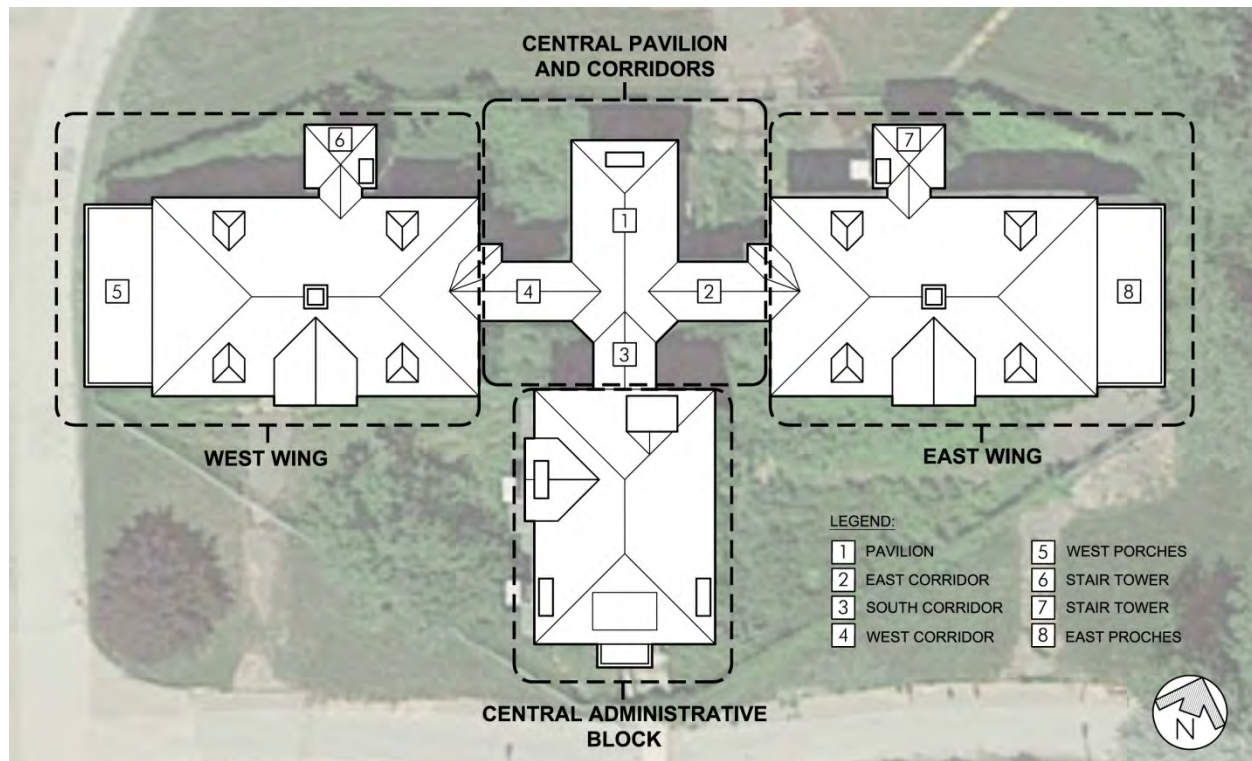


Figure No. 127: Key Plan of Infirmary

Credit: Google Maps, Annotated by SBA, 2021

Roof

Description:

The Infirmary is constructed of local buff brick with a three storey central administration block/pavilion with two storey symmetrical wards on either side (one for men and one for women). The three storey central block has a hipped roof with a central skylight (now covered by plywood) to the former operating theatre below and tall distinctive chimneys. The symmetrical wards are connected to the central block by a narrow corridor and each ward has a projecting central bay with a pediment and quoins, hipped roofs, louvered ventilators, dormer windows and a dentillated cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid. The current ones are rectangular and have low sloped roofs. The rear (north) elevation of the Infirmary is simplified with projecting bays, hipped roofs, dormer windows and tall chimneys.

Condition:

Central Administration Block (Figure No. 128 and 129)

The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) noted that the hipped roof of the Infirmary was in poor condition with major roof leaks having resulted in damage to the interiors and the complete collapse of the wood structure on the west sunroom (believed to be a typo in the conservation plan and should have noted east sunroom). The current asphalt shingles on all the roofs; inclusive of the Central Administration Block, the Central Pavilion and Corridors and the East and West Wings, are believed to have been installed to address this issue as a stabilization measure.

Generally, the grey asphalt shingles appear to be in fair condition with some discoloration throughout the hipped roofs. The large skylight above the operating room on the south elevation of the Central Administration Block may have been covered in plywood at the time the reroofing was completed though no documentation was provided to confirm this assumption. The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008) specially made reference to this heritage attribute noting that the large skylight had an interior sash with ribbed glass in the operating room ceiling though there were no remnants of any operational sash there was evidence of casement swing arms that may have been used to direct light from the mirrors.

On the north side is a prominent brick element (possibly a service shaft) with a boarded window opening and a contemporary roof vent. The prefinished metal flashings appear to be in good condition but are not stepped within the masonry coursing of the brick service shaft nor at the 2 brick chimneys.

Central Pavilion and Corridors (Figure No. 130 and 131)

Generally, the grey asphalt shingles appear to be in fair condition with some staining/discoloration. The prefinished metal flashings appear to be in good condition but are not stepped within the masonry coursing of brick chimney located along the north side.

East Wing (Figure No. 132, 133, 134 and 135)

Generally, the grey asphalt shingles of the east wing, exclusive of the east porches, appear to be in fair condition. The condition of the east porches, cited in the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008), has further decayed and the entirety of the porch structure has pulled away from the east wing and is in an advanced state of structural collapse.

West Wing (Figure No. 136 and 137)

Generally, the grey asphalt shingles of the west wing, exclusive of the west porches, appear to be in fair condition. The west porches have fared better than those on the east elevation however the condition of their roof could not be seen from grade nor was interior access possible to confirm if water penetration is occurring from the low sloped roof.



Figure No. 128: Central Administration Block – South Elevation – Skylight Detail (Photo No. 23.1)



Figure No. 129: Central Administration Block – North West View of Roof (Photo No. 21.1)



Figure No. 130: East Corridor– North Elevation (Photo No. 25.1)



Figure No. 131: Central Pavilion – West Elevation (Photo No. 27.0)



Figure No. 132: East Wing – North Elevation
(Photo No. 29.0)



Figure No. 133: East Wing – North Elevation – West Side of Stair Tower Detail
(Photo No. 29.1)



Figure No. 134: East Wing – Stair Tower – East Elevation
(Photo No. 30.0)



Figure No. 135: East Wing – Porches – East Elevation Detail
(Photo No. 101.2)



Figure No. 136: West Wing – North Elevation (Photo No. 33.0)



Figure No. 137: West Wing – East Elevation Detail
(Photo No. 34.0)

Wood Elements

Description:

The main front entrance on the south side of the Central Administration Block is topped with a wood detailed pediment, 2nd floor wood pilasters, a large rounded arched window and a dentillated wood cornice. The symmetrical East and West wings are connected to the Central Pavilion by a narrow corridor and each wing has a projecting central bay with a wood detailed pediment with brick quoins, ventilators, dormer windows and a dentillated wood cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid though the current ones are rectangular and date from 1945. The rear (north) elevation of the Infirmary (the Central Pavilion) is simplified with projecting bays, dormer windows and tall chimneys.

Condition:

Central Administration Block (Figure No. 138 - 143)

With the exception of the dentillated wood cornice, the woodwork at the south facing entrance of the Central Administration Block is very poor or missing primarily at the wood detailed pediment and pilasters above the main entrance. The remaining wood is weathered and grey.

The wood fascia and soffits at the top of the brick service shaft have peeling paint or areas with limited paint. The continuous dentillated cornice, fascia and soffits at the base of the hip roof generally appear intact though the paint is peeling with areas of bare wood evident. On the south side wood trim at the soffits is damaged, lifting and openings evident. It appeared that the dentils also were beginning to have horizontal cracking.

Ivy has grown up the sides and rear of the Central Block and extends over the wood cornice to the line of the roof gutters.

Central Pavilion and Corridors (Figure No. 144)

The continuous dentillated cornice, fascia and soffits at the base of the hip roof generally appear intact. Ivy has typically grown up the sides of Central Pavilion and Corridors and extends over the wood cornice to the line of the roof gutters. In some areas the ivy growth extends onto the shingled roofs.

East Wing and Porches (Figure No. 145 - 146)

The continuous dentillated cornice, fascia and soffits at the base of the hip roof generally appear intact. Ivy has typically grown up the elevations of the East Wing and extends over the wood cornice to the line of the roof gutters. In some areas the ivy growth is beginning to extend onto the shingled roofs.

There is limited or no paint on the south elevation's projecting central bay's wood detailed pediment and the existing wood is grey and weathered.

The condition of the east porches, cited in the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008), has further decayed and the entirety of the porch structure,

inclusive of masonry and wood elements, has pulled away from the east wing and is in an advanced state of structural collapse. Limited or no paint remains and the dentillated cornice, fascias, soffits and vertical tongue and groove siding are grey and weathered. Light could be seen through the window vent on the north elevation.

West Wing and Porches (Figure No. 150, 151, 152 and 153)

The continuous dentillated cornice, fascia and soffits at the base of the hip roof generally appear intact though openings in the soffit were noted. Ivy has typically grown up the elevations of the West Wing and extends over the wood cornice to the line of the roof gutters. In some areas the ivy growth is beginning to extend onto the shingled roofs.

There is limited or no paint on the south elevation's projecting central bay's wood detailed pediment and the existing wood is grey and weathered.

The west porches have fared better than those on the east wing however limited or no paint remains and the dentillated cornice, fascias, soffits and vertical tongue and groove siding are grey and weathered. The roof soffit on the west elevation has been covered with a cement board.



Figure No. 138: Central Administration Block – Entrance – South Elevation (Photo No. 41.1)



Figure No. 139: Central Administration Block – East Elevation – Entrance Detail (Photo No. 41.8)



Figure No. 140: Central Administration Block – Service Shaft – North Elevation (Photo No. 37.1)



Figure No. 141: Central Administration Block – South Elevation Detail (Photo No. 39.3)



Figure No. 142: Central Administration Block – West Elevation – West Pediment Detail (Photo No. 40.1)



Figure No. 143: Central Administration Block – East Elevation (Photo No. 38.3)



Figure No. 144: Central Pavilion – North Elevation (Photo No. 42.2)



Figure No. 145: East Wing – Stair Tower – North Elevation (Photo No. 46.4)



Figure No. 146: East Wing – South Elevation – South Pediment (Photo No. 48.5)



Figure No. 147: East Wing – Porches – East Elevation (Photo No. 101.5)



Figure No. 148: East Wing – Porches – North Elevation Detail
(Photo No. 100.3)



Figure No. 149: East Wing – Porches – South Elevation Detail
(Photo No. 102.4)



Figure No. 150: West Wing – East Elevation Detail
(Photo No. 51.3)



Figure No. 151: West Wing – East Elevation Detail
(Photo No. 52.4)



Figure No. 152: West Wing – East Elevation Detail
(Photo No. 52.13)



Figure No. 153: West Wing – East Elevation Detail
(Photo No. 53.1)

Rainwater Disposal inclusive of Gutters and Rainwater Leaders

Description:

Prefinished grey metal gutters run the length of the fascias beneath the hipped roofs with downspouts located typically at interior and exterior corners. The gutters at the pedimented gables are drained via rainwater leaders into the adjacent gutters of the hipped roofs. The base of the metal downspouts typically end within clay pipes and are assumed to be drained within an underground weeping tile system. The small pedimented roof above the main entrance is drained on the east side to grade.

Condition:

Central Administration Block (Figure No. 154, 155, 156 and 157)

The gutters and rainwater leaders are in fair to good condition however some of the clay pipes are broken or are not visible at grade. The base of the downspout on the east side of the main entrance is broken.

Central Pavilion and Corridors (Figure No. 158)

The gutters and rainwater leaders are in fair to good condition however some of the clay pipes are not visible at grade.

East Wing and Porches (Figure No. 159 - 160)

The gutters and rainwater leaders are in fair to good condition however some of the clay pipes are not visible at grade and others have been disconnected and rerouted to drain to grade. 2 downspouts are located on the east elevation of the porches.

West Wing and Porches (Figure No. 161)

The gutters and rainwater leaders are in fair to good condition however some of the clay pipes are not visible at grade and others have been disconnected and rerouted to drain to grade. 2 downspouts are located on the east elevation of the porches.



Figure No. 154: Central Administration Block – East Elevation – Detail at Grade (Photo No. 55.1)



Figure No. 155: Central Administration Block – Entrance – East Elevation (Photo No. 56.1)



Figure No. 156: Central Administration Block – Entrance – East Elevation – Detail at Grade (Photo No. 56.2)



Figure No. 157: Central Administration Block – West Elevation – Leaders from West Pediment (Photo No. 57.1)



Figure No. 158: West Corridor – South Elevation – Detail at Grade (Photo No. 60.1)



Figure No. 159: East Wing – North Elevation – Wing/Porch Connection – Detail at Grade (Photo No. 62.3)



Figure No. 160: East Wing – Porches – East Elevation (Photo No. 63.0)



Figure No. 161: West Wing – North Elevation – West Wing/Porch Connection – Detail at Grade (Photo No. 66.4)

Bellcast Cupolas (Ventilators):**Description:**

The symmetrical East and West Wings are connected to the central block by a narrow corridor and each ward/wing has a projecting central bay with a pediment and brick quoining, hipped roofs, louvered ventilators, dormer windows and a dentillated cornice.

Condition: (Figure No. 162, 163, 164 and 165)

The existing bellcast cupolas/roof ventilators (2) along the rood ridge of the East and West Wings are in good condition with the exception of the louvered slates where the painting is peeling.



Figure No. 162: West Wing – North Elevation (Photo No. 79.0)



Figure No. 163: East Wing – North Elevation – Detail (Photo No. 78.2)



Figure No. 164: West Wing – South Elevation (Photo No. 79.3)



Figure No. 165: West Wing – South Elevation – Detail (Photo No. 79.4)

Chimneys

Description:

There are three masonry chimneys on the Central Administration Block, one at the south east corner, one at the south west corner and one on the west side, at the dormer roof. The East and West Wings both have a tall masonry chimney at their respective Stair Tower roofs. The rear (north) elevation of the Central Pavilion has one chimney.

Condition:

Chimneys on the Central Administration Block (Figure No. 166 – 171)

The 3 buff brick chimneys were simply detailed with concrete/stone cap stones. The chimneys appear to be capped with prefinished metal. Some atmospheric staining is evident on the brick.

The west chimney is in fair condition and the metal flashings at the base of the chimney, where they intersect the roof are not stepped with the brick coursing. There are some open joints and spalled brick primarily on the west elevation of the upper half of the chimney.

The south east chimney is in poor to fair condition and the metal flashings at the base of the chimney where they intersect the roof are not stepped with the brick coursing. There are open joints and spalled brick primarily on the south elevation of the upper half of the chimney above the mid-point decorative 2 courses of brick.

The south west chimney is in fair condition and the metal flashings at the base of the chimney where they intersect the roof are not stepped with the brick coursing. Masonry repairs/repointing appears may have been completed on the north elevation of the upper half of the west chimney above the mid-point decorative 2 courses of brick. The upper courses of brick on the west side appears to be damaged and brick missing below the cap stone.

Chimney on the Central Pavilion and Corridors (Figure No. 172 and 173)

The buff brick chimney on the north side of the Central Pavilion was similarly detailed to those on the Central Administration Block and there are open joints and spalled brick primarily above the mid-point decorative 2 courses of brick.

Chimneys on the East Wing (Figure No. 174 and 175)

The buff brick chimney on the East Wing Stair Tower was similarly detailed to those on the Central Administration Block and the chimney is in poor condition. The upper 5 courses have missing brick, open joints and fairly dark atmospheric staining. There are open joints and spalled brick primarily above the mid-point decorative 2 courses of brick.

Chimneys on the West Wing (Figure No. 176 and 177)

The buff brick chimney on the West Wing Stair Tower was similarly detailed to those on the Central Administration Block and the chimney is in poor condition. The upper 5 courses have

missing brick, open joints and fairly dark atmospheric staining. There are open joints and spalled brick primarily above the mid-point decorative 2 courses of brick.



Figure No. 166: Central Administration Block – West Chimney – West Elevation (Photo No. 70.0)



Figure No. 167: Central Administration Block – West Chimney – West Elevation Detail (Photo No. 70.3)



Figure No. 168: Central Administration Block –South East Chimney – East Elevation (Photo No. 71.0)



Figure No. 169: Central Administration Block –South East Chimney – North Elevation Detail (Photo No. 71.4)



Figure No. 170: Central Administration Block – South West Chimney – West Elevation (Photo No. 72.0)

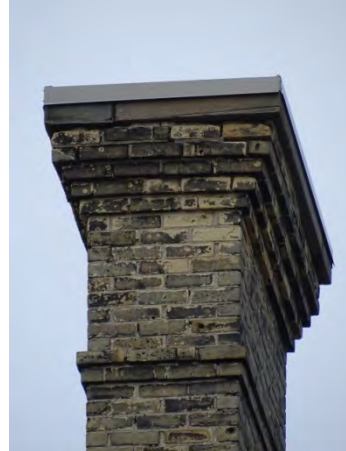


Figure No. 171: Central Administration Block – South West Chimney – South East Elevation Detail (Photo No. 72.3)



Figure No. 172: Central Pavilion – Chimney – North Elevation (Photo No. 73.0)



Figure No. 173: Central Pavilion – Chimney – South East Elevation Detail (Photo No. 73.3)



Figure No. 174: East Wing – Stair Tower Chimney – North Elevation (Photo No. 74.0)



Figure No. 175: East Wing – Stair Tower Chimney – South Elevation Detail (Photo No. 74.4)



Figure No. 176: West Wing – Stair Tower Chimney – North Elevation (Photo No. 75.0)



Figure No. 177: West Wing – Stair Tower Chimney – North West Elevation (Photo No. 75.3)

Dormers:**Description:**

The symmetrical wards are connected to the central block by a narrow corridor and each ward has a projecting central bay with a pediment and quoins, hipped roofs, bellcast cupolas (louvered ventilators), dormer windows and a dentillated cornice. The returns of the dormers are clad in asphalt shingles.

Condition: (Figure No. 178, 179, 180 and 181)

The existing dormers along the ridge of the East and West Roofs are in fair condition with the some lifting of the shingles along the return sides. The front faces have been covered with plywood with an integral metal flashing/sill at the base. There is generally no paint left on the fascias and the wood is grey and weathered. The paint on the soffits has been protected beneath the fascia overhang.



Figure No. 178: East Wing – North Elevation – North West Dormer (Photo No. 76.1)



Figure No. 179: East Wing – South Elevation – South West Dormer Detail (Photo No. 76.3)



Figure No. 180: West Wing – South Elevation – South East Dormer (Photo No. 77.3)



Figure No. 181: West Wing – South Elevation – South West Dormer Detail (Photo No. 77.5)

Walls (above foundation)

Description:

The Infirmary is constructed of local buff brick with a three storey central administration block/pavilion with two storey symmetrical wards on either side. The masonry openings typically have flat arch buff-brick lintels and stone sills. The exception is a singular rounded-arch window on both ward facades above an off-centred entrance door and a large arched window opening above the main entrance pediment and doors. A decorative band with alternating proud header bricks is located beneath the ground and second floor window stone sills. Exterior corners and the projecting bays of the wards are accentuated with brick quoining.

Condition:

Central Administration Block (Figure No. 182 - 187)

The brick masonry at the main front/south entrance has fared the worse with damage at the missing wood elements and at areas with uncontrolled rainwater control. Within this area there is significant atmospheric staining, open and cracked masonry joints within the brick masonry and damaged/missing brick masonry. Brick masonry on the east side has mechanical damage with the faces of several of the bricks, adjacent to the main entrance staircase, missing. The stonework has discrete open joints and is stained.

The entirety of the main entrance staircase masonry, not original, is in very poor condition with open joints and spalled and missing brick. **Refer to Ramp and Stairs.**

With the exception of the area surrounding the front entrance the masonry walls are generally in fair condition with what is believed to be original mortar joints. Discrete areas of open and cracked masonry joints, often in the areas below the window openings and within the brick lintels, quoining and decorative brick banding exists. Where fittings were removed, openings within the brick have not been repaired. Black atmospheric staining, to various degrees, is evident on the original buff bricks and the rough faced stone sills.

Central Pavilion and Corridors (Figure No. 188 - 193)

A former entrance stair was removed along the west elevation of the South Corridor and the pockets, for the former structure, within the brick masonry remain open and the surrounding mortar joints are open. Openings with the adjacent grade suggests that the supports for the previous stairs/ramp were removed and the areas were not infilled. The staining of the stone courses is primarily organic/green staining.

Several grade level masonry openings on the north elevation of the Pavilion have been infilled with brick. The brick matches the original however the joints' width, mortar, execution and alignment with the original masonry coursing do not. Stains, appearing to be residual asphalt, remain where a former structure/roof was removed on the north side.

East Wing (Figure No. 194- 199)

Given the extent of ivy growth along the north and south elevations the review of the masonry was sometimes limited. The masonry walls appear to be generally in fair condition with what is believed to be original mortar joints. Discrete areas of open and cracked masonry joints, often in the areas below the window openings and within the brick lintels, quoining and decorative brick banding exists. Damaged brick and open joints is evident on the brick quoining on the south elevation and within at least one of the brick headers/ lintels.

Where fittings were removed or still exist, openings within the masonry have not been repaired. Black atmospheric staining, to various degrees, is evident on the original buff bricks, brick watercourse, brick lintels and the rough faced stone sills.

Areas of rust staining are evident beneath a ferrous pipe on both the brick and stone masonry on the north elevation, adjacent to the east porches.

West Wing (Figure No. 200 - 205)

Given the extent of ivy growth along the north and south elevations the review of the masonry was sometimes limited. The masonry walls appear to be generally in fair condition with what is believed to be original mortar joints. Discrete areas of open and cracked masonry joints, often in the areas below the window openings and within the brick lintels, quoining and decorative brick banding exists.

An original masonry opening on the north elevation has been infilled with a small window and brick infill. A few of the infilled bricks appear to have been painted and assumed to have been salvaged from elsewhere in the structure.

Areas of rust staining are evident beneath a ferrous pipe on both the brick and stone masonry on the north elevation, adjacent to the east porches. Graffiti is evident on the west elevation of the west porches.



Figure No. 182: Central Administration Block – Entrance – South Elevation (Photo No. 80.0)



Figure No. 183: Central Administration Block – Entrance – South Elevation – Detail (Photo No. 80.1)



Figure No. 184: Central Administration Block – South Elevation – Detail (Photo No. 80.2)



Figure No. 185: Central Administration Block – Entrance – East Elevation – Connection Detail at Stair Addition (Photo No. 80.5)



Figure No. 186: Central Administration Block – West Elevation – Frontispiece (Photo No. 81.0)



Figure No. 187: Central Administration Block – West Elevation (Photo No. 81.1)



Figure No. 188: Central Pavilion and Corridors – South Corridor – West Elevation (Photo No. 83.1)



Figure No. 189: Central Pavilion and Corridors – South Corridor – West Elevation (Photo No. 83.0)



Figure No. 190: Central Pavilion and Corridors – Pavilion – North Elevation (Photo No. 82.1)



Figure No. 191: Central Pavilion and Corridors – Pavilion – North Elevation (Photo No. 82.2)



Figure No. 192: Central Pavilion and Corridors – Pavilion – North Elevation (Photo No. 82.3)



Figure No. 193: Central Pavilion and Corridors – Pavilion – North East Corner (Photo No. 82.6)



Figure No. 194: East Wing – North Elevation (Photo No. 84.5)

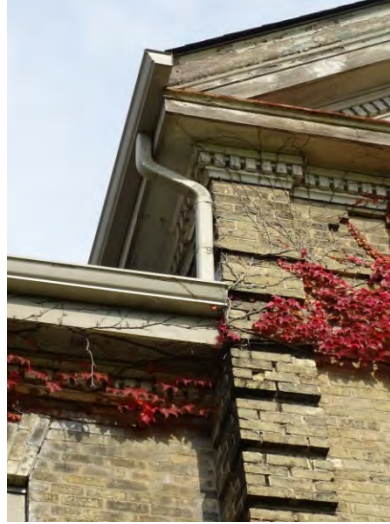


Figure No. 195: East Wing – South Elevation (Photo No. 85.1)



Figure No. 196: East Wing – South Elevation (Photo No. 85.4)



Figure No. 197: East Wing – South Elevation (Photo No. 85.5)



Figure No. 198: East Wing – North Elevation (Photo No. 84.3)



Figure No. 199: East Wing – North Elevation (Photo No. 84.8)



Figure No. 200: West Wing – North Elevation (Photo No. 86.0)



Figure No. 201: West Wing – North Elevation (Photo No. 86.1)



Figure No. 202: West Wing – North Elevation (Photo No. 86.4)

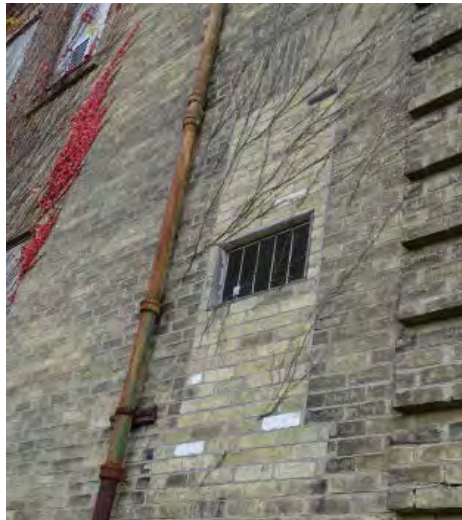


Figure No. 203: West Wing – North Elevation (Photo No. 86.3)



Figure No. 204: West Wing – North Elevation (Photo No. 86.2)



Figure No. 205: West Wing – West Porches – West Elevation (Photo No. 104.5)

Foundation Walls (where visible above grade)**Description:**

Where visible the Infirmary's brick masonry sits on top of +/- 2 courses of rough faced stone on top of a rubblestone foundation. The contemporary yellow brick walls of the main entrance stair sits on a concrete foundation though on the south side the brick extends to grade.

Condition:*Central Administration Block (Figure No. 206 and 207)*

Generally many of the mortar joints are cracked or open within the bottom exposed courses of stone. The broken downspout at the juncture of the main entrance stair and east side of the Central Administration Block has resulted in the greening/organic staining on both the brick and stone masonry. Similarly areas along the west side have both areas of vegetative and atmospheric staining.

The entirety of the main entrance staircase masonry is in very poor condition with open joints and spalled and missing brick. **Refer to Ramp and Stairs.**

Central Pavilion and Corridors (Figure No. 208)

Generally many of the mortar joints are cracked or open within the bottom exposed courses of stone. The staining of the stone courses is primarily organic/green staining.

East Wing (Figure No. 209 - 213)

Given the extent of leaves and overgrowth along the north and south elevations the review of the stone base courses was not always feasible. However where viewed many of the mortar joints are cracked or open within the bottom exposed courses of stone and portions of the rubblestone foundation are missing. The substantial trunks of the ivy growth, in close proximity to the base of the structure, has resulted in damage and discrete areas of displaced stonework. The staining of the stone courses is primarily organic/green staining.

Areas of rust staining are evident beneath a ferrous pipe on both the brick and stone masonry on the north elevation, adjacent to the east porches.

A window well on the south elevation, surrounded by a metal guard at grade, shows the original rough stone coursing, dressed/smooth faced quoining at the masonry openings and open joints within the rubblestone foundation.

East Wing Porches (Figure No. 214 - 219)

The brick generally extends to grade at the east porches. The condition of the east porches, cited in the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008), has further decayed and the entirety of the porch structure, inclusive of masonry and wood elements, has pulled away from the east wing and is in an advanced state of structural collapse. The masonry has open joints and spalled, missing and displaced masonry.

West Wing (Figure No. 220, 221 and 222)

Given the extent of leaves and overgrowth along the north and south elevations the review of the stone base courses was not always feasible. However where viewed many of the mortar joints are cracked or open within the bottom exposed courses of stone and portions of the rubblestone foundation are missing. The substantial shoots of the ivy growth in close proximity to the base of the structure has resulted in damage and discrete areas of displaced stonework. The staining of the stone courses is primarily organic/green staining.

A former basement entrance on the north elevation, surrounded by a metal guard at grade, shows the original rough stone coursing, open joints within the rubblestone foundation and both organic (green) with some indication of efflorescence (white) staining.

West Wing Porches (Figure No. 223, 224 and 225)

The brick generally extends to grade at the west porches. The west porches have fared better than those on the east wing with generally no open masonry joints or masonry damage adjacent to grade.



Figure No. 206: Central Administration Block – West Elevation (Photo No. 90.2)



Figure No. 207: Central Administration Block – West Elevation (Photo No. 90.0)



Figure No. 208: Central Pavilion and Corridors – South Corridor – West Elevation (Photo No. 92.1)



Figure No. 209: East Wing – North Elevation (Photo No. 93.0)



Figure No. 210: East Wing – North Elevation (Photo No. 93.3)



Figure No. 211: East Wing – South of East Corridor – West Elevation (Photo No. 95.0)



Figure No. 212: East Wing – South Elevation (Photo No. 94.0)



Figure No. 213: East Wing – South Elevation (Photo No. 94.2)



Figure No. 214: East Wing – East Porches – North Elevation (Photo No. 100.1)



Figure No. 215: East Wing – East Porches – South Elevation (Photo No. 102.5)



Figure No. 216: East Wing – East Porches – East Elevation (Photo No. 101.3)



Figure No. 217: East Wing – East Porches – East Elevation (Photo No. 101.1)



Figure No. 218: East Wing – East Porches – East Elevation (Photo No. 101.6)



Figure No. 219: East Wing – East Porches – South Elevation (Photo No. 102.8)



Figure No. 220: West Wing – South Elevation (Photo No. 99.2)



Figure No. 221: West Wing – South of West Corridor – East Elevation (Photo No. 97.0)



Figure No. 222: West Wing – South Elevation (Photo No. 98.1)



Figure No. 223: West Wing – West Porches – South Elevation (Photo No. 105.2)



Figure No. 224: West Wing – West Porches – West Elevation (Photo No. 104.0)

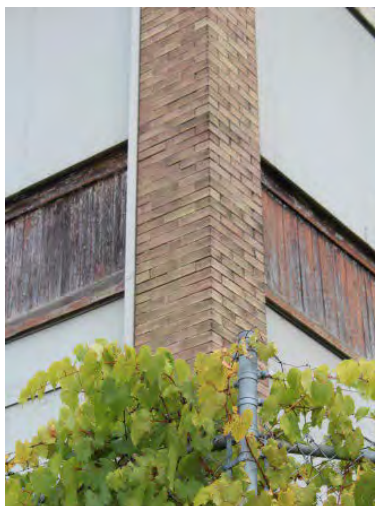




Figure No. 225: West Wing – West Porches – West Elevation (Photo No. 104.7)




Windows





Description and Condition: *(Figure 226 - 261)*




The following table has broken down the windows into various types, elevation where located and number of the specific windows per type. Given that the windows had been previously boarded during the mothballing of the structure and access to the interior was not possible detailed descriptions and condition assessments of the windows is limited and/or non-existent.



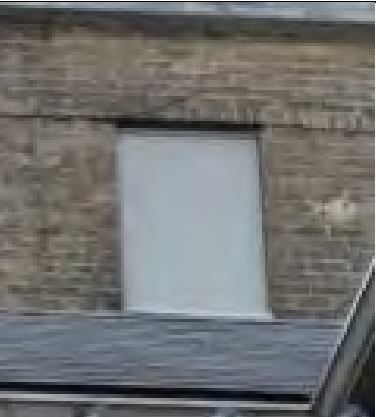
The Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008), completed prior to the mothballing, noted that though the windows are typically flat headed, arched windows were integrated at feature locations. At the time of the 2008 review it was noted that though the windows had suffered from vandalism they were intact and repairable. The original set of double entrance doors with brilliant stained glass lights and an etched glass transom within the Central Administration Block had been removed and installed in the London Asylum archives.




Window Type	Central Admin. Block	Central Pavilion & Corridors	East Wing	West Wing	Photo
Elevation (Number)					
Type 1	South (1)				
Figure No. 226: Window Type 1 Arched Window at Entrance with Vent (Photo No. 106.0)					
Type 2	South (1)				
Figure No. 227: Window Type 2 Flat Head Window at Entrance with Vent (Photo No. 106.1)					




<p>Type 3</p> <p>Figure No. 228: Window Type 3 Flat Head Window with Vent (Photo No. 106.2)</p>	<p>North (1)</p> <p>East (5)</p> <p>South (2)</p> <p>West (4)</p>				
<p>Type 4</p> <p>Figure No. 229: Window Type 4 Flat Head Window (Photo No. 106.3)</p>	<p>North (1)</p> <p>East (11)</p> <p>South (8)</p> <p>West (10)</p>	<p>North (11)</p> <p>East (8)</p> <p>South (16)</p> <p>West (9)</p>	<p>North (16)</p> <p>South (18)</p>	<p>North (15)</p> <p>South (18)</p>	
<p>Type 4.1 Infilled</p> <p>Figure No. 230: Window Type 4.1 Flat Head Window Brick Infilled (Photo No. 106.4)</p>				<p>North (1)</p>	




<p>Type 5</p> <p>Figure No. 231: Window Type 5 Flat Head Window With Vent at Grade (Photo No. 106.5)</p>	<p>South (2)</p>				
<p>Type 6</p> <p>Figure No. 232: Window Type 6 Circular Pediment Window (Photo No. 106.6)</p>	<p>West (1)</p>		<p>South (1)</p>	<p>South (1)</p>	
<p>Type 7</p> <p>Figure No. 233: Window Type 7 Flat Head Window at Grade (Photo No. 106.7)</p>	<p>North (1) East (5) West (5)</p>	<p>North (3) East (3) South (8) West (4)</p>	<p>North (8) South (6) West (1)</p>	<p>North (8) East (1) South (10)</p>	
<p>Type 7.1 Infilled</p> <p>Figure No. 234: Window Type 7.1 Flat Head Window at Grade Brick Infilled (Photo No. 106.8)</p>		<p>North (2) West (1)</p>			





<p>Type 7.2</p> <p>Figure No. 235: Window Type 7.2 Flat Head Window at Window Well (Photo No. 106.9)</p>			<p>South (4)</p>		
<p>Type 8</p> <p>Figure No. 236: Window Type 8 Arched Window at Entrance (Side) (Photo No. 106.10)</p>	<p>East (1) West (1)</p>				
<p>Type 9</p> <p>Figure No. 237: Window Type 9 Arched Window at Entrance (Side) (Photo No. 106.11)</p>	<p>East (1) West (1)</p>				




<p>Type 10</p> <p>Figure No. 238: Window Type 10 Flat Head Window at Grade (Photo No. 106.12)</p>	<p>East (1) West (1)</p>				
<p>Type 11</p> <p>Figure No. 239: Window Type 11 Flat Head Window (Photo No. 106.13)</p>	<p>North (1)</p>				
<p>Type 12</p> <p>Figure No. 240: Window Type 12 Flat Head Window at Service Shaft (Photo No. 106.14)</p>	<p>North (1)</p>				

<p>Type 13</p> <p>Figure No. 241: Window Type 13 Flat Head Window (Photo No. 106.15)</p>	<p>East (1)</p>				
<p>Type 14</p> <p>Figure No. 242: Window Type 14 Flat Head Window at Grade (Photo No. 106.16)</p>		<p>North (3)</p>			
<p>Type 15</p> <p>Figure No. 243: Window Type 15 Flat Head Window Former Door (Photo No. 106.17)</p>		<p>East (1) West (1)</p>			

<p>Type 16</p> <p>Figure No. 244: Window Type 16 Flat Head Window (Photo No. 106.18)</p>			<p>North (4)</p>	<p>North (3)</p>	
<p>Type 16.1 Infilled</p> <p>Figure No. 245: Window Type 16.1 Flat Head Window Brick Infilled (Photo No. 106.19)</p>				<p>North (1)</p>	
<p>Type 17</p> <p>Figure No. 246: Window Type 17 Flat Head Window at Grade (Photo No. 106.20)</p>			<p>North (2)</p>	<p>North (2)</p>	

<p>Type 18</p> <p>Figure No. 247: Window Type 18 Dormer (Photo No. 106.21)</p>			<p>North (2) South (2)</p>	<p>North (2) South (2)</p>	
<p>Type 19</p> <p>Figure No. 248: Window Type 19 Flat Header Window at Stair Tower (Photo No. 106.22)</p>			<p>East (2) West (2)</p>	<p>East (2) West (2)</p>	
<p>Type 20</p> <p>Figure No. 249: Window Type 20 Flat Header Window at Grade of Stair Tower (Photo No. 106.23)</p>			<p>East (1) West (1)</p>	<p>West (1)</p>	

<p>Type 21</p> <p>Figure No. 250: Window Type 21 Porch Upper Opening (Photo No. 106.24)</p>			<p>North (1) South (1)</p>	<p>North (1) South (1)</p>	
<p>Type 21.1</p> <p>Figure No. 251: Window Type 21.1 Porch Lower Opening (Photo No. 106.25)</p>			<p>North (1) South (1)</p>	<p>North (1) South (1)</p>	
<p>Type 21.2</p> <p>Figure No. 252: Window Type 21.2 Porch Upper Opening (Photo No. 106.26)</p>			<p>East (3)</p>	<p>East (3)</p>	
<p>Type 21.3</p> <p>Figure No. 253: Window Type 21.3 Porch Lower Opening (Photo No. 106.27)</p>			<p>East (3)</p>	<p>East (3)</p>	

<p>Type 22</p> <p>Figure No. 254: Window Type 22 Arched (Photo No. 106.28)</p>			<p>South (1)</p>	<p>South (1)</p>	
<p>Type 23</p> <p>Figure No. 255: Window Type 23 Flat Head Window at Grade at Porches (Photo No. 106.29)</p>			<p>North (1)</p>	<p>North (1)</p>	
<p>Type 24</p> <p>Figure No. 256: Window Type 24 Flat Head Window (Photo No. 106.30)</p>			<p>West (2)</p>	<p>East (2)</p>	

Type 25	South (1)				
Figure No. 257: Window Type 25 Covered Skylight (Photo No. 106.31)					



Figure No. 258: Window Header Detail (Photo No. 106.32)



Figure No. 259: Missing Vent (Photo No. 106.33)



Figure No. 260: Stained Sill Detail (Photo No. 106.34)



Figure No. 261: Crack at Sill (Photo No. 106.35)

Doors

Description and Condition: *(Figure No. 627 – 271)*

In similar fashion to the windows the doors were boarded as part of the mothballing of the structure and there was no interior access. There are 9 exterior doors to the Infirmary. The Central Administration Block main entrance door (D1-S), with transom above is located on the south elevation. A second door, (D2-S), is located under the main stairs, and it is assumed leads to the basement level. On the east Elevation, what is believed to be the original entrance, is the third door, (D3-E), identified by the existing metal canopy frame above. The north elevations of the East and West Corridors of the Central Pavilion and Corridors each have a door (D4-N and D5-N). A third door (D6-E) is located on the east elevation of the Central Pavilion at the top of the ramp/stair landing. Both the East and West Wings have doors at grade (D7-S and D9-S) in the third bay, closet to the porches. The West Wing Stair Tower has a door (D8-E) at the bottom of a stairwell, leading to the basement level.

No documentation was provided as part of the Baseline Documentation Report to confirm the condition of these doors prior to mothballing, accordingly detailed descriptions and condition assessments of the doors is not possible. As previously noted the original set of double entrance doors with brilliant stained glass lights and an etched glass transom within the Central Administration Block had been removed and installed in the London Asylum archives.



Figure No. 262: Central Administration Block – Entrance – South Elevation – D1-S (Photo No. 107.0)



Figure No. 263: Central Administration Block – Entrance – South Elevation – D1-S Transom (Photo No. 107.1)



Figure No. 264: Central Administration Block – Under Entrance – South Elevation – D2-S (Photo No. 107.2)



Figure No. 265: Central Administration Block – East Elevation – D3-E (Photo No. 107.3)



Figure No. 266: Central Pavilion and Corridors – East Corridor – North Elevation – D4-N (Photo No. 104.4)



Figure No. 267: Central Pavilion and Corridors – West Corridor – North Elevation – D5-N (Photo No. 104.5)



Figure No. 268: Central Pavilion and Corridors – Pavilion – East Elevation – D6-E (Photo No. 107.6)



Figure No. 269: East Wing – South Elevation – D7-E (Photo No. 107.7)



Figure No. 270: West Wing – Stair Tower – East Elevation (Photo No. 107.8)



Figure No. 271: West Wing – South Elevation (Photo No. 107.9)

Ramp and Stairs

Description and Condition: (*Figure No. 272 - 279*)

The front entrance staircase, complete with a basement entrance, is not original to the structure and was constructed with concrete steps with yellow brick walls topped with stone capstones. A single light remains above both the basement and main entrance. As previously noted the entirety of the main entrance staircase is in very poor condition.

A concrete stair and ramp, set on brick walls, with metal handrails is located on the north elevation of the Central Pavilion. The concrete ramp and stairs is in poor condition with cracked concrete, failed brick walls and ivy growth on the ramp handrails. The paint on the metal handrails and posts is chipping.

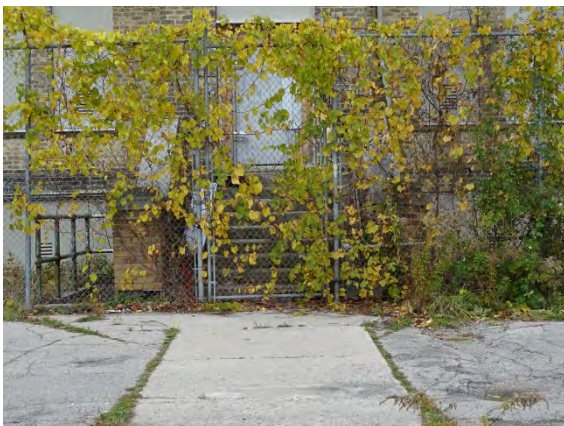


Figure No. 272: Central Administration Block – Entrance – South Elevation (Photo No. 108.0)



Figure No. 273: Central Administration Block – Entrance – East Elevation (Photo No. 108.1)



Figure No. 274: Central Administration Block – Entrance – East Elevation – Detail (Photo No. 108.2)



Figure No. 275: Central Administration Block – Entrance – West Elevation – Detail (Photo No. 108.5)



Figure No. 276: Central Administration Block – Entrance – West Elevation (Photo No. 108.7)



Figure No. 277: Central Pavilion and Corridors (Photo No. 109.1)



Figure No. 278: Central Pavilion and Corridors (Photo No. 109.3)



Figure No. 279: Central Pavilion and Corridors (Photo No. 109.6)

Signage

Description and Condition: *(Figure No. 280 and 281)*

The Infirmary has 2 type of signages: a letter Q located on the south elevation beside the front entrance (typical building signage on the site) and a no parking sign. The Q signage is in fair condition while the no parking is weathered and faded.



Figure No. 280: Central Administration Block – South Elevation (Photo No. 113.0)



Figure No. 281: East Wing – North Elevation (Photo No. 113.1)

EASEMENT PROPERTY CONDITION SUMMARY – RECREATION HALL

Property: former London Psychiatric Hospital – the Recreation Hall

Municipal Address and Location: 850 Highbury Avenue North, London, Ontario

Current Use: Vacant

Owner: Old Oak Properties Inc.

Owner Phone No.: 519-661-0215

OHT Rep: Thomas Wicks

OHT Rep Phone No.: 437-246-6591

Cultural Heritage Architect Site Recorder: Kelly Gilbride and Ashley Stewart of Stevens Burgess Architects Ltd.

Date Visited: October 6th, 2020

Weather Conditions: October 6th, 2020 - The temperature was 18° C, windy, cloudy with some periods of sun.

Limitations of Survey: The survey was confined to the exterior of the building. It took the form of a visual inspection at grade level. There was no access to the interior. The interior is not protected under the Easement.

General Description:

The Architectural Value of the Recreation Hall is included within the Statement of Cultural Heritage Value and Interest:

The Recreation Hall was constructed in 1920 and is located directly east of the Chapel of Hope. It was constructed in a classical Revival style of reddish-brown brick laid in common bond. It features a symmetrical façade frontispiece – a central block and two flanking wings. The central block features a pediment with an oculus window, a central rectangular shaped tripartite window flanked with 6-paned window. The flanking wings feature a rounded-arched window. The brickwork that surrounds the windows is dark brown and extends well beyond the base of the window. Each of the six multi-paned rectangular wood windows are divided into three parts on the side-walls and set within a shallow rounded-arched niche. The austere rear elevation features quoining and a singular rounded-arched window in the gable.

The heritage features of the Recreation Hall include the following:

- Reddish-brown brick construction
- Symmetrical façade frontispiece – a central block and two flanking wings
- Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with 6-paned window
- Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window
- Side walls with six multi-paned rectangular wood windows divided into three parts and set within a shallow rounded-arched niche
- Raised basement with multi-paned windows
- Projecting bays on the side wall with a pediment, quoins, entrance door and six-over-six wood-sash windows
- Rear elevation features quoins and a rounded-arched window in the gable

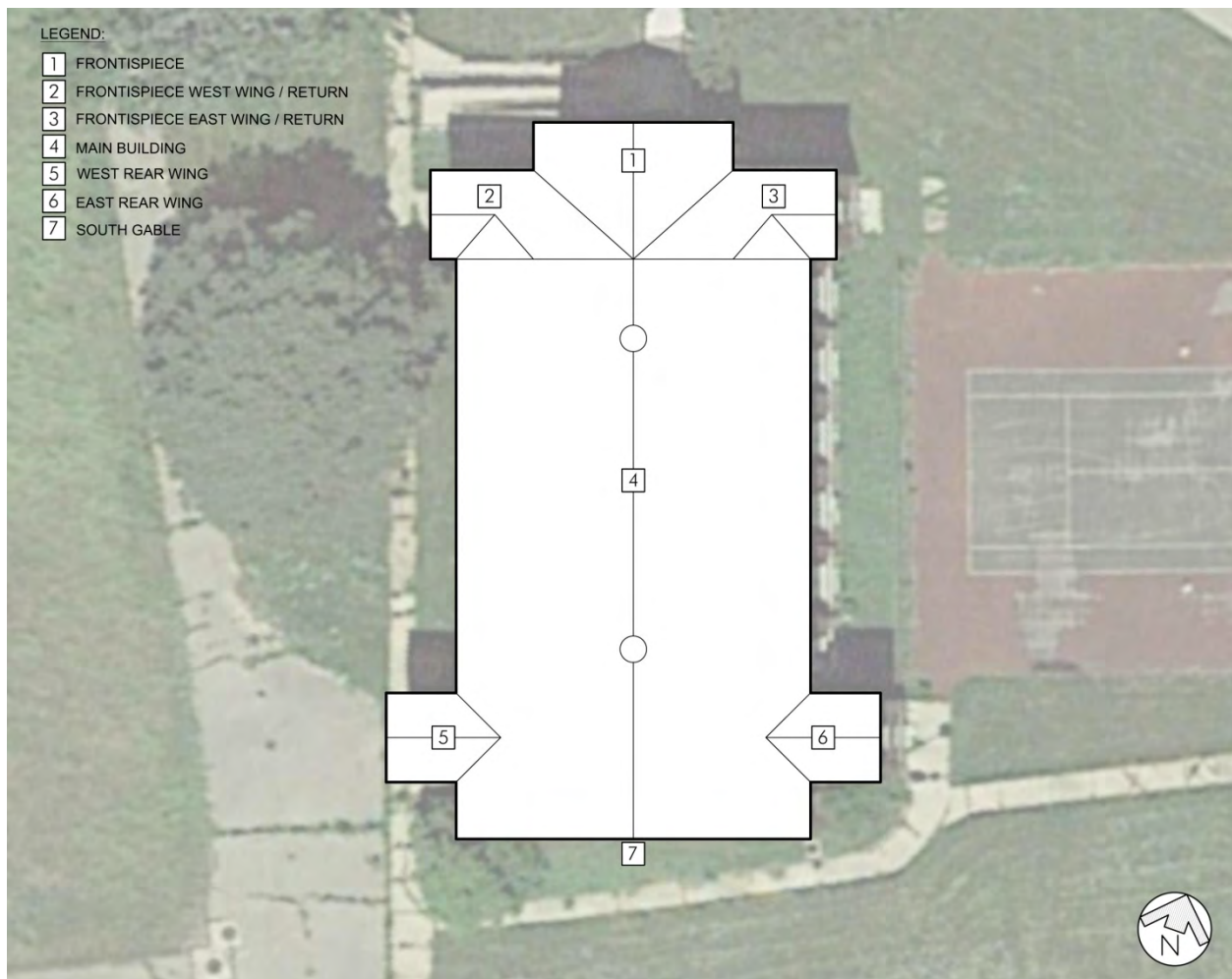


Figure No. 282: Key Plan of Recreation Hall
 Credit: Google Maps, Annotated by SBA, 2021

Roof

Description:

The Recreation Hall is a 1 storey with gallery reddish-brown brick masonry structure with a symmetrical façade frontispiece with a central block and two flanking wings. Similar wings flank the rear/south façade. The interior was designed with a pool in the basement and an auditorium/gymnasium located on the raised ground floor. It was noted that the original drawings indicated a slate roof with 2 cupolas though they no longer exist and the current roofing is asphalt shingles. The current roof ventilators may have been installed to replace the original cupolas given their placement with respect to the original east elevation drawing included within the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008).

Condition:

Main Roof - North Elevation (Figure No. 283)

Tucked behind the central block frontispiece the north facing gable has what is believed to be the last remaining area of original slate roofing. The slate appears to be intact and in fair condition.

Main and Frontispiece Roofs – East Elevation (Figure No. 284)

The age of the brown asphalt shingles is not known. The shingles on the east side of the main roof and the frontispiece are in poor to fair condition and showing signs of loss of the top surface and the shingles are beginning to curl.

Main and Frontispiece Roofs – West Elevation (Figure No. 285)

The age of the brown asphalt shingles is not known. The shingles on the west side of the main roof and the frontispiece are in poor to fair condition and showing signs of loss of the top surface and the shingles are beginning to curl.

Front and Rear Flanking Wings – North and South Elevations (Figure No. 286, 287 and 283)

The age of the brown asphalt shingles is not known. The shingles on the front and rear flanking wings are in poor to fair condition and showing signs of loss of the top surface and the shingles are beginning to curl.



Figure No. 283: North Gable Slate Detail (Photo No. 5.1)



Figure No. 284: East Elevation Main Roof South of Rear East Wing (Photo No. 6.3)



Figure No. 285: West Elevation Main Roof (Photo No. 8.1)



Figure No. 286: South Elevation Rear East Wing Roof (Photo No. 7.1)



Figure No. 287: South Elevation Rear West Wing Roof (Photo No. 7.2)



Figure No. 288: South Elevation Frontispiece East Wing Roof (Photo No. 7.3)

Roof Elements

Description:

The frontispiece as well as the four flanking wings have pedimented rooflines with decorative woodwork. A flat plaster detail encircles the entire roofline as a deep decorative band beneath a simple wood fascia board and set behind the plane of 2 courses of decorative brickwork (a course of stretchers set above a course of brick headers).

Condition:

Frontispiece – North Pediment and East and West Returns (Figure No. 284, 285, 286 and 287)

Generally the woodwork and soffits on the north facing pediment appear to be intact though the majority of the woodwork has little or no paint. The more protected fascia boards and paint (beneath the prefinished gutters) along the return sides appears to be in better condition.

The decorative plaster band on all three sides of the frontispiece appears to be in fair condition though some discolouration (more pronounced adjacent to the downspouts) and hair line cracking is evident and there is a vertical crack centrally located above the front entrance.

Main Roof – East Elevation (Figure No. 289, 290 and 291)

Generally the wood fascia board appears to be intact and in fair condition. Staining and damage is generally limited to the underside of the wood soffit and along the intersection of the soffit and decorative plaster band on the east elevation of the main roof. A section of the wood trim above the decorative plaster band has started to lift. The decorative plaster band appears to be in fair condition.

Main Roof – West Elevation (Figure No. 292 and 293)

Generally the wood fascia board appears to be intact and in fair condition. Staining and damage is generally limited to the underside of the wood soffit and along the intersection of the soffit and decorative plaster band on the west elevation of the main roof. At the intersection of the front flanking wing and the west elevation a portion of the soffit is missing and there are pine needles within the gutter above. A section of the wood trim above the decorative plaster band has started to lift.

The decorative plaster band appears to be in poor condition with hair line and larger cracking, surface pitting and discolouration.

Main Roof – South Elevation (Figure No. 294, 295 and 296)

The wood fascia and bargeboard on the south gable have little or no paint and are in poor condition. On both the east and west sides where the wood detailing on the gable ends ties into the horizontal returns the fascias are open and both fascia and soffits are missing. The adjacent metal flashing that caps the horizontal wood detailing is rusted and the fascia boards have little or no paint and are grey and weathered.

The decorative plaster band at each horizontal return appears to be in fair condition though some discolouration and surface pitting on the west side is evident.

Front and Rear Flanking Wings (2) – East Pediments and North and South Returns (Figure No. 297 - 305)

Generally the woodwork, fascias and soffits on the east facing pediments of the front and rear flanking wings appears to be intact though the majority of the paint appears to be weathered and starting to show exposed woodwork. The protected fascia boards (beneath the gutters) on the return sides of the wings appears to be in fair condition. The decorative plaster band appears to be in fair condition with some discolouration.

Rear Flanking Wing (1) – West Pediment and North and South Returns (Figure No. 306 and 307)

The wood fascia and bargeboard on the west pediment of the rear flanking wing have little or no paint and are in poor condition. On the north side of the pediment where the wood detailing on the gable end ties into the horizontal element the fascia is open and large sections of fascia are missing. The adjacent metal flashing that caps the horizontal wood detailing is rusted and the adjacent fascia boards have little or no paint and are grey and weathered. The decorative plaster band appears to be in poor to fair condition with some discolouration and rust marks.

Front Flanking Wing (1) – West Pediment and North and South Returns (Figure No. 308)

The wood fascia and bargeboard on the west pediment of the front flanking wing have little or no paint and are in poor condition. The adjacent metal flashing that caps the horizontal wood detailing is rusted and the adjacent fascia boards have little or no paint and are grey and weathered. The decorative plaster band appears to be in fair condition with some discolouration.



Figure No. 289: North Elevation Frontispiece (Photo No. 9.0)



Figure No. 290: North Elevation Frontispiece Crack Detail (Photo No. 9.1)



Figure No. 291: North Elevation – Frontispiece East Wing Return Roof Element (Photo No. 9.3)



Figure No. 292: North Elevation – Frontispiece West Return and West Wing (Photo No. 9.4)



Figure No. 293: East Elevation Main Roof (Centre) Detail (Photo No. 10.3)



Figure No. 294: East Elevation Main Roof (Centre) Detail (Photo No. 10.5)



Figure No. 295: East Elevation Main Roof South of Rear East Wing (Photo No. 10.7)



Figure No. 296: West Elevation Main Roof (Centre) (Photo No. 12.4)



Figure No. 297: West Elevation Main Roof (Centre) (Detail)
(Photo No. 12.5)



Figure No. 298: South Elevation, South Gable (Photo No. 11.0)



Figure No. 299: South Gable Detail (Photo No. 11.2)



Figure No. 300: South Gable Detail (Photo No. 11.3)



Figure No. 301: Frontispiece East Wing East Pediment (Photo No. 10.1)



Figure No. 302: Frontispiece East Wing Return (Photo No. 9.3)



Figure No. 303: Rear East Wing East Pediment (Photo No. 10.6)



Figure No. 304: Rear East Wing East Pediment North Return (Photo No. 9.5)



Figure No. 305: Rear East Wing East Pediment South Return (Photo No. 11.5)



Figure No. 306: Rear West Wing West Pediment (Photo No. 12.7)



Figure No. 307: Rear West Wing West Pediment North Return (Photo No. 9.6)



Figure No. 308: Frontispiece West Wing West Pediment (Photo No. 12.1)

Rainwater Disposal inclusive of Gutters and Rainwater Leaders**Description:**

Prefinished brown metal gutters run the length of the east and west elevations of the main roof and continue along the sides/returns of the frontispiece and the flanking wings. Prefinished brown metal rainwater leaders/downspouts are located at the interior corners of the frontispiece and main section, along the east and west elevations (2 each side) and at each return elevation of the flanking wings. Cast iron pipes, which are assumed to be connected to an underground weeping tile, are present at grade. However, very few of the downspouts are connected to these cast iron pipes. Currently, the majority of the downspouts drain onto the adjacent landing or concrete splash pad.

Condition:**Roofs (*Figure No. 309, 310, 311 and 312*)**

The gutters and rainwater leaders are in fair to good condition however one downspout along the east elevation is not connected into the cast iron piping and one downspout (appeared to have been connected to a cast iron pipe at one point) on the west side has been crushed. The functioning of the gutters may be compromised due to the build up of needles noted at the intersection of the front flanking wing and the west elevation.

Ventilators:**Description:**

It was noted that the original drawings indicated a slate roof with 2 cupolas though they no longer exist and the current roofing is asphalt shingles. The current roof ventilators may have been installed to replace the original cupolas given their placement with respect to the original east elevation drawing included within the Conservation Plan, London Psychiatric Hospital, London, Ontario (December 2008).

Condition: (*Figure No. 313 and 314*)

The existing roof ventilators (2) along the ridge of the main roof appear to be in fair to good condition.



Figure No. 309: North Elevation Frontispiece East Wing (Photo No. 13.0)



Figure No. 310: East Elevation (Photo No. 14.0)



Figure No. 311: East Elevation at Grade (Photo No. 14.2)



Figure No. 312: West Elevation at Grade (Photo No. 16.2)



Figure No. 313: Ventilator (Photo No. 17.0)



Figure No. 314: Ventilator Detail (Photo No. 17.1)

Walls (above foundation)

Description:

The 2 storey recreation hall was constructed of reddish-brown brick laid in a common bond with stone detailing inclusive of stone windows sills and a continuous band of stone at the head of the basement windows. A single course of rough faced stone is visible at grade.

The brickwork that surrounds the windows on the front elevation is dark brown and extends well beyond the base of the window and a plaster panel beneath each window of the front flanking wings. Each of the six multi-paned rectangular wood windows on the side-walls are set within a shallow rounded-arched brick niche. The austere rear elevation features brick quoining and a singular rounded-arched window in the gable. Both the window and door masonry openings have been protected with plywood with integral metal sills at the windows, many of which include vents to maintain air flow within the structure.

Condition:

Frontispiece – North Elevation (Figure No. 315 and 316)

The masonry walls on the north elevation are generally in good condition. Though the edges or arrises of the bricks are rough and some of the corners of the bricks are missing the adjacent mortar generally appears undisturbed and possibly the bricks were imperfect when originally laid within the walls. Discrete areas of repointing are visible including an area of vertically stacked brick/stretchers to the east of the front entrance.

East Elevation (Figure No. 317 – 322)

The masonry walls on the east elevation are generally in good condition. Though the edges or arrises of the bricks are rough and some of the corners are missing the adjacent mortar generally appears undisturbed and possibly the bricks were imperfect when originally laid within the walls. Discrete areas of open joints were noted within the flat headed brick arches and steel lintels above the windows and adjacent to the downspout towards the north side.

The stone sills beneath the windows on the east elevation are in poor condition and consistently have cracked horizontally though some also have vertical cracks. Light spalling of the face of the horizontal band of stone above the basement windows has occurred. Discolouration/staining of the stone band is consistent on all elevations.

South Elevation (Figure No. 323 and 324)

The masonry walls on the south elevation are generally in fair to good condition with the exception of the east corner brick quoining where there are open and cracked mortar joints, displaced/shifted masonry, a rusted metal fitment and an open penetration thru the masonry.

West Elevation (Figure No. 325 and 326)

The masonry walls on the west elevation are generally in fair to good condition with the exception of the brick masonry adjacent to the rain water leaders/ below the stone band, brick

masonry close to grade and open masonry joints within the shallow rounded-arched brick niches.

Foundation Walls (where visible above grade)

Description:

The 1 storey with gallery recreation hall was constructed of reddish-brown brick laid in a common bond with brick and stone detailing. A single course of rough faced stone is visible at grade.

Condition:

North, East, South and West Elevations (Figure No. 327 and 328)

The single course of rough faced stone, where visible at grade, is in good condition on all elevations.



Figure No. 315: North Elevation Frontispiece, Front Entrance (Photo No. 18.0)



Figure No. 316: North Elevation Frontispiece, Front Entrance Detail (Photo No. 18.1)



Figure No. 317: East Elevation Stone Band Detail (Photo No. 19.1)



Figure No. 318: Typical Brick Coursing and Mortar (Photo No. 19.4)



Figure No. 319: East Elevation Cracked Sill (Photo No. 19.5)



Figure No. 320: East Elevation Cracked Sill (Photo No. 19.6)



Figure No. 321: East Elevation Cracked Sill Detail (Photo No. 19.8)



Figure No. 322: East Elevation Cracked Sill Detail (Photo No. 19.9)



Figure No. 323: South Gable Penetration in Masonry (Photo No. 20.2)



Figure No. 324: South Elevation East Corner Brick Quioning Detail (Photo No. 20.4)



Figure No. 325: West Elevation (Centre) Missing Mortar (Photo No. 21.1)



Figure No. 326: West Elevation (Centre) Stone Band Detail (Photo No. 21.3)



Figure No. 327: East Elevation Foundation (Photo No. 23.0)





Figure No. 328: West Elevation Foundation (Photo No. 25.0)




Windows




Description and Condition: *(Figure No. 329 - 338)*



The following table has broken down the windows into various types, elevation where located and number of the specific windows per type. Given that the windows had been previously boarded during the mothballing of the structure and access to the interior was not possible detailed descriptions and condition assessments of the windows is limited and/or non-existent.

One plywood opening appeared to have been pried open and was reported at the time of the site visit.

Window Type	Elevation (Number)	Photo
<p>Type 1 Frontispiece – Circle Boarded</p> <p>Figure No. 329: Window Type 1 Frontispiece – Circle Boarded (Photo No. 26.0)</p>	<p>North (1)</p>	
<p>Type 2 Frontispiece – Boarded</p> <p>Figure No. 330: Window Type 2 Frontispiece – Boarded (Photo No. 26.1)</p>	<p>North (2)</p>	

<p>Type 3 Frontispiece – Boarded with Vent</p> <p>Figure No. 331: Window Type 3 Frontispiece – Boarded with Vent (Photo No. 26.2)</p>	<p>North (1)</p>	
<p>Type 4 Frontispiece – Semi-Oval Boarded with Vent</p> <p>Figure No. 332: Window Type 4 Frontispiece – Semi- Oval Boarded with Vent (Photo No. 26.3)</p>	<p>North (2)</p>	
<p>Type 5 Typical Basement – Boarded</p> <p>Figure No. 333: Window Type 5 Typical Basement – Boarded (Photo No. 26.4)</p>	<p>North (4), East (8), South (3), West (8)</p>	

<p>Type 6 Frontispiece Return – Boarded</p> <p>Figure No. 334: Window Type 6 Frontispiece Return – Boarded (Photo No. 26.5)</p>	<p>East (1), South (2), West (1)</p>	
<p>Type 7 Typical Wing – Boarded with Vent</p> <p>Figure No. 335: Window Type 7 Typical Wing – Boarded with Vent (Photo No. 26.6)</p>	<p>East (3), South (2), West (2)</p>	
<p>Type 7 Typical Wing – Boarded</p> <p>Figure No. 336: Window Type 7 Typical Wing – Boarded (Photo No. 26.7)</p>	<p>South (2), West (1)</p>	

<p>Type 8 East/West Centre – Boarded with Vent</p> <p>Figure No. 337: Window Type 8 East/West Centre – Boarded with Vent (Photo No. 26.8)</p>	<p>East (6), West (6)</p>	
<p>Type 9 South Gable Semi- Circle – Boarded with Vent</p> <p>Figure No. 338: Window Type 9 South Gable Semi- Circle Boarded with Vent (Photo No. 26.9)</p>	<p>South (1)</p>	

Doors

Description and Condition: *(Figure No. 339 – 345)*

In similar fashion to the windows the doors were boarded as part of the mothballing of the structure and there was no interior access. There are 5 exterior entrances to the Recreation Hall; the main door on the north elevation (Door N-D1) and two single doors on each of the front and rear flanking wings east (Door E-D1 and Door E-D2) and (Door W-D1 and Door W-D2) elevations.

No documentation was provided as part of the Baseline Documentation Report to confirm the condition of these doors prior to mothballing, accordingly detailed descriptions and condition assessments of the doors is not possible. The temporary front entrance door and adjacent plywood infill had graffiti.



Figure No. 339: Door N-D1 (Photo No. 27.0)



Figure No. 340: Door E-D1 (Photo No. 27.1)



Figure No. 341: Door E-D2 (Photo No. 27.2)



Figure No. 342: Door W-D1 (Photo No. 27.3)



Figure No. 343: Door W-D2 (Photo No. 27.4)



Figure No. 344: Door E-D1 Detail (Photo No. 27.5)



Figure No. 345: Door E-D2 Detail (Photo No. 27.6)

Ramp and Stairs

Description and Condition: *(Figure No. 346, 347, 348 and 349)*

The front concrete entrance stairs and ramp were stained and had areas of vegetative growth. The retaining walls around the ramp had graffiti. The round metal handrails, posts and anchorage generally appeared intact though chipping and peeling paint was noted.



Figure No. 346: North Elevation, Ramp (Photo No. 28.0)



Figure No. 347: North Elevation, Ramp Detail (Photo No. 28.4)



Figure No. 348: North Elevation, Stairs (Photo No. 29.0)



Figure No. 349: North Elevation, Stair Detail (Photo No. 29.1)

Signage

Description and Condition: *(Figure No. 350 and 351)*

The Recreation Hall has 1 type of signage: a letter Y located on the north elevation beside the front entrance (typical building signage on the site). The signage is in fair condition. There are also multiple private property signs noting trespassers will be prosecuted.



Figure No. 350: Original Signage (Photo No. 31.0)



Figure No. 351: Signage (Photo No. 31.1)

EASEMENT PROPERTY CONDITION SUMMARY – LANDSCAPE

Property: London Psychiatric Hospital – Landscape

Municipal Address and Location: 850 Highbury Avenue North, London, Ontario

Current Use: Unoccupied

Owner: Old Oak Properties Inc.

Owner Phone No.: 519-661-0215

OHT Rep: Thomas Wicks

OHT Rep Phone No.: 437-246-6591

Cultural Heritage Landscape Architect Site Recorder: Wendy Shearer

Date Visited: October 6th, 2020 and October 29th, 2020

Weather Conditions: October 6th, 2020 - The temperature was 18° C, windy, cloudy with some periods of sun. October 29th, 2020 - The temperature was 12° C, light breeze, overcast with some periods of sun.

Limitations of Survey: The field work was undertaken in the late fall when many trees has already begun to turn colour or lose their leaves. As a result, it was not possible to fully document the species and health condition of the vegetation collection. However, the scoped arborist report of June 2019 by Ron Koudys Landscape Architect provides the detailed inventory required as to species and condition of the trees. It should be consulted for detailed information regarding the tree collection consisting of approximately 800 trees.

The following description of vegetation focusses on the design of the deliberate planting across the site since for the most part the placements are following a planned pattern first established in the nineteenth century and have heritage value.

The northern section of the property and the area to the west of the modern buildings have continued to be maintained by grass mowing since the change in ownership occurred. However, the remainder of the site has not been mowed for several years and as a result, areas that formerly were open lawns are now overgrown with early succession species of weeds and woody plants. This has changed the visual character of the site from an obvious designed landscape to an overgrown landscape that still retains the framework of that original design. The significant landscape design is still very evident in the varied tree collection, the planting

alignments and the circulation patterns. These patterns indicate the intention of the original landscape design to use the site for therapeutic purposes, for both work activities for the patients and pleasure grounds for strolling and contemplation. The planting of tree rows and allees directed the views and movement through the site. It reinforced the circulation pattern that provides access to all parts of the site for pedestrians and vehicles. The intended pattern of planting is still evident despite the maturing of the vegetation.

The time of year of the field work affected the inventory of many of the hard landscape features. Annual grasses and herbaceous materials (weeds) had reached their mature heights and spread limiting views of some hard landscape features such as walkways and curbs.

The photos of the site taken a several years ago as part of its cultural heritage assessment have been included in order to illustrate the landscape character of the property when regular mowing takes place. Mowing not only establishes open and expansive views across the site, this activity also sustains a designed landscape and prevents naturalization by invasive weeds and woody plants. Mowing is a conservation approach for the living heritage landscape resources. Brushing out and regular mowing of open areas especially around the historic buildings and the treed allees will reverse the existing overgrown conditions on the site and re-establish the visual character.

The selection of a range of species for public areas, both native and historically planted for tree planting will ensure that the diversity on the site is sustained as new uses are added.

General Description:

The Cultural Heritage Landscape Value of the Site is included within the Statement of Cultural Heritage Value and Interest, North Parcel:

The London Psychiatric Hospital is deliberately setback from the main street to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan. The historic main entrance to the Former Hospital Lands is off Dundas Street East where the Allée leads visitors from the street and into the complex of institutional buildings. The Former Hospital Lands were originally surrounded by a rural farming landscape. They are now bordered by three extremely busy thoroughfares (Highbury Avenue North, Oxford Street East and Dundas Street East) and the surrounding neighbourhood has evolved to become the home to several business and industries along Highbury Avenue North and Dundas Street East and a residential subdivision to the east.

The cultural heritage landscape features include:

The provincially significant cultural heritage landscape on the Protected Lands is composed of three zones:

1. **The Allée and Ring Road Zone:** This zone contains the grand tree-lined Allée that stretches from the historic entrance at Dundas Street East northward to the circular drive and ring road that connects the Infirmary, the Chapel of Hope and the Recreational Hall. With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the Hospital which are set back from the main entrance off Dundas Street East.
2. **The Campus Zone:** The zone contains three (3) buildings associated with the London Psychiatric Hospital of provincially significant heritage value: the Infirmary, the Chapel of Hope and the Recreational Hall as well as associated open spaces, landscape and plantings. These elements are located within a ring road at the end of a long Allée stretching south to Dundas Street.
3. **The Horse Stable Zone:** This zone is comprised of open space, mature trees and unobstructed view of all side of the horse stable.

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone

The Cultural Heritage Landscape Features of the Allée and Ring Road include, but are not limited to, the following highlighted elements:

- The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive
- Circular drive with internal green space and east-west access to the ring road
- Remnants of the ring road
- Mature trees that boarder the ring road on both sides

The Cultural Heritage Landscape Features of the Campus Zone

The Cultural Heritage Landscape Features of the Campus Zone include, but are not limited to, the following highlighted elements:

- The location of the provincially significant buildings: Chapel of Hope, Infirmary and Recreation Hall within the landscape
- Their deliberate setback from Dundas Street East to provide a serene and rural setting
- Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable
- North/south tree-lined roadways framing a view of the north (rear) elevation of the infirmary
- The open space of the lawn with mature plantings directly south of the Infirmary

The Cultural Heritage Landscape Features of the Horse Stable Zone

The Cultural Heritage Landscape Features of the Horse Stable Zone include, but are not limited to, the following highlighted elements:

- Mature trees including sugar maples and walnuts
- Surrounding open space providing unobstructed view of all elevations of the Horse Stable

The Cultural Heritage Landscape Value of the Site is included within the Statement of Cultural Heritage Value and Interest, South Parcel:

As the central north-south axis for the Former Hospital Lands, the Allée physically and visually connects the historic main campus of the former London Psychiatric Hospital (comprised of the Chapel of Hope (1884), the Infirmary (1902), and the Recreation Hall (ca.1920)) with the main entrance off Dundas Street East. The main campus is deliberately setback from the main entrance to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

The cultural heritage landscape features include:

The Cultural Heritage Landscape Features of the Property ... [**as per the Heritage Conservation Easement Agreement for the former London Psychiatric Hospital**] include, but are not limited to, the following highlighted elements of the Property which contribute to its provincial heritage value:

The Allée

- Rows of mature trees including sugar maples and walnuts
- Open space between the rows of trees allowing for views of the main campus
- Views of the historic main campus framed by the Allée
- Dual laneways located in the centre of the Allée running parallel to the rows of trees

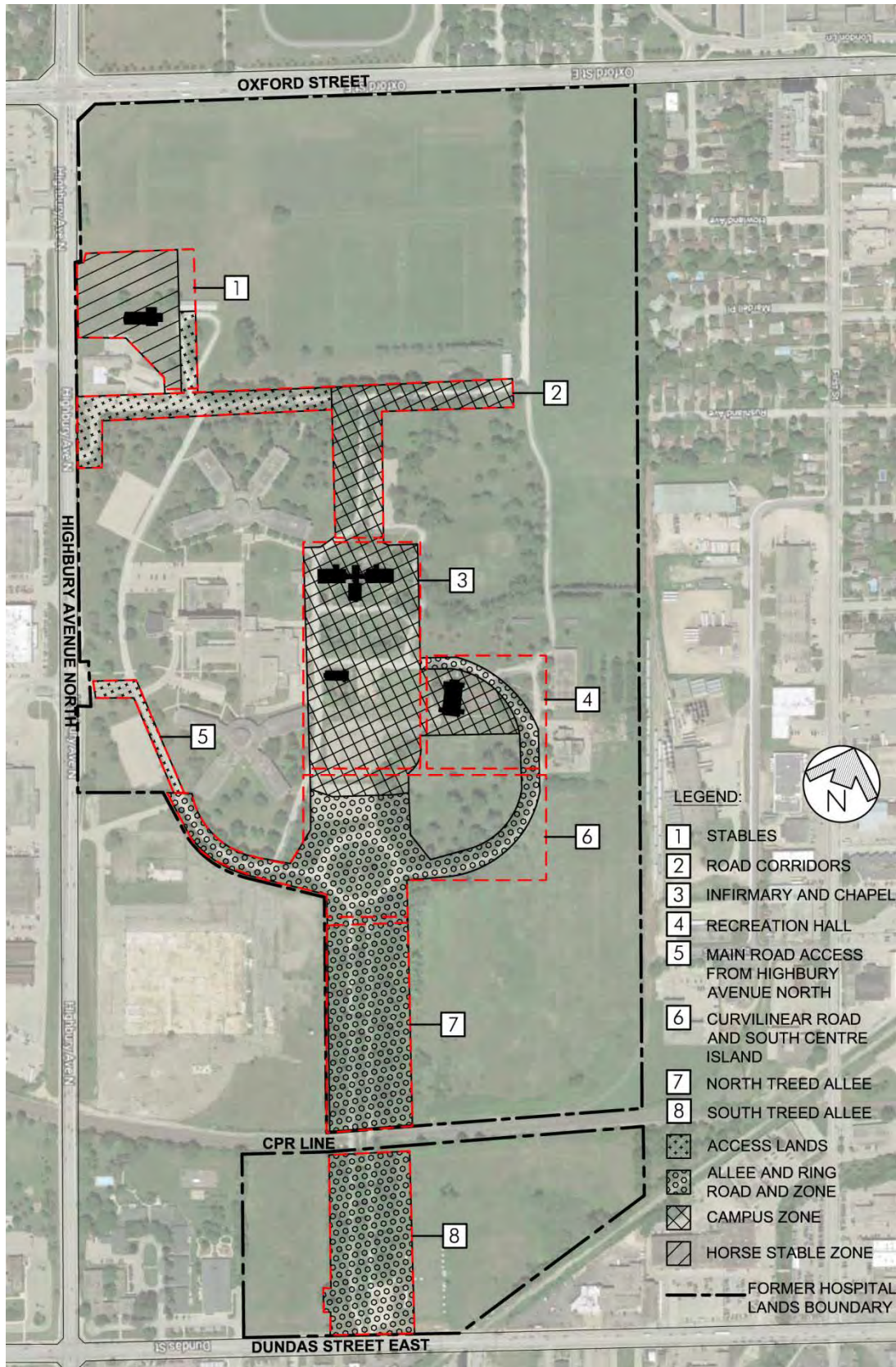


Figure No. 352: Key Plan of Landscape Areas
 Credit: Google Maps, Annotated by SBA, 2021

Condition:

The extensive tree collection of this property is a living resource and changes seasonally and matures over time. All trees have a life expectancy that will be affected by their growing conditions. Soil fertility, exposure to winter winds, drainage, drought and species type will affect the health of the tree collection. The evaluation of condition has been completed by the arborist and the June 2019 report has identified trees with some amount of dieback or other damage or may be considered hazard trees that should be removed. In general, the tree collection is in good condition except where noted. However, many trees are mature and will require removal and replanting in the future.

Hard landscape features including asphalt paving, concrete curbs and concrete walkway have been identified. The asphalt paving is generally in good condition except on the sections of the roadways that no longer carry through traffic. The concrete walks are in fair condition with some uneven sections.

The concrete curbs along the western part of the site are in good condition. The mountable curbs along the west side of the Infirmary are in poor condition because of settlement and breakage.

Specific locations where there is failure of materials are noted in the following descriptions.

Area No. 1: Stables (*Refer to Figure No. 353 and 354*)

Description: The former horse stables building is one of the key indicator buildings that recall the early period of the hospital prior to the early 1900's when a large part of the grounds was used for agriculture and food production for the operation of the facility. Housing and care of horses required stables and fenced paddocks, outdoor work yards for the removal of animal waste and delivery of feed and bedding. The placement of the former stables was at the edge of the property distant from the other hospital buildings and close to the fields where cultivation and harvesting work was based. Over time, despite the change in the building use and horses are no longer stabled there, the Stables remained a key visible anchor on the north west side of the property. In particular, the roof line with multiple decorative ventilators is a focal point of several views. Today there are few remnants of the original setting of the stables and only a limited number of landscape features of heritage value, namely the views and the few mature trees that mark the setting.

Patterns of Vegetation Planting:

Vegetation Type:

- A remnant fence row of individual mature trees marking the northern limit of the immediate stables site
- Maintained open lawn on all sides of the building

General Overview of Species:

- Deciduous, several species (refer to arborist tree inventory)

Placement:

- Former fence row indicated by 3 surviving trees aligned west to east on the north side
- Individual trees in the central island at entrance loop

Circulation Patterns:

Pedestrian:

- Across the lawn from the access drive from the south, no demarcated or paved walkway to the stables provided to define access route, former door openings found on the south and west facades

Vehicular:

- Access for vehicles from the south by means of a narrow gravel driveway that loops around a large central lawn with specimen deciduous trees and providing direct access to the main east-west road

Historic Views:

- From the north-west from the edge of Highbury Avenue North, a panoramic view of the west elevation of the building and its open setting
- From the south, an open view of the south elevation of the building from the main east west drive and the access driveway loop



Figure No. 353: View from the west of the remnant tree line on north lawn (Photo No. 1.3)



Figure No. 354: View from the east west road of gravel drive, centre island and specimen trees (Photo No. 1.4)

Area No. 2: Road Corridors (east west across site, and north south road rear of Infirmary)
(Refer to Figure No. 355, 356, 357 and 358)

Description: The main road corridor consists of a curvilinear perimeter route that connects each sector of the site with the main entrance located on Highbury Avenue North. There are 2 entrances located on this frontage with only the southern one fully open with turns controlled by a traffic light. Access to the northern entrance is limited with no left turn lanes from Highbury Avenue North. The access from the west connects to the perimeter road that encircles the core concentration of buildings. The original access to the site was from the south from Dundas Street. This access connected to the perimeter road and remains an unparalleled treed allee with multiple treelines creating a grand formal entrance to the property.

The northern half of the site has a perimeter road that may be divided into sections: 1, from the main entrance curving north to the east west section, 2, the western half of the east west road including the driveway to the stables, 3, the eastern half of the east west road leading to the former outbuildings/soccer fields and 4, the southern link from the east west road to the rear of the Infirmary. These roads are wide enough for two-way travel and are primarily asphalt. In some areas there are concrete curbs. In other areas, the surfacing is gravel with narrow grass shoulders.

Patterns of Vegetation Planting:

Vegetation Type:

- A mixture of groups of trees and tree lines along both sides of the road

General Overview of Species:

- A mixed grouping of conifers in the open space on either side of the north south section of the perimeter road
- A variety of deciduous tree lines consisting of a variety of species
- Black walnut tree line along a portion of the north side of the Section 3

Placement:

- Organic layout arrangement of conifers located west of road Section 1
- Evenly spaced individual trees forming tree lines set back from road along Section 2, 3 and 4

Circulation Patterns:

Pedestrian:

- No separate walkways along the road corridor

Vehicular:

Section 1, north from main entrance on Highbury Avenue North to the east west road

- An asphalt road with intermittent concrete curbs, curving alignment

Section 2, the east-west corridor extending from the perimeter road that connects to the main entrance at Highbury Avenue North

- An asphalt road with intermittent concrete curbs

- Provides access to the asphalt driveway to the facility fronting on Highbury Avenue North and the stables building

Section 3, the continuation of the east west road to the east to the soccer fields

- Primarily gravel with some areas of failed asphalt surfacing with grass shoulders either side

Section 4, the north south section connecting with the east west road

- An asphalt road with concrete curbs

Historic Views:

- Views east and west along the east west perimeter corridor framed by treelines on either side
- Open view of conifers from Section 1 looking north along curving alignment of the road.
- View of north side of Infirmary from Section 4 looking south framed by roadside treelines

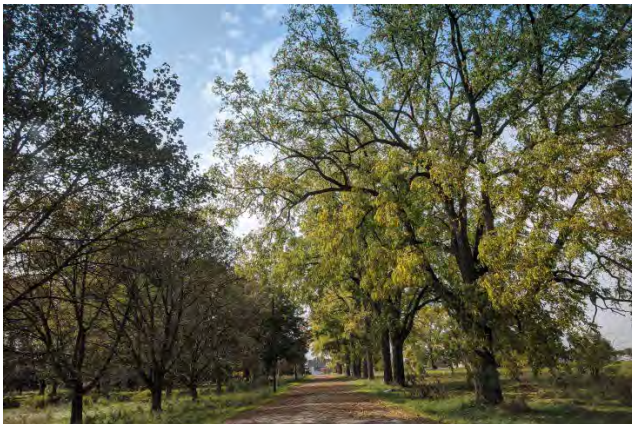


Figure No. 355: View to west along Section 3, poor condition paving, grass shoulders, tree lines both sides (Photo No. 2.0)



Figure No. 356: View to east along Section 3, failed asphalt paving, grass roadside shoulders and ditches (Photo No. 2.2)



Figure No. 357: View to south along Section 4 to north elevation of Infirmary, asphalt with curb on west side, tree lines both sides, paved parking lot on east side (Photo No. 2.3)



Figure No. 358: View to east at intersection of Section 2 and 1, concrete curb on east side of Section 1 (Photo No. 2.4)

Area No. 3: Infirmary and Chapel (*Refer to Figure No. 359 – 364*)

Description: The Infirmary occupies the central location of the property and is surrounded by a large lawn setting accented by ornamental planting. The planned placement of the Infirmary terminates views on the axes from the north and south increasing its prominence. The perimeter road encircles the Infirmary on both the east and west sides with additional driveways connecting these roads running east west in front of the Infirmary and the beside the Chapel.

The Chapel has been located south of the Infirmary and at the eastern edge of the north south road. This location does not interfere with the key north south axis and view of the front entrance of the Infirmary from the south. The Chapel is oriented on an east west axis with the altar located at the eastern end of the nave following the traditional layout. Foundation planting on the north and south elevations consists of coniferous shrubs. A small side yard is located on the south side of the Chapel defined by vegetation on the east and south sides. A large parking lot is located south of the Chapel to the west of the central axis view.

Patterns of Vegetation Planting:

Vegetation Type:

- Variety of primarily deciduous trees in the immediate setting of the Infirmary and Chapel
- Woody ornamental deciduous shrub (magnolia) as accents and coniferous foundation planting at Chapel

General Overview of Species:

- Specimen conifers accent the south Infirmary lawn and the Chapel side yard
- Deciduous hedge along the edges of the Chapel side yard screening the larger paved parking lot to the south

Placement:

- No foundation planting along the Infirmary frontage except vines covering the building
- Infirmary south lawn accented by the symmetrical planting on either side of the centre walkway consisting of evenly spaced individual deciduous shrubs formerly pruned into a rounded form and two specimen conifers
- Chapel foundation planting along north and south sides and large trees in side yard

Circulation Patterns:

Pedestrian:

- The main entrance to the Infirmary accessed by a concrete walkway that continues from the front steps to the road edge and across the central lawn toward the south
- Secondary concrete walks connect to the west and eastern wings of the Infirmary

- The main entrance to the Chapel accessed by a concrete walkway from the perimeter road
- The north east door of the Chapel accessed by a concrete walkway from the east west road along the south edge of the Infirmary south lawn

Vehicular:

- The Infirmary is encircled by asphalt, two-way traffic, the western road has a straight alignment located close to the western end of the Infirmary, the eastern road is curvilinear in alignment and set further east of the building creating a landscape open space
- On the north side of the Infirmary asphalt driveways access the rear entrance to the buildings
- A large asphalt parking lot is located east of the rear north south road (section 4)

Historic Views:

- Panoramic view along the central axis from the south across the centre island framed by symmetrical planting on open lawn of Infirmary
- Diagonal views from east and west perimeter road of Infirmary front facade
- Framed view from the Infirmary front steps across the centre island past the Chapel to the formal entrance treed allee in the distance
- Open view from the perimeter road to the west façade of the Chapel and the side yard. Commemorative signage formerly located in this view at the Chapel entrance
- Open view from the east west road of the north façade of the Chapel



Figure No. 359: Current view to Infirmary from south east (Photo No. 3.0)



Figure No. 360: View from east of Infirmary before brushing out (Photo No. 3.3)



Figure No. 361: View from south at east west road by Chapel of Infirmary (Photo No. 3.4)



Figure No. 362: View of north elevation of Chapel before brushing out (Photo No. 3.5)



Figure No. 363: View of east west road along north side of Chapel (Photo No. 3.7)



Figure No. 364: View of side yard of Chapel with large specimen spruce and catalpa in hedged lawn (Photo No. 3.9)

Area No. 4: Recreation Hall (Refer to Figure No. 365, 366)

Description: The landscape setting of the Recreation Hall is accented by mature conifers and deciduous trees set in an open on the west and south sides. The eastern part of the setting contains tennis courts. There is a paved parking area on the west side accessed by a driveway to the south west leading from the large paved parking area.

Patterns of Vegetation Planting:

Vegetation Type:

- A mixture of mature individual specimen trees

General Overview of Species:

- Conifer and deciduous trees

Placement:

- Trees located in a group on the western side and close to the building and along the edge of the perimeter road

Circulation Patterns:

Pedestrian:

- Narrow concrete walks connect the main entrance on the north façade with the perimeter road -the south entrance on the east façade is linked to the perimeter road and to the driveway on the west side

Vehicular:

- Vehicular access is by means of the driveway from the large parking area south of the Chapel
- Parking provided in a small lot west of the buildings

Historic Views:

- From the north west a view filtered by the mature trees.
- From the north from the perimeter road a direct view of the formal entrance and broad steps
- From the southwest along the treeline at the edge of the driveway to the building facade
- From the east from the perimeter road an open view of the east facade



Figure No. 365: View from the east of open lawn with specimen trees (Photo No. 4.1)



Figure No. 366: View to the south along the perimeter road, informal planting of mature trees in open lawn on west side (Photo No. 4.7)

Area No. 5: Main Road Access from Highbury Avenue North (Refer to Figure No. 367, 368)

Description: This entrance provides access from Highbury Avenue North. The road has one way traffic in and out in two lanes divided by a wide grassed median. The road surfacing consists of asphalt and continuous concrete curbs all in good condition. There are traffic signals controlling traffic flow on Highbury Avenue North.

Patterns of Vegetation Planting:**Vegetation Type:**

- Maintained lawn on both sides of the entrance drives

General Overview of Species:

- Turf

Placement:

- N/A

Circulation Patterns:**Pedestrian:**

- Wide concrete walkway along the north entrance drive

Vehicular:

- Two asphalt lanes separated by a wide grassed median island leading to the T-intersection, turning left leads north along a curving alignment towards the east west road, turning right follows the curving alignment leading to the historic curved section that is part of the circular drive around the south centre island
- Large paved parking lot located south west of the entrance drive

Historic Views

- N/A



Figure No. 367: View to west of entrance drive (Photo No. 5.0)



Figure No. 368: View to south along perimeter road at entrance drive, parking area on west side of entrance (Photo No. 5.1)

Area No. 6: Curvilinear Road and South Centre Island (*Refer to Figure No. 369, 370, 371, 372*)

Description: The curvilinear road is a continuation of the perimeter road that encircles the core area where the majority of historic buildings are located. The alignment in this section is symmetrical with the semicircular section on the east side of the centre island. The centre island has a large specimen conifer within a planting bed edged with a concrete curb located in the centre. A sidewalk crosses the central island and wraps around the planting bed. The centre of this island aligns with the primary north south axis running from the Infirmary main entrance to the treed allee in the south.

Patterns of Vegetation Planting:

Vegetation Type:

- Evenly spaced tree lines line both sides of the road
- Large conifer specimen in centre planting bed
- East of the centre island an informal group of mature trees

General Overview of Species:

- Deciduous trees, of note are a line 16 mature horse chestnut trees
- Mature conifers

Placement:

- Evenly spaced trees lines on each side of the road
- The horse chestnuts accent the west curve with their distinctive form
- Specimen accent in centre planting bed
- Deciduous treeline along the driveway to the Recreation Hall
- Large grouping of conifers east of the centre island

Circulation Patterns:

Pedestrian:

- No separate sidewalks along the curving roads
- Concrete walk divides the centre island in halves and encircles the main feature bed with concrete edging and large conifer specimen

Vehicular:

- Curving road connects with entrance drive in the north, the treed allee roads in the south, the curving perimeter road in the east, encircles the centre island and provides access to the large paved parking lot and the north south road from the Infirmary area

Historic Views:

- Distant view to and from end of treed allee towards the Infirmary with specimen conifer in the planting bed in the foreground of the axis
- Views along the curving roadway of mature trees lining the edges



Figure No. 369: View to north along curvilinear road of treeline on west side primarily horse chestnut trees (Photo No. 6.2)



Figure No. 370: View to north from edge of centre island of large parking lot (Photo No. 6.3)



Figure No. 371: View to north east towards Recreation Hall of tree line along driveway (Photo No. 6.8)



Figure No. 372: View to south of walkway landing and entrance to treed allee walkway from south road at centre island (Photo No. 6.11)

Area No. 7: North Treed Allee (Refer to Figure No. 373 - 378)

Description: This unique feature was established as the formal entrance from Dundas Street in the south in the nineteenth century. It consists of two one-way roadways separated by a wide centre island with a central walkway aligned with the north-south axis and the view that terminates at the Infirmary south façade. The dominant visual character is created by the multiple tree lines of up to 10 leading the eye and movement in the north-south direction. The layout of the roads and walkway divides the space almost symmetrically (the distance to the property line is further on the east side). The tree lines have some variations in the species mix and the continuity of the tree lines. In some cases, there are gaps resulting from earlier tree removal. In general, the outside edges are marked by conifers while the remainder of the tree lines are a mix of deciduous trees.

The southern limit of the north treed allee is the railway crossing that is now barricaded so no vehicles can cross it. The same layout pattern of roads and treelines continues south of the railway line to Dundas Street.

Patterns of Vegetation Planting:

Vegetation Type:

- Deciduous and conifers specimens

General Overview of Species:

- A mixture of different species but generally, large trees with high branching habits and full rounded canopies

Placement:

- The tree lines are mostly continuous and even spaced
- In most areas there are 10 individual tree lines shading a turf ground treatment
- Some gaps have occurred because of dead trees and the dense ground cover has changed to unmaintained weeds

Circulation Patterns:

Pedestrian

- The main north south route is by means of a wide central concrete walkway
- Visibility is difficult because of the weeds but the concrete is in poor condition

Vehicular:

- Two driving lanes each one way and before the railway was barricaded used to enter and exit the site, an informal gravel driveway connects across the south end by the railway tracks so that vehicles can complete the loop of the roads

Historic Views:

- The framed views north and south along the central walkway following the direction of the tree lines.
- The framed views north and south from within the treelines of the rows of tree trunks below the canopies
- The long views north and south along both one-way driveways
- The long view of the Infirmary in the distance from the north end of the allee



Figure No. 373: Date of Photo 2008, View to north within treed alley along east roadway (Photo No. 7.2)



Figure No. 374: View to north of central concrete walkway, poor condition (Photo No. 7.3)



Figure No. 375: View to south of east side of treed alley, conifers along west edgedrive (Photo No. 7.6)



Figure No. 376: View within treed alley east side, unmaintained turf (Photo No. 7.8)



Figure No. 377: View to south of railway crossing with barricades, west road (Photo No. 7.10)



Figure No. 378: View to north along east roadway (Photo No. 7.11)

Area No. 8: South Treed Allee (Refer to Figure No. 379, 380, 381)

Description: This unique feature was established as part of the formal entrance from Dundas Street in the south in the nineteenth century. The allee was bisected by the railway separating the south allee from the longer northern allee. The south allee is similar to the north treed allee that consists of two one-way roadways separated by a wide centre island with a central walkway aligned with the north south axis. The dominant visual character is created by the multiple tree lines leading the eye and movement in the north-south direction. The southern entrance has a large open paved area paved with asphalt and gravel. The northern limit of the south treed allee is the railway crossing that is now barricaded so no vehicles can cross it. The same layout pattern of roads and treelines continues north of the railway line to the central island and perimeter road.

Patterns of Vegetation Planting:

Vegetation Type:

- Deciduous and conifers specimens

General Overview of Species:

- A mixture of different species but generally, large trees with high branching habits and full rounded canopies

Placement:

- The tree lines are mostly continuous and even spaced
- Some gaps have occurred because of dead trees and the dense ground cover has changed to unmaintained weeds

Circulation Patterns:

Pedestrian:

- The main north south route is by means of a wide central concrete walkway in poor condition
- Visibility and movement is difficult because of the weeds

Vehicular:

- Two driving lanes each one way and before the railway was barricaded used to enter and exit the site
- Large parking area located along the Dundas Street frontage

Historic Views:

- The framed views north and south along the central walkway following the direction of the tree lines.
- The framed views from within the treelines north and south along the rows of trunks below the high canopies
- The long view toward the railway line from the Dundas Street entrance



Figure No. 379: View to south toward Dundas Street (Photo No. 8.0)



Figure No. 380: View to north along centre concrete walkway in poor condition (Photo No. 8.1)



Figure No. 381: View to south of gravel driveway, parking area on east side (Photo No. 8.2)

LIST OF PHOTOGRAPHS

Chapel of Hope (8 x 10 print):

1.0 Overall North Elevation

- 1.1 North Elevation – Sanctuary, North Entrance Wing and North Transept
- 1.2 North Elevation – Central Nave
- 1.3 North Elevation – West/Main Entrance

2.0 Overall East Elevation - Looking South

- 2.1 East Elevation – Looking North
- 2.2 East Elevation – North Entrance Wing
- 2.3 East Elevation – Sanctuary
- 2.4 East Elevation – South Entrance Wing
- 2.5 East Elevation – North Transept
- 2.6 East Elevation – South Transept

3.0 Overall South Elevation

- 3.1 South Elevation – West/Main Entrance
- 3.2 South Elevation – Central Nave
- 3.3 South Elevation – South Transept
- 3.4 South Elevation – South Entrance Wing

4.0 Overall West Elevation

- 4.1 West Elevation – West/Main Entrance
- 4.2 West Elevation – North Transept
- 4.3 West Elevation – South Transept

Chapel of Hope (4 x 6 prints):

5.0 Roof – North Elevation – Overall

- 5.1 Roof – Shingles – North Elevation – Main Roof
- 5.2 Roof – Shingles – North Elevation – West/Main Entrance Roof
- 5.3 Roof – Shingles – North Elevation – Sanctuary and North Entrance Wing Roof
- 5.4 Roof – Dormers – North Elevation – N-1
- 5.5 Roof – Dormers – North Elevation – N-2
- 5.6 Roof – Dormers – North Elevation – N-3
- 5.7 Roof – Dormers – North Elevation – N-4

6.0 Roof – Shingles – East Elevation looking South – Overall

- 6.1 Roof – Shingles – East Elevation looking North

- 6.2 Roof – Shingles – East Elevation – North Transept
- 6.3 Roof – Shingles – East Elevation – South Transept

- 7.0 **Roof – Shingles – South Elevation – Overall**
- 7.1 Roof – Shingles – South Elevation – West/Main Entrance
- 7.2 Roof – Shingles – South Elevation – Nave, Sanctuary and South Entrance Wing Roof
- 7.3 Roof – Shingles – South Elevation – East Wing (Rear) 3915
- 7.4 Roof Dormers – South Elevation – S-2
- 7.5 Roof Dormers – South Elevation – S-2 Detail

- 8.0 **Roof – Shingles – West Elevation looking South – Overall**
- 8.1 Roof – Shingles – West Elevation – North Transept
- 8.2 Roof – Shingles – West Elevation – South Transept

- 9.0 **Roof Elements – North Elevation – North Entrance Wing and Nave Typical Pre-Painted Metal Capped Fascia and Eave Detail**
- 9.1 Roof Elements – North Elevation – North Transept Roof Flashing at Nave
- 9.2 Roof Elements – North Elevation – North Transept Roof Flashing at Brick Parapet
- 9.3 Roof Elements – North Elevation – Nave Pre-Painted Metal Capped Fascia
- 9.4 Roof Elements – North Elevation – West/Main Entrance – Pre-Painted Metal Capped Fascia

- 10.0 **Roof Elements – East Elevation – North Entrance Wing Typical Metal Capped Fascia and Eave Detail**
- 10.1 Roof Elements – East Elevation – North Entrance Wing Roof Flashing at Nave
- 10.2 Roof Elements – East Elevation – South Entrance Wing and Sanctuary Typical Metal Capped Fascia and Eave Detail and Sanctuary Roof Flashing at Nave
- 10.3 Roof Elements – East Elevation – Roof Flashing Back of East Brick Parapet North Side
- 10.4 Roof Elements – East Elevation – Roof Flashing Back of East Brick Parapet South Side

- 11.0 **Roof Elements – South Elevation – West/Main Entrance Metal Capped Fascia and Eave Detail**
- 11.1 Roof Elements – South Elevation – Nave Typical Metal Capped Fascia and Eave Detail with Ivy Overgrowth
- 11.2 Roof Elements – South Elevation – Nave Metal Capped Fascia and Eave Detail
- 11.3 Roof Elements – South Elevation – South Entrance Wing Metal Capped Fascia and Eave with Ivy Overgrowth

- 12.0 **Roof Elements – West Elevation – West/Main Entrance (looking North) Roof Flashing at Nave**
- 12.1 Roof Elements – West Elevation – West/Main Entrance (looking North) Roof Flashing at Nave
- 12.2 Roof Elements – West Elevation – Roof Flashing Back of West Brick Parapet North Side

- 12.3 Roof Elements – West Elevation – Roof Flashing Back of West Brick Parapet South Side
- 12.4 Roof Elements – West Elevation – North Transept Metal Capped Fascia and Eave
- 12.5 Roof Elements – West Elevation – South Transept Metal Capped Fascia and Eave

- 13.0 **Rainwater – North Elevation – Main Roof Typical Gutter and Missing RWL**
- 13.1 Rainwater – North Elevation – Main Roof RWL
- 13.2 Rainwater – North Elevation – Main Roof RWL Detail at Grade
- 13.3 Rainwater – North Elevation – Main Roof Missing RWL 4553
- 13.4 Rainwater – North Elevation – North Entrance Wing Missing RWL and Sanctuary Gutter
- 13.5 Rainwater – North Elevation – North Entrance Wing Missing RWL Detail
- 13.6 Rainwater – North Elevation – West/Main Entrance Gutter and missing RWL

- 14.0 **Rainwater – East Elevation – North Transept Gutter and Missing RWL**
- 14.1 Rainwater – East Elevation – North Transept Gutter and Missing RWL Detail
- 14.2 Rainwater – East Elevation – North Entrance Wing Gutter
- 14.3 Rainwater – East Elevation – South Entrance Wing Gutter
- 14.4 Rainwater – East Elevation – South Transept Gutter and RWL
- 14.5 Rainwater – East Elevation – South Transept RWL Detail at Grade

- 15.0 **Rainwater – South Elevation – West/Main Entrance Gutter RWL**
- 15.1 Rainwater – South Elevation – Main Roof Gutter and Top of RWL
- 15.2 Rainwater – South Elevation – Main Roof RWL Detail at Grade
- 15.3 Rainwater – South Elevation – Main Roof RWL Detail at Grade
- 15.4 Rainwater – South Elevation – South Entrance Wing Gutter and Broken RWL
- 15.5 Rainwater – South Elevation – South Entrance Wing Gutter and Broken RWL Detail

- 16.0 **Rainwater – West Elevation – North Transept Gutter and Missing RWL**
- 16.1 Rainwater – West Elevation – North Transept Gutter and Missing RWL Detail
- 16.2 Rainwater – West Elevation – South Transept Gutter and RWL
- 16.3 Rainwater – West Elevation – South Transept RWL Detail at Grade

- 17.0 **Chimneys and Flashings – East Gable – North Chimney – North Elevation**
- 17.1 Chimney and Flashings – East Gable – North Chimney – East Elevation
- 17.2 Chimney and Flashings – East Gable – North Chimney – South Elevation
- 17.3 Chimney and Flashings – East Gable – North Chimney – West Elevation
- 17.4 Chimney and Flashings – East Gable – North Chimney – Detail
- 17.5 Chimney and Flashings – East Gable – North Chimney – Detail

- 18.0 **Chimney and Flashings – East Gable – South Chimney – North Elevation**
- 18.1 Chimney and Flashings – East Gable – South Chimney – East Elevation
- 18.2 Chimney and Flashings – East Gable – South Chimney – South Elevation
- 18.3 Chimney and Flashings – East Gable – South Chimney – West Elevation

- 18.4 Chimney and Flashings – East Gable – South East Chimney – Detail
- 19.0 Chimney and Flashings – West Gable – South Chimney – North Elevation**
- 19.1 Chimney and Flashings – West Gable – South Chimney – South Elevation
- 19.2 Chimney and Flashings – West Gable – South Chimney – West Elevation
- 19.3 Chimney and Flashings – West Gable – South Chimney – Detail
- 19.4 Chimney and Flashings – West Gable – South Chimney – Detail
- 19.5 Chimney and Flashings – West Gable – South Chimney – Detail
- 20.0 Walls Above Grade – Brick – Overall North Elevation – Overall**
- 20.1 Walls Above Grade – Brick – North Elevation – Nave Brick Staining
- 20.2 Walls Above Grade – Brick – North Elevation – Nave
- 20.3 Walls Above Grade – Brick – North Elevation – Previous Mortar Replacement
- 20.4 Walls Above Grade – Brick – North Elevation – West/Main Entrance
- 20.5 Walls Above Grade – Brick – North Elevation – West/Main Entrance
- 20.6 Walls Above Grade – Brick – North Elevation – West/Main Entrance
- 20.7 Walls Above Grade – Brick – North Elevation – North Transept
- 20.8 Walls Above Grade – Brick – North Elevation – North Transept
- 20.9 Walls Above Grade – Brick – North Elevation – North Transept
- 20.10 Walls Above Grade – Brick – North Elevation – North Entrance Wing
- 21.0 Walls Above Grade – Brick – Overall East Elevation – Overall**
- 21.1 Walls Above Grade – Brick – East Elevation – North Transept Staining at Grade
- 21.2 Walls Above Grade – Brick – East Elevation – North Transept Organic Staining at Grade
- 21.3 Walls Above Grade – Brick – East Elevation – North Entrance Wing Pier
- 21.4 Walls Above Grade – Brick – East Elevation – North Entrance Wing Pier Base Detail
- 21.5 Walls Above Grade – Brick – East Elevation – North Entrance Wing
- 21.6 Walls Above Grade – Brick – East Elevation – North Entrance Wing Brick Detail
- 21.7 Walls Above Grade – Brick – East Elevation – Sanctuary North Pier
- 21.8 Walls Above Grade – Brick – East Elevation – Sanctuary North Pier Base Detail
- 21.9 Walls Above Grade – Brick – East Elevation – Sanctuary Graffiti
- 21.10 Walls Above Grade – Brick – East Elevation – Sanctuary South Pier
- 21.11 Walls Above Grade – Brick – East Elevation – Sanctuary South Pier Base Detail
- 21.12 Walls Above Grade – Brick – East Elevation – South Entrance Wing
- 21.13 Walls Above Grade – Brick – East Elevation – South Entrance Wing Brick Detail
- 21.14 Walls Above Grade – Brick – East Elevation – South Entrance Wing Pier
- 21.15 Walls Above Grade – Brick – East Elevation – North Transept
- 21.16 Walls Above Grade – Brick – East Elevation – East Gable
- 21.17 Walls Above Grade – Brick – East Elevation – East Gable Detail (South Side)
- 21.18 Walls Above Grade – Brick – East Elevation – East Gable Detail (North Side)
- 21.19 Walls Above Grade – Brick – East Elevation – East Gable Brick Parapet (North Side)
- 21.20 Walls Above Grade – Brick – East Elevation – East Gable Brick Parapet (South Side)

- 22.0 Walls Above Grade – Brick – South Elevation – Overall**
- 22.1 Walls Above Grade – Brick – South Elevation – West/Main Entrance
 - 22.2 Walls Above Grade – Brick – South Elevation – Nave Pier
 - 22.3 Walls Above Grade – Brick – South Elevation – Nave Detail at Base of Buttress
 - 22.4 Walls Above Grade – Brick – South Elevation – Nave
 - 22.5 Walls Above Grade – Brick – South Elevation – Nave
 - 22.6 Walls Above Grade – Brick – South Elevation – Nave
 - 22.7 Walls Above Grade – Brick – South Elevation – Nave
 - 22.8 Walls Above Grade – Brick – South Elevation – Nave Detail at Base of Buttress
 - 22.9 Walls Above Grade – Brick – South Elevation – Centre of Nave
 - 22.10 Walls Above Grade – Brick – South Elevation – Nave Detail at Base of Buttress
 - 22.11 Walls Above Grade – Brick – South Elevation – South Transept
 - 22.12 Walls Above Grade – Brick – South Elevation – Nave and South Transept
 - 22.13 Walls Above Grade – Brick – South Elevation – South Transept and Entrance Wing
- 23.0 Walls Above Grade – Brick – West Elevation – Overall**
- 23.1 Walls Above Grade – Brick – West Elevation – West Gable Detail
 - 23.2 Walls Above Grade – Brick – West Elevation – West Gable Detail of Back of Parapet
 - 23.3 Walls Above Grade – Brick – West Elevation – West/Main Entrance
 - 23.4 Walls Above Grade – Brick – West Elevation – West/Main Entrance Brick Arch Detail
 - 23.5 Walls Above Grade – Brick – West Elevation – West/Main Entrance North Brick Pier
 - 23.6 Walls Above Grade – Brick – West Elevation – West/Main Entrance South Brick Pier
 - 23.7 Walls Above Grade – Brick – West Elevation – Nave
 - 23.8 Walls Above Grade – Brick – West Elevation – Nave Brick Detail
 - 23.9 Walls Above Grade – Brick – West Elevation – Nave Buttress Base Detail
- 24.0 Walls Above Grade – Stone – North Elevation – Nave Buttresses**
- 24.1 Walls Above Grade – Stone – North Elevation – Nave Buttresses Detail
 - 24.2 Walls Above Grade – Stone – North Elevation – Nave Buttresses
 - 24.3 Walls Above Grade – Stone – North Elevation – North Transept Capping Stones
 - 24.4 Walls Above Grade – Stone – North Elevation – North Transept Capping Stones Detail
 - 24.5 Walls Above Grade – Stone – North Elevation – North Transept Decorative Stone
 - 24.6 Walls Above Grade – Stone – North Elevation – North Transept Stone Detail
- 25.0 Walls Above Grade – Stone – East Elevation – East Gable and Sanctuary Capping Stones**
- 25.1 Walls Above Grade – Stone – East Elevation – East Gable Stone Detail
 - 25.2 Walls Above Grade – Stone – East Elevation – Back of East Gable Capping Stones on Brick Parapet
 - 25.3 Walls Above Grade – Stone – East Elevation – East Gable (South Side) Capping Stones
 - 25.4 Walls Above Grade – Stone – East Elevation – Back of East Gable (South Side) Capping Stones
 - 25.5 Walls Above Grade – Stone – East Elevation – Sanctuary Capping Stones

- 25.6 Walls Above Grade – Stone – East Elevation – Sanctuary Capping Stones and South Entrance Wing Pier Stone Cap
- 25.7 Walls Above Grade – Stone – East Elevation – Sanctuary and North Entrance Wing Pier Stone Cap

- 26.0 **Walls Above Grade – Stone – South Elevation – Nave Stone Cap on Buttress**
- 26.1 Walls Above Grade – Stone – South Elevation – Nave Stone Cap on Buttress Detail

- 27.0 **Walls Above Grade – Stone – West Elevation – West/Main Entrance**
- 27.1 Walls Above Grade – Stone – West Elevation – West Gable Stone Detailing
- 27.2 Walls Above Grade – Stone – West Elevation – West Gable Stone Detailing
- 27.3 Walls Above Grade – Stone – West Elevation – West Gable Stone Detailing
- 27.4 Walls Above Grade – Stone – West Elevation – Back of West Gable Brick Parapet Stone Capping and Detailing
- 27.5 Walls Above Grade – Stone – West Elevation – West/Main Entrance Detail
- 27.6 Walls Above Grade – Stone – West Elevation – West/Main Entrance Stone Capping and Stone Band Detail
- 27.7 Walls Above Grade – Stone – West Elevation – West/Main Entrance Stone Capping Detail
- 27.8 Walls Above Grade – Stone – West Elevation – West/Main Entrance Stone Capping Detail
- 27.9 Walls Above Grade – Stone – West Elevation – West/Main Entrance Stone Detailing
- 27.10 Walls Above Grade – Stone – West Elevation – Nave Buttress Stone Cap

- 28.0 **Foundations – North Elevation – West/Main Entrance Exposed Stone Foundation**
- 28.1 Foundations – North Elevation – North Transept Deteriorated Foundation

- 29.0 **Foundations – East Elevation – Sanctuary Missing Foundation**
- 29.1 Foundations – East Elevation – Sanctuary Missing Foundation Detail

- 30.0 **Foundations – South Elevation – Visible Stone Foundation at Nave Wall**
- 30.1 Foundations – South Elevation – Visible Stone Foundation at Nave Wall and Buttress Base

- 31.0 **Foundations – West Elevation – West/Main Entrance Visible Stone Foundation**
- 31.1 Foundations – West Elevation – West/Main Entrance Visible Stone Foundation at Nave Wall and Buttress Base

- 32.0 **Windows – Window Type 1 – Nave Arched Window North/South – Boarded with Vents**
- 32.1 Windows – Window Type 2 – Dormer Window – Boarded
- 32.2 Windows – Window Type 3 – Arched Window Main Entrance – Boarded

- 32.3 Windows – Window Type 4 – Double Arched Window North/South Entrance Wing – Boarded
- 32.4 Windows – Window Type 5 – Rectangular Window North/South Transept – Boarded
- 32.5 Windows – Window Type 6 – Large Arched Window Sanctuary – Boarded
- 32.6 Windows – Window Type 7 – Circular Window East Gable – Boarded
- 32.7 Windows – Window Type 8 – Large Arched Window West Nave – Boarded
- 32.8 Windows – Window Type 9 – Arched Window West Nave – Boarded
- 32.9 Windows – Window Type 4 – Detail of Damaged Sill Protection

- 33.0 **Doors – Door N-D1**
- 33.1 Doors – Door E-D1
- 33.2 Doors – Door E-D2
- 33.3 Doors – Door S-D1
- 33.4 Doors – Door S-D1 Detail
- 33.5 Doors – Door S-D1 Detail
- 33.6 Doors – Door W-D1
- 33.7 Doors – Door W-D1 Detail
- 33.8 Doors – Door W-D1 Detail

- 34.0 Signage – West Elevation – West/Main Entrance – Letter “J”
- 34.1 Signage – West Elevation – West/Main Entrance – “Chapel of Hope”
- 34.2 Signage – North Elevation – North Transept – “Private Property No Trespassing”

Horse Stable (8 x 10 print):

- 1.0 Overall North Elevation**
- 1.1 North Elevation – East Wing
- 1.2 North Elevation – North Wing (Gable)
- 1.3 North Elevation – West Wing

- 2.0 Overall East Elevation**
- 2.1 East Elevation – North Detail
- 2.2 East Elevation – South Detail

- 3.0 Overall South Elevation**
- 3.1 South Elevation – East Wing
- 3.2 South Elevation – South Wing (Gable)
- 3.3 South Elevation – West Wing

- 4.0 Overall West Elevation**
- 4.1 West Elevation – North Wing
- 4.2 West Elevation – South Wing

Horse Stable (4 x 6 prints):

- 5.0 Roof – Overall North Elevation**
- 5.1 Roof – Shingles – North Elevation Detail
- 5.2 Roof – Shingles – North Elevation Detail
- 5.3 Roof – Shingles – North Elevation Detail

- 6.0 Roof – Overall East and South Elevations**
- 6.1 Roof – Shingles – East Elevation Detail
- 6.2 Roof – Shingles – South Elevation Detail
- 6.3 Roof – Shingles – South Elevation Detail
- 6.4 Roof – Shingles – West Elevation – North Wing (Gable)
- 6.5 Roof – Shingles – West Elevation Detail

- 7.0 Roof Elements – Fascia – East Elevation**
- 7.1 Roof Elements – Fascia – East Elevation Detail
- 7.2 Roof Elements – Fascia – East Elevation Detail

- 8.0 Roof Elements – Fascia – East Elevation Detail**

- 9.0 Roof Elements – Fascia – South Elevation – East Wing Detail**

- 10.0 Roof Elements – Soffit – West Elevation Soffit Detail**
- 11.0 Rainwater – North Elevation Detail**
- 11.1 Rainwater – North Elevation – North and East Wing Detail
- 12.0 Rainwater – South Elevation – East Wing Detail**
- 12.1 Rainwater – South Elevation Detail
- 12.2 Rainwater – South Elevation Detail
- 12.3 Rainwater – South Elevation Detail
- 12.4 Rainwater – South Elevation Detail
- 13.0 Chimney – South East Elevation**
- 13.1 Chimney – South East Elevation – Flashing Detail
- 14.0 Chimney – South West Elevation**
- 15.0 Other – Ventilators –Roof Vent**
- 15.1 Other – Ventilators – South Roof Ventilator Detail
- 16.0 Walls Above Grade – North Elevation – One-Storey Wing Graffiti and White Wash**
- 16.1 Walls Above Grade – North Elevation – One-Storey Wing Graffiti Detail
- 16.2 Walls Above Grade – North Elevation – North Wing White Wash
- 16.3 Walls Above Grade – North Elevation – West Wing White Wash and Typ. Brick Infill
- 17.0 Walls Above Grade – East Elevation**
- 18.0 Walls Above Grade – South Elevation**
- 18.1 Walls Above Grade – South Elevation Brick Masonry Detail
- 18.2 Walls Above Grade – South Elevation Brick Masonry Detail
- 18.3 Walls Above Grade – South Elevation Brick Masonry Detail at Base of Wall
- 19.0 Walls Above Grade – West Elevation Brick Infill**
- 20.0 Foundations – North Elevation**
- 20.1 Foundations – North Elevation
- 21.0 Foundations – East Elevation**
- 22.0 Foundations – South Elevation – East Wing**
- 22.1 Foundations – South Elevation Centre
- 22.2 Foundations – South Elevation
- 22.3 Foundations – South Elevation

23.0 Foundations – West Elevation**23.1 Foundations – West Elevation Detail****24.0 Windows – Window Type 1 – Brick Infilled****24.1 Windows – Window Type 1 – Boarded****24.2 Windows – Window Type 1 - Boarded with vent****24.3 Windows – Window Type 2 – Boarded****24.4 Windows – Window Type 3 – Brick Infilled****24.5 Windows – Window Type 3 – Boarded****24.6 Windows – Window Type 3 – Boarded with vent****24.7 Windows – Window Type 4 – Brick Infilled****24.8 Windows – Window Type 4 – Boarded****24.9 Windows – Window Type 5 – Boarded****24.10 Windows – Window Type 6 – Boarded****24.11 Windows – East Elevation Stained Stone Sill****24.12 Windows – East Elevation Damaged Window/Sill Protection****24.13 Windows – East Elevation Damaged Window Protection****25.0 Doors - Door N-D1****25.1 Doors - Door S-D1****25.2 Doors - Door S-D2****25.3 Doors - Door S-D3****25.4 Doors - Door W-D1****25.5 Doors - Door W-D2 Hayloft Doors****25.6 Doors - Door W-D3****25.7 Doors - Doors Detail, Step – South Elevation****26.0 Signage – South Elevation – East Wing – Signage on Door S-D1**

Infirmary (8 x 10 print):**1.0 Overall North Elevation****2.0 Overall East Elevation**

2.1 East Elevation – East Wing Stair Tower

2.2 East Elevation – Porches

2.3 East Elevation – Central Administration Block and Central Pavilion

3.0 Overall South Elevation**4.0 Overall West Elevation**

4.1 West Elevation – West Wing Stair Tower

4.2 West Elevation – Porches

4.3 West Elevation – Central Administration Block and Central Pavilion

Central Administration Block:**5.0 North Elevation, East of South Corridor**

5.1 North Elevation, West of South Corridor

6.0 Overall East Elevation

6.1 East Elevation – Without Entrance

6.2 East Elevation – Front Entrance

6.3 East Elevation – Front Entrance Stairs

7.0 Overall South Elevation

7.1 East Elevation – Front Entrance Detail

8.0 Overall West Elevation

8.1 West Elevation – Without Entrance

8.2 West Elevation – Front Entrance

8.3 West Elevation – Front Entrance Stairs

Central Pavilion and Corridors:**9.0 Overall North Elevation**

9.1 North Elevation – East Corridor

9.2 North Elevation – Pavilion Detail

9.3 North Elevation – West Corridor

10.0 East Elevation – Pavilion

10.1 East Elevation – South Corridor

11.0 South Elevation – East Corridor – South East Corner

11.1 South Elevation – East Corridor

11.2 South Elevation – West Corridor

11.3 South Elevation – West Corridor – South West Corner

12.0 West Elevation – Pavilion

12.1 West Elevation – South Corridor

East Wing:**13.0 Partial North Elevation**

13.1 North Elevation – Detail

13.2 North Elevation – Stair Tower Detail

13.3 North Elevation – Porch Detail

14.0 East Elevation – Stair Tower

14.1 East Elevation – Porch

15.0 Overall South Elevation

15.1 South Elevation – Detail

15.2 South Elevation – Frontispiece Detail

15.3 South Elevation – Porch Detail

16.0 West Elevation – Stair Tower

16.1 West Elevation – North of East Corridor

16.2 West Elevation – South of East Corridor

West Wing:**17.0 Overall North Elevation**

17.1 North Elevation – Detail

17.2 North Elevation – Stair Tower Detail

17.3 North Elevation – Porch Detail

18.0 East Elevation – Stair Tower

18.1 East Elevation – North of West Corridor

18.2 West Elevation – West of West Corridor

19.0 Overall South Elevation

19.1 South Elevation – Detail

19.2 South Elevation – Frontispiece Detail

19.3 South Elevation – Porch Detail

20.0 West Elevation – Stair Tower

20.1 West Elevation – Porch

Infirmary (4 x 6 prints):**Central Administration Block:****21.0 Roof – Shingles – North East View of Roof****21.1 Roof – Shingles – North West View of Roof****22.0 Roof – Shingles – East Elevation****22.1 Roof – Shingles – East Elevation Detail****23.0 Roof – Shingles – South Elevation****23.1 Roof – Shingles – South Elevation Detail****24.0 Roof – Shingles – West Elevation****24.1 Roof – Shingles – West Elevation Detail****24.2 Roof – Shingles – West Elevation Detail****24.3 Roof – Shingles – West Elevation Detail****Central Pavilion and Corridors:****25.0 Roof – Shingles – North Elevation – Overall****25.1 Roof – Shingles – North Elevation – East Corridor****25.2 Roof – Shingles – North Elevation – East Corridor Detail****25.3 Roof – Shingles – North Elevation – Pavilion****25.4 Roof – Shingles – North Elevation – West Corridor****26.0 Roof – Shingles – East Elevation – Pavilion****26.1 Roof – Shingles – East Elevation – South Corridor****27.0 Roof – Shingles – South Elevation – East Corridor****27.1 Roof – Shingles – South Elevation – West Corridor****28.0 Roof – Shingles – West Elevation – Pavilion****28.1 Roof – Shingles – South Elevation – South Corridor****East Wing:****29.0 Roof – Shingles – North Elevation – Overall****29.1 Roof – Shingles – North Elevation – West Side of Stair Tower Detail****30.0 Roof – Shingles – East Elevation – Stair Tower****31.0 Roof – Shingles – South Elevation – Overall****31.1 Roof – Shingles – South Elevation – West Side Detail****31.2 Roof – Shingles – South Elevation – East Side Detail**

32.0 Roof – Shingles – West Elevation – Stair Tower***West Wing:*****33.0 Roof – Shingles – North Elevation – Overall****34.0 Roof – Shingles – East Elevation – Stair Tower****34.1 Roof – Shingles – East Elevation – Detail****35.0 Roof – Shingles – South Elevation – Overall****35.1 Roof – Shingles – South Elevation – West Side Detail****35.2 Roof – Shingles – South Elevation – East Side Detail****36.0 Roof – Shingles – West Elevation – Stair Tower*****Central Administration Block:*****37.0 Roof – Wood Elements – North Elevation – East Side of South Corridor****37.1 Roof – Wood Elements – North Elevation – Service Shaft****37.2 Roof – Wood Elements – North Elevation, West Side of South Corridor****38.0 Roof – Wood Elements – East Elevation Detail – Service Shaft Detail****38.1 Roof – Wood Elements – East Elevation – Service Shaft Detail****38.2 Roof – Wood Elements – East Elevation****38.3 Roof – Wood Elements – East Elevation****39.0 Roof – Wood Elements – South Elevation****39.1 Roof – Wood Elements – South Elevation – Detail****39.2 Roof – Wood Elements – South Elevation – East Side Detail****39.3 Roof – Wood Elements – South Elevation – East Side Detail****40.0 Roof – Wood Elements – West Elevation****40.1 Roof – Wood Elements – West Elevation – West Pediment Detail****40.2 Roof – Wood Elements – South Elevation – West Pediment Detail****41.0 Roof – Wood Elements – Entrance – Overall South Elevation****41.1 Roof – Wood Elements – Entrance – South Elevation – Detail****41.2 Roof – Wood Elements – Entrance – South Elevation – Detail****41.3 Roof – Wood Elements – Entrance – South Elevation – Detail****41.4 Roof – Wood Elements – Entrance – South Elevation – Detail****41.5 Roof – Wood Elements – Entrance – South Elevation – Detail****41.6 Roof – Wood Elements – Entrance – East Elevation****41.7 Roof – Wood Elements – Entrance – South East Elevation****41.8 Roof – Wood Elements – Entrance – South East Elevation – Detail****41.9 Roof – Wood Elements – Entrance – West Elevation**

41.10 Roof – Wood Elements – Entrance – South West Elevation – Detail

41.11 Roof – Wood Elements – Entrance – South West Elevation – Detail

Central Pavilion and Corridors:

42.0 **Roof – Wood Elements – North Elevation – Overall**

42.1 Roof – Wood Elements – North Elevation – East Corridor

42.2 Roof – Wood Elements – North Elevation – Pavilion

42.3 Roof – Wood Elements – North Elevation – West Corridor

43.0 **Roof – Wood Elements – East Elevation – Pavilion**

43.1 Roof – Wood Elements – East Elevation – South Corridor

44.0 **Roof – Wood Elements – South Elevation – East Corridor**

44.1 Roof – Wood Elements – South Elevation – East Corridor – South East Corner

44.2 Roof – Wood Elements – South Elevation – West Corridor

44.3 Roof – Wood Elements – South Elevation – West Corridor – South West Corridor

45.0 **Roof – Wood Elements – West Elevation – Pavilion**

45.1 Roof – Wood Elements – West Elevation – South Corridor

East Wing:

46.0 **Roof – Wood Elements – North Elevation – Overall**

46.1 Roof – Wood Elements – North Elevation – Detail

46.2 Roof – Wood Elements – North Elevation – Soffit and Dormer Detail

46.3 Roof – Wood Elements – North Elevation – Detail

46.4 Roof – Wood Elements – North Elevation – Stair Tower – Detail

46.5 Roof – Wood Elements – North Elevation – Porch

46.6 Roof – Wood Elements – North Elevation – Porch – Detail

46.7 Roof – Wood Elements – North Elevation – Porch – Detail

47.0 **Roof – Wood Elements – East Elevation – Stair Tower Detail**

47.1 Roof – Wood Elements – East Elevation – Overall Porch

48.0 **Roof – Wood Elements – South Elevation – Overall**

48.1 Roof – Wood Elements – South Elevation – Detail

48.2 Roof – Wood Elements – South Elevation – Detail

48.3 Roof – Wood Elements – South Elevation – East Wing South Pediment Detail

48.4 Roof – Wood Elements – South Elevation – Detail

48.5 Roof – Wood Elements – South Elevation – East Wing South Pediment Detail

49.0 **Roof – Wood Elements – West Elevation – Stair Tower**

49.1 Roof – Wood Elements – West Elevation – Stair Tower – Detail

49.2 Roof – Wood Elements – West Elevation – North of East Corridor

49.3 Roof – Wood Elements – West Elevation – South of East Corridor

West Wing:

50.0 Roof – Wood Elements – North Elevation – Overall

50.1 Roof – Wood Elements – North Elevation – Stair Tower – Detail

50.2 Roof – Wood Elements – North Elevation – East Side Detail

50.3 Roof – Wood Elements – North Elevation – West Side Detail

50.4 Roof – Wood Elements – North Elevation – Porch Detail

50.5 Roof – Wood Elements – North Elevation – Porch Detail

50.6 Roof – Wood Elements – North Elevation – Porch Detail

51.0 Roof – Wood Elements – East Elevation – Stair Tower

51.1 Roof – Wood Elements – East Elevation – Stair Tower Detail

51.2 Roof – Wood Elements – East Elevation – North of West Corridor

51.3 Roof – Wood Elements – East Elevation – South of West Corridor

52.0 Roof – Wood Elements – South Elevation – Overall

52.1 Roof – Wood Elements – South Elevation – West Wing South Pediment

52.2 Roof – Wood Elements – South Elevation – Detail

52.3 Roof – Wood Elements – South Elevation – West Wing South Pediment Detail

52.4 Roof – Wood Elements – South Elevation – West Wing South Pediment

52.5 Roof – Wood Elements – South Elevation – West Wing South Pediment Detail

52.6 Roof – Wood Elements – South Elevation – West Wing South Pediment Detail

52.7 Roof – Wood Elements – South Elevation – West Wing South Pediment Detail

52.8 Roof – Wood Elements – South Elevation – Detail

52.9 Roof – Wood Elements – South Elevation – Detail

52.10 Roof – Wood Elements – South Elevation – Detail

52.11 Roof – Wood Elements – South Elevation – Detail

52.12 Roof – Wood Elements – South Elevation – Soffit and Dormer Detail

52.13 Roof – Wood Elements – South Elevation – Porch Detail

52.14 Roof – Wood Elements – South Elevation – Porch Detail

53.0 Roof – Wood Elements – West Elevation – Porch Detail

53.1 Roof – Wood Elements – West Elevation – Porch Detail

53.2 Roof – Wood Elements – West Elevation – Porch Detail

53.3 Roof – Wood Elements – West Elevation – Porch Detail

53.4 Roof – Wood Elements – West Elevation – Stair Tower

Central Administration Block:

54.0 Rainwater – North Elevation – East of South Corridor

54.1 Rainwater – North Elevation – East of South Corridor at Grade

54.2 Rainwater – North Elevation – East of South Corridor – Detail at Grade

55.0 Rainwater – East Elevation

55.1 Rainwater – East Elevation – Detail at Grade

56.0 Rainwater – South Elevation – Entrance

56.1 Rainwater – South Elevation – Entrance

56.2 Rainwater – South Elevation – Entrance – Detail at Grade

57.0 Rainwater – West Elevation

57.1 Rainwater – West Elevation – Leaders from West Pediment

57.2 Rainwater – West Elevation – Detail at Grade

57.3 Rainwater – West Elevation – Detail at Grade

Central Pavilion and Corridors:**58.0 Rainwater – North Elevation – East Corridor**

58.1 Rainwater – North Elevation – West Corridor

59.0 Rainwater – East Elevation – Pavilion

59.1 Rainwater – East Elevation – South Corridor

60.0 Rainwater – South Elevation – West Corridor**61.0 Rainwater – West Elevation – Pavilion**

61.1 Rainwater – West Elevation – Pavilion – Detail at Grade

East Wing:**62.0 Rainwater – North Elevation – Stair Tower**

62.1 Rainwater – North Elevation – West Wing/Porch Connection

62.2 Rainwater – North Elevation – West Wing/Porch Connection – Detail at Soffit

62.3 Rainwater – North Elevation – West Wing/Porch Connection – Detail at Grade

63.0 Rainwater – East Elevation – Overall Porch

63.1 Rainwater – East Elevation – Stair Tower – Detail at Grade

63.2 Rainwater – East Elevation – Porch – Detail at Grade

63.3 Rainwater – East Elevation – Porch – Detail at Grade

63.4 Rainwater – East Elevation – Porch – Detail at Grade

64.0 Rainwater – South Elevation – East Wing/Porch Connection and Porch

64.1 Rainwater – South Elevation – Pediment

65.0 Rainwater – West Elevation – Stair Tower

65.1 Rainwater – West Elevation – North of East Corridor

65.2 Rainwater – West Elevation – North of East Corridor – Detail at Grade

- 65.3 Rainwater – West Elevation – North of East Corridor – Detail at Grade
- 65.4 Rainwater – West Elevation – South of East Corridor
- 65.5 Rainwater – West Elevation – South of East Corridor – Detail at Grade

West Wing:

- 66.0 **Rainwater – North Elevation – Stair Tower**
- 66.1 Rainwater – North Elevation – Stair Tower – Detail
- 66.2 Rainwater – North Elevation – Stair Tower – Detail at Grade
- 66.3 Rainwater – North Elevation – West Wing/Porch Connection
- 66.4 Rainwater – North Elevation – West Wing/Porch Connection – Detail at Grade

- 67.0 **Rainwater – East Elevation – South of West Corridor**
- 67.1 Rainwater – East Elevation – South of West Corridor – Detail at Grade

- 68.0 **Rainwater – South Elevation – Leaders from West Wing South Pediment**
- 68.1 Rainwater – South Elevation – West Wing/Porch Connection
- 68.2 Rainwater – South Elevation – West Wing/Porch Connection – Detail at Soffit
- 68.3 Rainwater – South Elevation – West Wing/Porch Connection – Detail at Grade

- 69.0 **Rainwater – West Elevation – Overall Porch**
- 69.1 Rainwater – West Elevation – Porch – Detail at Grade
- 69.2 Rainwater – West Elevation – Porch – Detail at Soffit
- 69.3 Rainwater – West Elevation – Stair Tower

Central Administration Block – West Chimney:

- 70.0 **Chimney – West Elevation – West Chimney**
- 70.1 Chimney – North West Elevation
- 70.2 Chimney – West Elevation
- 70.3 Chimney – North West Elevation – Detail

Central Administration Block – South East Chimney:

- 71.0 **Chimney – East Elevation – South East Chimney**
- 71.1 Chimney – North East Elevation
- 71.2 Chimney – East Elevation
- 71.3 Chimney – South West Elevation
- 71.4 Chimney – South West Elevation – Detail

Central Administration Block – South West Chimney:

- 72.0 **Chimney – West Elevation – South East Chimney**
- 72.1 Chimney – South East Elevation
- 72.2 Chimney – South West Elevation
- 72.3 Chimney – South East Elevation – Detail

Central Pavilion Chimney:

- 73.0 Chimney – North Elevation – Pavilion**
- 73.1 Chimney – North East Elevation
- 73.2 Chimney – East Elevation
- 73.3 Chimney – South East Elevation
- 73.4 Chimney – West Elevation

East Wing Chimney:

- 74.0 Chimney – North Elevation – East Wing – Stair Tower**
- 74.1 Chimney – North Elevation
- 74.2 Chimney – North Elevation – Detail
- 74.3 Chimney – North East Elevation
- 74.4 Chimney – North West Elevation
- 74.5 Chimney – North West Elevation – Detail

West Wing Chimney:

- 75.0 Chimney – North Elevation – West Wing – Stair Tower**
- 75.1 Chimney – North Elevation
- 75.2 Chimney – East Elevation
- 75.3 Chimney – North West Elevation
- 75.4 Chimney – North West Elevation – Detail

East Wing Dormers:

- 76.0 Dormers – North East Dormer**
- 76.1 Dormers – North West Dormer
- 76.2 Dormers – South West Dormer
- 76.3 Dormers – South West Dormer – Detail
- 76.4 Dormers – South East Dormer

West Wing Dormers:

- 77.0 Dormers – North East Dormer**
- 77.1 Dormers – North West Dormer
- 77.2 Dormers – South East Dormer
- 77.3 Dormers – South East Dormer – Detail
- 77.4 Dormers – South West Dormer
- 77.5 Dormers – South West Dormer – Detail

East Wing Bellcast Cupola:

- 78.0 Bellcast Cupola – North Elevation**
- 78.1 Bellcast Cupola – East Elevation – Detail
- 78.2 Bellcast Cupola – South Elevation
- 78.3 Bellcast Cupola – South West Elevation
- 78.4 Bellcast Cupola – North West Elevation

West Wing Bellcast Cupola:

- 79.0 Bellcast Cupola – North Elevation**
- 79.1 Bellcast Cupola – North Elevation – Detail
- 79.2 Bellcast Cupola – North West Elevation
- 79.3 Bellcast Cupola – South East Elevation
- 79.4 Bellcast Cupola – South West Elevation – Detail

Central Administration Block:

- 80.0 Walls Above Grade – South Elevation – Front Entrance**
 - 80.1 Walls Above Grade – South Elevation – Front Entrance Deteriorated Bricks at Door
 - 80.2 Walls Above Grade – South Elevation – Bricks Detailing
 - 80.3 Walls Above Grade – South Elevation – Front Entrance – East Elevation
 - 80.4 Walls Above Grade – South Elevation – Front Entrance – West Elevation
 - 80.5 Walls Above Grade – South Elevation – Front Entrance – East Elevation – Connection at Stair Addition
-
- 81.0 Walls Above Grade – West Elevation**
 - 81.1 Walls Above Grade – West Elevation – Bricks Below Window Sill
 - 81.2 Walls Above Grade – West Elevation – Crack at Sill
 - 81.3 Walls Above Grade – West Elevation – Bricks at Grade
 - 81.4 Walls Above Grade – West Elevation – Bricks at Grade

Central Pavilion and Corridors:

- 82.0 Walls Above Grade – North Elevation – Pavilion – North West Corner**
 - 82.1 Walls Above Grade – North Elevation – Pavilion – Infilled Window
 - 82.2 Walls Above Grade – North Elevation – Pavilion – Infilled Window
 - 82.3 Walls Above Grade – North Elevation – Pavilion – Infilled Window
 - 82.4 Walls Above Grade – North Elevation – Pavilion – Infilled Window Detail
 - 82.5 Walls Above Grade – North Elevation – Pavilion – Chipped Bricks
 - 82.6 Walls Above Grade – North Elevation – Pavilion – North East Corner
-
- 83.0 Walls Above Grade – West Elevation – South Corridor**
 - 83.1 Walls Above Grade – West Elevation – South Corridor – Cavity Below Sill
 - 83.2 Walls Above Grade – West Elevation – South Corridor – Metal Fitment and Cavity
 - 83.3 Walls Above Grade – West Elevation – South Corridor – Detail of Cavity
 - 83.4 Walls Above Grade – West Elevation – South Corridor – Metal Fitment Detail

East Wing:

- 84.0 Walls Above Grade – North Elevation, Typical**
- 84.1 Walls Above Grade – North Elevation – Detail of Window Header and Brick Band
- 84.2 Walls Above Grade – North Elevation – Detail of Brick Quoining
- 84.3 Walls Above Grade – North Elevation – Pipe Penetration
- 84.4 Walls Above Grade – North Elevation – Typical Brick Coursing and Mortar

- 84.5 Walls Above Grade – North Elevation – Detail of Brick
- 84.6 Walls Above Grade – North Elevation – Detail of Brick Texture
- 84.7 Walls Above Grade – North Elevation – Detail of Mortar
- 84.8 Walls Above Grade – North Elevation – Brick Staining

- 85.0 Walls Above Grade – South Elevation – East Wing South Pediment**
- 85.1 Walls Above Grade – South Elevation – East Wing South Pediment Detail
- 85.2 Walls Above Grade – South Elevation – Detailing of Quoining
- 85.3 Walls Above Grade – South Elevation – Detail of Brick Quoining
- 85.4 Walls Above Grade – South Elevation – Brick Detailing
- 85.5 Walls Above Grade – South Elevation – Cracks in Brick Wall
- 85.6 Walls Above Grade – South Elevation – Damaged Window Header
- 85.7 Walls Above Grade – South Elevation – Crack Detail at Window Headers
- 85.8 Walls Above Grade – South Elevation – Crack Detail at Window Headers
- 85.9 Walls Above Grade – South Elevation – Transition to Porch

West Wing:

- 86.0 Walls Above Grade – North Elevation – Stair Tower**
- 86.1 Walls Above Grade – North Elevation – Brick Detail
- 86.2 Walls Above Grade – North Elevation – Brick Staining
- 86.3 Walls Above Grade – North Elevation – Brick Infill and Quoining
- 86.4 Walls Above Grade – North Elevation – Quoining Detail

- 87.0 Walls Above Grade – South Elevation**
- 87.1 Walls Above Grade – South Elevation – West Wing South Pediment – Brick Detailing and Staining
- 87.2 Walls Above Grade – South Elevation – Frontispiece – Brick Detailing
- 87.3 Walls Above Grade – South Elevation – Frontispiece – Brick Detailing, Missing Mortar
- 87.4 Walls Above Grade – South Elevation – Frontispiece – Missing Mortar Detail
- 87.5 Walls Above Grade – South Elevation – Frontispiece – Chipped Brick
- 87.6 Walls Above Grade – South Elevation – Frontispiece – Chipped Brick Detail
- 87.7 Walls Above Grade – South Elevation – Wood Panel
- 87.8 Walls Above Grade – South Elevation – Wood Panel Detail
- 87.9 Walls Above Grade – South Elevation – Brick Detailing
- 87.10 Walls Above Grade – South Elevation – Brick Colour and Coursing
- 87.11 Walls Above Grade – South Elevation – Typical Window Opening Details
- 87.12 Walls Above Grade – South Elevation – Typical Window Header

Central Administration Block:

- 88.0 Foundation – East Elevation – Front Entrance**
- 88.1 Foundation – East Elevation – Typical Stone Foundation

- 89.0 Foundation – South Elevation – Typical Stone Foundation**

90.0 Foundation – West Elevation – Typical Stone Foundation – Missing Mortar

- 90.1 Foundation – West Elevation – Missing Mortar
- 90.2 Foundation – West Elevation – Missing Mortar
- 90.3 Foundation – West Elevation – Missing Mortar
- 90.4 Foundation – West Elevation – Missing Mortar Detail
- 90.5 Foundation – West Elevation – Front Entrance

Central Pavilion and Corridors:**91.0 Foundation – South Elevation – West Corridor**

- 92.0 **Foundation – West Elevation – South Corridor**
- 92.1 Foundation – West Elevation – South Corridor – Detail

East Wing:

- 93.0 **Foundation – North Elevation**
- 93.1 Foundation – North Elevation
- 93.2 Foundation – North Elevation – Detail
- 93.3 Foundation – North Elevation – Detail

- 94.0 **Foundation – South Elevation**
- 94.1 Foundation – South Elevation – Detail
- 94.2 Foundation – South Elevation – Window Well – Below Grade
- 94.3 Foundation – South Elevation – Window Well – Below Grade Detail

- 95.0 **Foundation – West Elevation – South of East Corridor**

West Wing:

- 96.0 **Foundation – North Elevation**
- 96.1 Foundation – North Elevation – Stairwell to Basement Door
- 96.2 Foundation – North Elevation – Stairwell to Basement Door Detail
- 96.3 Foundation – North Elevation – Stairwell to Basement Door Detail
- 96.4 Foundation – North Elevation – Stair Tower – Missing Mortar
- 96.5 Foundation – North Elevation – Missing Mortar

- 97.0 **Foundation – East Elevation – South of West Corridor**

- 98.0 **Foundation – South Elevation – Porch Transition**
- 98.1 Foundation – South Elevation – Missing Mortar
- 98.2 Foundation – South Elevation – Missing Mortar Detail
- 98.3 Foundation – South Elevation – Missing Mortar
- 98.4 Foundation – South Elevation – Missing Mortar
- 98.5 Foundation – South Elevation – Significant Mortar Deterioration Below Grade

98.6 Foundation – South Elevation – Significant Mortar Deterioration Below Grade – Detail

99.0 Foundation – West Elevation – Stair Tower

99.1 Foundation – West Elevation – Stair Tower – Detail at Grade

99.2 Foundation – West Elevation – Stair Tower – Missing Mortar

99.3 Foundation – West Elevation – Stair Tower – Missing Mortar Detail

East Wing – East Porch:

100.0 East Wing – East Porch – Overall North Elevation

100.1 East Wing – East Porch – North Elevation – Detail at Grade

100.2 East Wing – East Porch – North Elevation – Soffit

100.3 East Wing – East Porch – North Elevation – Detail at Soffit

101.0 East Wing – East Porch – Overall East Elevation

101.1 East Wing – East Porch – East Elevation – Structural Damage

101.2 East Wing – East Porch – East Elevation – Structural Damage Detail

101.3 East Wing – East Porch – East Elevation – Structural Damage Detail

101.4 East Wing – East Porch – East Elevation – Structural Damage Detail

101.5 East Wing – East Porch – East Elevation – Structural Damage Detail

101.6 East Wing – East Porch – East Elevation – Structural Damage Detail of Brick Piers

102.0 East Wing – East Porch – South Elevation – Overall

102.1 East Wing – East Porch – South Elevation – Wood Band and Soffit

102.2 East Wing – East Porch – South Elevation – Detail at Grade

102.3 East Wing – East Porch – South Elevation – Wood Band

102.4 East Wing – East Porch – South Elevation – Wood Band Detail

102.5 East Wing – East Porch – South Elevation – Window at Grade

102.6 East Wing – East Porch – South Elevation – Window Header Detail

102.7 East Wing – East Porch – South Elevation – Brick South East Corner

102.8 East Wing – East Porch – South Elevation – Brick at Corner

102.9 East Wing – East Porch – South Elevation – Brick at Corner Detail

102.10 East Wing – East Porch – South Elevation – Porch Transition

102.11 East Wing – East Porch – South Elevation – Porch Transition Detail

102.12 East Wing – East Porch – South Elevation – Porch Transition Detail

West Wing – West Porch:

103.0 West Wing – West Porch – Overall North Elevation

103.1 West Wing – West Porch – North Elevation – Wood Band

103.2 West Wing – West Porch – North Elevation – Soffit

103.3 West Wing – West Porch – North Elevation – Soffit Detail

103.4 West Wing – West Porch – North Elevation – Soffit Detail

103.5 West Wing – West Porch – North Elevation – Porch Transition

103.6 West Wing – West Porch – North Elevation – Porch Transition at Grade

103.7 West Wing – West Porch – North Elevation – Window at Grade

103.8 West Wing – West Porch – North Elevation – North West Corner

104.0 West Wing – West Porch – Overall West Elevation

104.1 West Wing – West Porch – West Elevation – Lower Wood Band

104.2 West Wing – West Porch – West Elevation – Lower Wood Band Detail

104.3 West Wing – West Porch – West Elevation – Pier Detail at Soffit

104.4 West Wing – West Porch – West Elevation – Upper Wood Band Detail

104.5 West Wing – West Porch – West Elevation – Graffiti on Brick

104.6 West Wing – West Porch – West Elevation – Pier Detail

104.7 West Wing – West Porch – West Elevation – South West Corner

105.0 West Wing – West Porch – Overall South Elevation

105.1 West Wing – West Porch – South Elevation – Soffit Detail

105.2 West Wing – West Porch – South Elevation – Window at Grade

105.3 West Wing – West Porch – South Elevation – Brick Detail

105.4 West Wing – West Porch – South Elevation – Porch Transition Soffit Detail

105.5 West Wing – West Porch – South Elevation – Porch Transition

105.6 West Wing – West Porch – South Elevation – Porch Transition at Grade

106.0 Windows – Window Type 1

106.1 Windows – Window Type 2

106.2 Windows – Window Type 3

106.3 Windows – Window Type 4

106.4 Windows – Window Type 4.1 – Brick Infilled

106.5 Windows – Window Type 5

106.6 Windows – Window Type 6

106.7 Windows – Window Type 7

106.8 Windows – Window Type 7.1

106.9 Windows – Window Type 7.2

106.10 Windows – Window Type 8

106.11 Windows – Window Type 9

106.12 Windows – Window Type 10

106.13 Windows – Window Type 11

106.14 Windows – Window Type 12

106.15 Windows – Window Type 13

106.16 Windows – Window Type 14

106.17 Windows – Window Type 15

106.18 Windows – Window Type 16

106.19 Windows – Window Type 16.1

106.20 Windows – Window Type 17

106.21 Windows – Window Type 18

106.22 Windows – Window Type 19

- 106.23 Windows – Window Type 20
- 106.24 Windows – Window Type 21
- 106.25 Windows – Window Type 21.1
- 106.26 Windows – Window Type 21.2
- 106.27 Windows – Window Type 21.3
- 106.28 Windows – Window Type 22
- 106.29 Windows – Window Type 23
- 106.30 Windows – Window Type 24
- 106.31 Windows – Window Type 25 – Skylight
- 106.32 Windows – Header Detail
- 106.33 Windows – Missing Vent
- 106.34 Windows – Sill Detail
- 106.35 Windows – Crack at Sill
- 106.36 Windows – Sill Detail
- 106.37 Windows – Sill Detail
- 106.38 Windows – Sill Detail
- 106.39 Windows – Sill Detail

- 107.0 **Doors – Central Administration Block – South Elevation – D1-S – Main Entrance**
- 107.1 Doors – Central Administration Block – South Elevation – D1-S – Main Door Transom
- 107.2 Doors – Central Administration Block – South Elevation – D2-S – Basement Door Under Entrance Stairs
- 107.3 Doors – Central Administration Block – East Elevation – D3-E
- 107.4 Doors – Central Pavilion and Corridors – East Corridor – North Elevation – D4-N
- 107.5 Doors – Central Pavilion and Corridors – West Corridor – North Elevation – D5-N
- 107.6 Doors – Central Pavilion and Corridors – Pavilion – East Elevation – D6-E – Rear Entrance
- 107.7 Doors – East Wing – South Elevation – D7-S
- 107.8 Doors – West Wing – East Elevation – Stair Tower – D8-E
- 107.9 Doors – West Wing – South Elevation – D9-S

- Central Administration Block:**
- 108.0 **Stairs and Ramps – South Elevation – Entrance**
- 108.1 Stairs and Ramps – East Elevation – Entrance
- 108.2 Stairs and Ramps – East Elevation – Entrance Detail
- 108.3 Stairs and Ramps – West Elevation – Entrance
- 108.4 Stairs and Ramps – West Elevation – Entrance Detail
- 108.5 Stairs and Ramps – West Elevation – Entrance Brick Detail
- 108.6 Stairs and Ramps – South Elevation – Entrance
- 108.7 Stairs and Ramps – South Elevation – Entrance
- 108.8 Stairs and Ramps – South Elevation – Stairs
- 108.9 Stairs and Ramps – South Elevation – Stairs
- 108.10 Stairs and Ramps – South Elevation – Stairs

- 108.11 Stairs and Ramps – South Elevation – Handrail Detail
- 108.12 Stairs and Ramps – West Elevation – Stairs Landing at Stairs Leading to Basement Door
- 108.13 Stairs and Ramps – West Elevation – Stairs Leading to Basement Door
- 108.14 Stairs and Ramps – West Elevation – Stairs Leading to Basement Door

Central Pavilion and Corridors:

- 109.0 **Stairs and Ramps – Rear Entrance – North Elevation – Ramp**
- 109.1 Stairs and Ramps – Rear Entrance – East Elevation – Ramp
- 109.2 Stairs and Ramps – Rear Entrance – Ramp Detail
- 109.3 Stairs and Ramps – Rear Entrance – Ramp Detail
- 109.4 Stairs and Ramps – Rear Entrance – Ramp Detail
- 109.5 Stairs and Ramps – Rear Entrance – Stair Detail
- 109.6 Stairs and Ramps – Rear Entrance – Handrail Detail
- 109.7 Stairs and Ramps – Rear Entrance – Handrail Detail
- 109.8 Stairs and Ramps – Rear Entrance – Handrail Detail

West Wing:

- 110.0 **Stairs and Ramps – East Elevation – Stair Tower – Stairwell to Basement Level**
- 110.1 Stairs and Ramps – East Elevation – Stair Tower – Stairwell Detail

- 111.0 **Lights – Central Administration Block – South Elevation – Entrance – Light above Door**
- 111.1 Lights - Central Administration Block – East Elevation – Light above Stairs Leading to Basement Door Under Entrance Stairs
- 111.2 Lights – Central Pavilion and Corridors – East Corridor – North Elevation – Light Above Door D1-N1

- 112.0 **Canopy Frame – Central Administration Block – East Elevation – Canopy Frame above Former Main Entrance**

- 113.0 **Signage – Central Administration Block – South Elevation – Entrance – Letter ‘Q’**
- 113.1 Signage – East Wing – North Elevation – ‘No Parking’

Recreation Hall (8 x 10 print):**1 Overall North Elevation**

- 1.1 North Elevation – Frontispiece East Wing
- 1.2 North Elevation – Frontispiece
- 1.3 North Elevation – Frontispiece West Wing
- 1.4 North Elevation – Rear East Wing
- 1.5 North Elevation – Rear West Wing

2 Overall East Elevation

- 2.1 East Elevation – Frontispiece
- 2.2 East Elevation – Frontispiece East Wing
- 2.3 East Elevation – Centre Detail
- 2.4 East Elevation – Rear East Wing

3 Overall South Elevation

- 3.1 South Elevation – Rear East Wing
- 3.2 South Elevation – Centre Detail
- 3.3 South Elevation – Rear West Wing
- 3.4 South Elevation – Frontispiece East Wing
- 3.5 South Elevation – Frontispiece West Wing

4 Overall West Elevation

- 4.1 West Elevation – Frontispiece and Frontispiece West Wing
- 4.2 West Elevation – Centre
- 4.3 West Elevation – Rear West Wing

Recreation Hall (4 x 6 prints):**5.0 Roof – Overall North Elevation**

- 5.1 Roof – Shingles – North Elevation – North Gable Slate Detail
- 5.2 Roof – Shingles – North Elevation Frontispiece East Wing
- 5.3 Roof – Shingles – North Elevation Frontispiece West Wing

6.0 Roof – Overall East Elevation

- 6.1 Roof – Shingles – East Elevation Frontispiece East Wing
- 6.2 Roof – Shingles – East Elevation Main Roof Detail
- 6.3 Roof – Shingles – East Elevation Main Roof South of Rear East Wing

7.0 Roof – Overall South Elevation

- 7.1 Roof – Shingles – South Elevation Rear East Wing
- 7.2 Roof – Shingles – South Elevation Rear West Wing
- 7.3 Roof – Shingles – South Elevation Frontispiece East Wing

8.0 Roof – Overall West Elevation

8.1 Roof – Shingles – West Elevation Main Roof Detail

8.2 Roof – Shingles – West Elevation Main Roof Detail South of Rear West Wing

9.0 Roof Elements – North Elevation – Frontispiece

9.1 Roof Elements – North Elevation – Frontispiece Detail of Crack

9.2 Roof Elements – North Elevation – Frontispiece Detail at Corner

9.3 Roof Elements – North Elevation – Frontispiece East Wing Return

9.4 Roof Elements – North Elevation – Frontispiece West Return and West Wing

9.5 Roof Elements – North Elevation – Rear East Wing Pediment North Return

9.6 Roof Elements – North Elevation – Rear West Wing Pediment South Return

10.0 Roof Elements – East Elevation – Frontispiece East Return

10.1 Roof Elements – East Elevation – Frontispiece East Wing – East Pediment

10.2 Roof Elements – East Elevation – Main Roof (Centre)

10.3 Roof Elements – East Elevation – Main Roof (Centre) Detail

10.4 Roof Elements – East Elevation – Main Roof (Centre) Detail

10.5 Roof Elements – East Elevation – Main Roof (Centre) Detail

10.6 Roof Elements – East Elevation – Rear East Wing – East Pediment

10.7 Roof Elements – East Elevation – Main Roof South of Rear East Wing

11.0 Roof Elements – South Elevation – South Gable

11.1 Roof Elements – South Elevation – South Gable Detail

11.2 Roof Elements – South Elevation – South Gable Detail

11.3 Roof Elements – South Elevation – South Gable Detail

11.4 Roof Elements – South Elevation – South Gable Detail

11.5 Roof Elements – South Elevation – Rear East Wing

11.6 Roof Elements – South Elevation – Rear West Wing

11.7 Roof Elements – South Elevation – Frontispiece East Wing South Return

11.8 Roof Elements – South Elevation – Frontispiece West Wing South Return

12.0 Roof Elements – West Elevation – Frontispiece West Return

12.1 Roof Elements – West Elevation – Frontispiece West Wing – West Pediment

12.2 Roof Elements – West Elevation – Main Roof (Centre)

12.3 Roof Elements – West Elevation – Main Roof (Centre) Detail

12.4 Roof Elements – West Elevation – Main Roof (Centre)

12.5 Roof Elements – West Elevation – Main Roof (Centre) Detail

12.6 Roof Elements – West Elevation – Main Roof (Centre)

12.7 Roof Elements – West Elevation – Rear West Wing – West Pediment

12.8 Roof Elements – West Elevation – Rear West Wing – West Pediment Detail

12.9 Roof Elements – West Elevation – Rear West Wing – West Pediment Detail

12.10 Roof Elements – West Elevation – Rear West Wing – West Pediment Detail

12.11 Roof Elements – West Elevation – Main Roof South of Rear West Wing

- 13.0 Rainwater – North Elevation Frontispiece East Wing**
- 13.1 Rainwater – North Elevation Frontispiece West Wing
- 13.2 Rainwater – North Elevation Frontispiece West Wing – Detail at Grade

- 14.0 Rainwater – East Elevation – Centre**
- 14.1 Rainwater – East Elevation – Centre at Grade Detail
- 14.2 Rainwater – East Elevation – Detail at Grade

- 15.0 Rainwater – South Elevation Rear East Wing**
- 15.1 Rainwater – South Elevation Rear West Wing – Detail at Soffit
- 15.2 Rainwater – South Elevation Rear West Wing – Detail at Grade

- 16.0 Rainwater – West Elevation – Centre**
- 16.1 Rainwater – West Elevation – Centre at Soffit Detail
- 16.2 Rainwater – West Elevation – Centre at Grade Detail
- 16.3 Rainwater – West Elevation – Centre Detail at Grade

- 17.0 Other – Ventilators**
- 17.1 Other – Ventilators Detail

- 18.0 Walls Above Grade – North Elevation Frontispiece – Front Entrance**
- 18.1 Walls Above Grade – North Elevation Frontispiece – Masonry Detail
- 18.2 Walls Above Grade – North Elevation Frontispiece East Wing – Stone Band Detail
- 18.3 Walls Above Grade – North Elevation Frontispiece West Wing
- 18.4 Walls Above Grade – North Elevation Rear East Wing – Stone Band Staining
- 18.5 Walls Above Grade – North Elevation Rear West Wing – Stone Band Staining

- 19.0 Walls Above Grade – Overall East Elevation**
- 19.1 Walls Above Grade – East Elevation – Centre – Stone Band Detail
- 19.2 Walls Above Grade – East Elevation – Centre – Stone Band Detail, Finish of Stone
- 19.3 Walls Above Grade – East Elevation – Centre – Brick Header at Window Opening
- 19.4 Walls Above Grade – East Elevation – Centre – Typical Brick Coursing and Mortar
- 19.5 Walls Above Grade – East Elevation – Centre – Cracked Sill
- 19.6 Walls Above Grade – East Elevation – Centre – Cracked Sill
- 19.7 Walls Above Grade – East Elevation – Centre – Cracked Sill
- 19.8 Walls Above Grade – East Elevation – Centre – Cracked Sill Detail
- 19.9 Walls Above Grade – East Elevation – Centre – Cracked Sill Detail
- 19.10 Walls Above Grade – East Elevation – Centre – Vents in Masonry

- 20.0 Walls Above Grade – South Elevation – South Gable – Detail of Masonry**
- 20.1 Walls Above Grade – South Elevation – South Gable – Obsolete Fitments
- 20.2 Walls Above Grade – South Elevation – South Gable – Penetration in Masonry
- 20.3 Walls Above Grade – South Elevation – East Corner – Brick Quoining

- 20.4 Walls Above Grade – South Elevation – East Corner – Brick Quoining Detail
- 20.5 Walls Above Grade – South Elevation – Stone Band Detail

- 21.0 Walls Above Grade – West Elevation**
- 21.1 Walls Above Grade – West Elevation – Centre – Missing Mortar
- 21.2 Walls Above Grade – West Elevation – Centre – Missing Mortar Detail
- 21.3 Walls Above Grade – West Elevation – Centre – Stone Band Detail

- 22.0 Foundations – North Elevation Frontispiece East Wing**

- 23.0 Foundations – East Elevation Centre**
- 23.1 Foundations – East Elevation Rear East Wing Detail

- 24.0 Foundations – South Elevation**

- 25.0 Foundations – West Elevation Centre**

- 26.0 Windows – Window Type 1 – Frontispiece – Circle Boarded**
- 26.1 Windows – Window Type 2 – Frontispiece – Boarded
- 26.2 Windows – Window Type 3 – Frontispiece – Boarded with Vent
- 26.3 Windows – Window Type 4 – Frontispiece – Semi-Oval Boarded with Vent
- 26.4 Windows – Window Type 5 – Typical Basement – Boarded
- 26.5 Windows – Window Type 6 – Frontispiece Return – Boarded
- 26.6 Windows – Window Type 7 – Typical Wing – Boarded with Vent
- 26.7 Windows – Window Type 7 – Typical Wing – Boarded
- 26.8 Windows – Window Type 8 – East/West Centre – Boarded with Vent
- 26.9 Windows – Window Type 9 – South Gable Semi-Circle – Boarded with Vent
- 26.10 Windows – Window Type 5 – Boarded (Basement) Detail of Hatch
- 26.11 Windows – Window Type 8 – East/West Centre – Boarded with Vent Cracked Sill
- 26.12 Windows – Window Type 8 – East/West Centre – Boarded with Vent Cracked Sill
- 26.13 Windows – Window Type 8 – East/West Centre – Boarded with Vent Cracked Sill
- 26.14 Windows – Window Type 8 – East/West Centre – Boarded with Vent Cracked Sill
- 26.15 Windows – Window Type 8 – East/West Centre – Boarded with Vent Cracked Sill

- 27.0 Doors – Door N-D1 – Frontispiece with Transom**
- 27.1 Doors – Door E-D1
- 27.2 Doors – Door E-D1 Detail
- 27.3 Doors – Door E-D2
- 27.4 Doors – Door E-D2 Detail
- 27.5 Doors – Door W-D1
- 27.6 Doors – Door W-D2

- 28.0 Ramp and Stairs – Ramp – North Elevation**

- 28.1 Ramp and Stairs – Ramp
- 28.2 Ramp and Stairs – Ramp
- 28.3 Ramp and Stairs – Ramp
- 28.4 Ramp and Stairs – Ramp
- 28.5 Ramp and Stairs – Ramp

- 29.0 Ramp and Stairs – Stairs – North Elevation**
- 29.1 Ramp and Stairs – Stairs
- 29.2 Ramp and Stairs – Stairs
- 29.3 Ramp and Stairs – Stairs
- 29.4 Ramp and Stairs – Stairs

- 30.0 Lights – North Elevation – Door N-D1**
- 30.1 Lights – East Elevation – Door E-D1
- 30.2 Lights – East Elevation – Door E-D2
- 30.3 Lights – West Elevation – Door W-D1
- 30.4 Lights – West Elevation – Door W-D2
- 30.5 Lights – Detail

- 31.0 Signage – North Elevation – Original Signage**
- 31.1 Signage – West Elevation
- 31.2 Signage – East Elevation

Landscape (4 x 6 print):

All photos taken October 2020 unless otherwise noted

Area No. 1: Stables

- 1.0 View to south east from south of stables
- 1.1 View from south east to south elevation
- 1.2 View from west of west elevation with roof ventilator features
- 1.3 View from the west of the remnant tree line on north lawn
- 1.4 View from the east west road of gravel drive, centre island and specimen trees

Area No. 2: Road Corridor (east west across site, and north south road rear of Infirmary)

- 2.0 View to west along Section 3, poor condition paving, grass shoulders, tree lines both sides
- 2.1 View to west along Section 3 at intersection of Section 4 towards Highbury Avenue North
- 2.2 View to east along Section 3, failed asphalt paving, grass roadside shoulders and ditches
- 2.3 View to south along Section 4 to north elevation of Infirmary, asphalt with curb on west side, tree lines both sides, paved parking lot on east side
- 2.4 View to east at intersection of Section 2 and 1, concrete curb on east side of Section 1, asphalt in good condition

Area No. 3: Infirmary and Chapel

- 3.0 Current photo of same view as Photo No. 3.2, view to Infirmary from south east
- 3.1 View to rear elevation of Infirmary
- 3.2 Date of photo, 2008, view to Infirmary with pruned shrubs and mown lawn as setting
- 3.3 View from east of Infirmary before brushing out
- 3.4 View from south at east west road by Chapel of Infirmary, central concrete walkway in poor condition, symmetrical specimen spruce trees on either side of walkway in open lawn, ornamental shrubs along walk not pruned
- 3.5 View of north elevation of Chapel before brushing out
- 3.6 View of main entrance to Chapel, step and concrete walkway in good condition, rolled concrete curb in fair condition
- 3.7 View of east west road along north side of Chapel, asphalt in poor condition, no curbs or walkways on either side
- 3.8 View from south on central walkway of Infirmary, concrete in poor condition
- 3.9 View of side yard of Chapel with large specimen spruce and catalpa in hedged lawn
- 3.10 View from west along south elevation of Infirmary after brushing out

Area No. 4: Recreation Hall

- 4.0 View to east façade, asphalt roadway paving in poor condition
- 4.1 View from the east of open lawn with specimen trees
- 4.2 View from the south west toward building along driveway connection from parking lot
- 4.3 View of north entrance steps and mature pines, concrete walkway in poor condition
- 4.4 View of east elevation, tennis courts in side yard
- 4.5 View of tennis courts, poor condition
- 4.6 View along curvilinear perimeter road toward Infirmary, no sidewalks or curb, asphalt in fair condition
- 4.7 View to the south along the perimeter road, informal planting of mature trees in open lawn on west side, asphalt in poor condition

Area No. 5: Main Road Access from Highbury Avenue North

- 5.0 View to west of entrance drive
- 5.1 View to south along perimeter road at entrance drive, parking area on west side of entrance
- 5.2 View to north of entrance at perimeter road, concrete curb and gutter and asphalt paving in fair to good condition
- 5.3 View to west of entrance drive with centre grassed median, traffic signals at Highbury Avenue North

Area No. 6: Curvilinear road and south centre island

- 6.0 View to north maintained lawns with conifers and deciduous trees
- 6.1 View to south along curvilinear road of treeline on west side
- 6.2 View to north along curvilinear road of treeline on west side primarily horse chestnut trees
- 6.3 View to north from edge of centre island of large parking lot
- 6.4 View to north across centre island to Infirmary, symmetrical tree planting in island
- 6.5 View to north of centre spruce tree feature, concrete walkway in poor condition
- 6.6 View looking down towards the ground of curved concrete planting bed edging at centre spruce tree
- 6.7 View of segmented concrete walkway encircling the edger and centre planting bed at spruce tree
- 6.8 View to north east towards Recreation Hall of tree line along driveway
- 6.9 View to south east from parking area of group of conifers
- 6.10 View to south to treed allee from centre island walkway

- 6.11 View to south of walkway landing and entrance to treed allee walkway from south road at centre island

Area No. 7: North Treed Allee

- 7.0 Date of Photo 2008, View to south of maintained lawn and tree lines, central walkway and two one-way roadways
- 7.1 Date of Photo 2008, View to south within treed allee along east roadway
- 7.2 Date of Photo 2008, View to north within treed allee along east roadway
- 7.3 View to north of central concrete walkway, poor condition
- 7.4 View to north within treed allee of central walkway
- 7.5 View of east road, compare with Photo 7.1
- 7.6 View to south of east side of treed allee, conifers along west edge
- 7.7 View to north of central concrete walkway from edge of railway, informal drive connecting both one-way roads, concrete in poor condition
- 7.8 View within treed allee east side, unmaintained turf
- 7.9 View within treed allee of unmown turf, catch basin
- 7.10 View to south of railway crossing with barricades, west road
- 7.11 View to north along east roadway compare with Photo 7.0

Area No. 8: South Treed Allee

- 8.0 View to south toward Dundas Street
- 8.1 View to north along centre concrete walkway in poor condition
- 8.2 View to south of gravel driveway, parking area on east side

PHOTOGRAPH KEY PLAN - CHAPEL OF HOPE

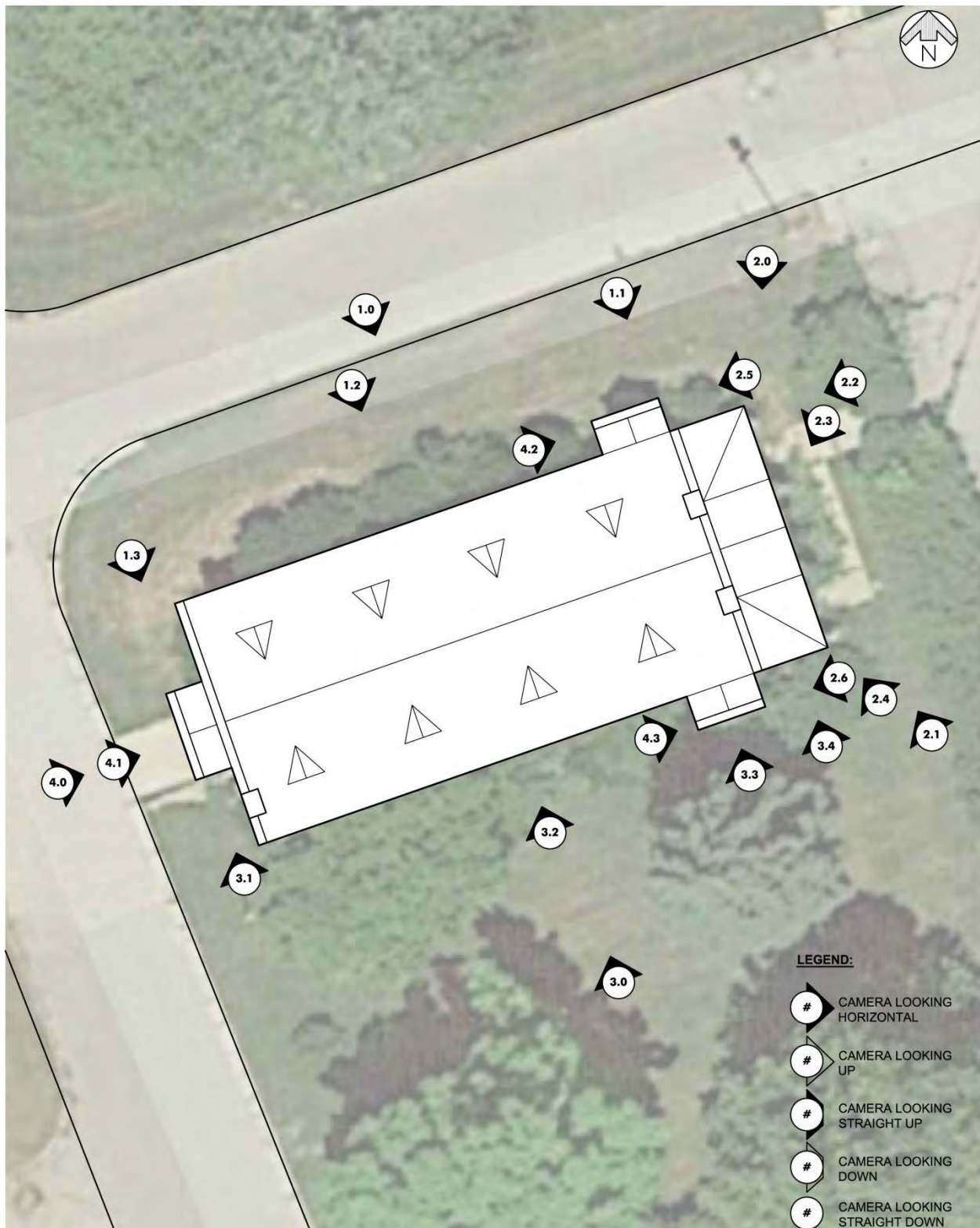


Figure No. 382: Photo No. 1.0 – 4.3 (Elevations)



Figure No. 383: Photo No. 5.0 – 12.5 (Roof and Roof Elements)

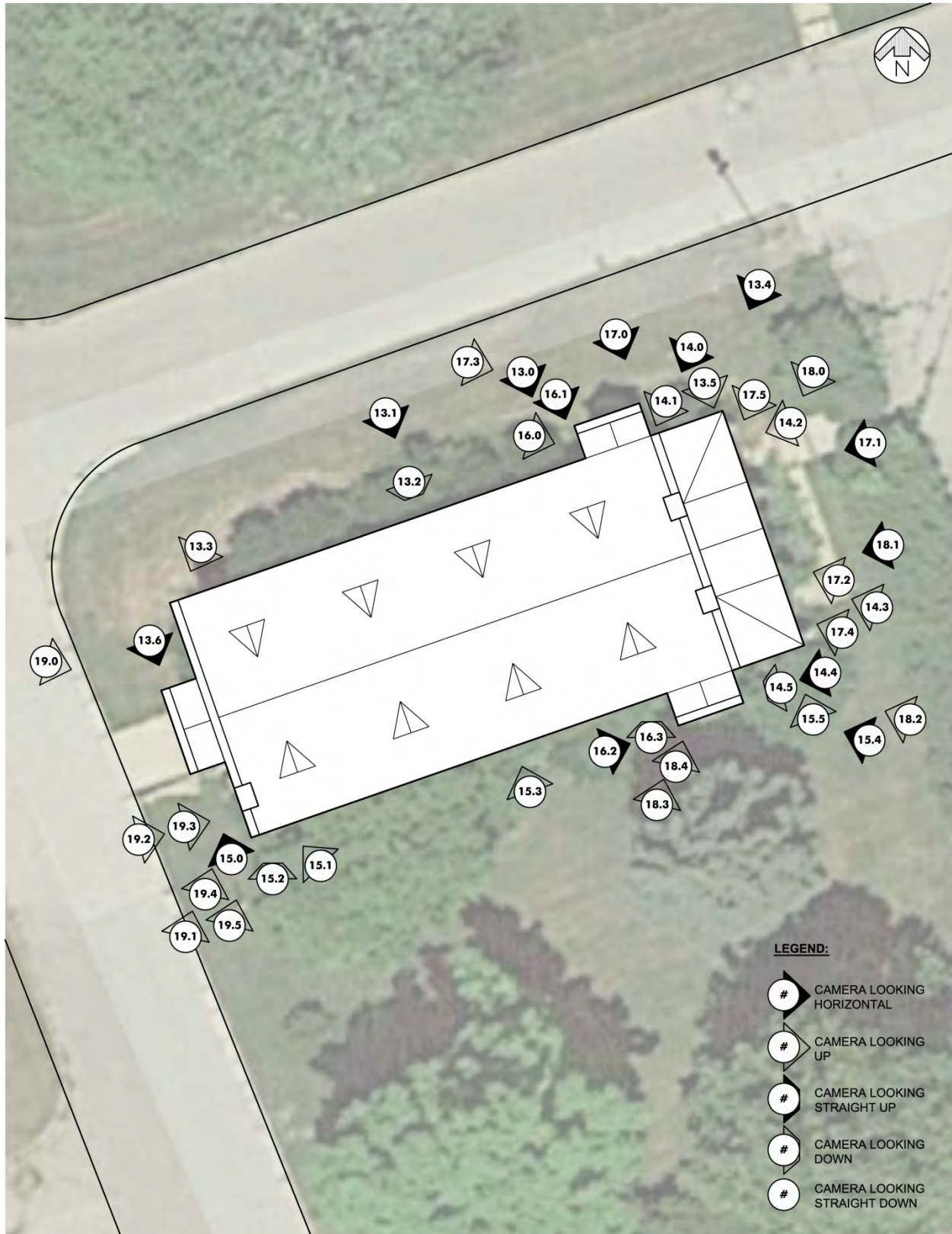


Figure No. 384: Photo No. 13.0 – 19.5 (Rainwater and Chimneys)

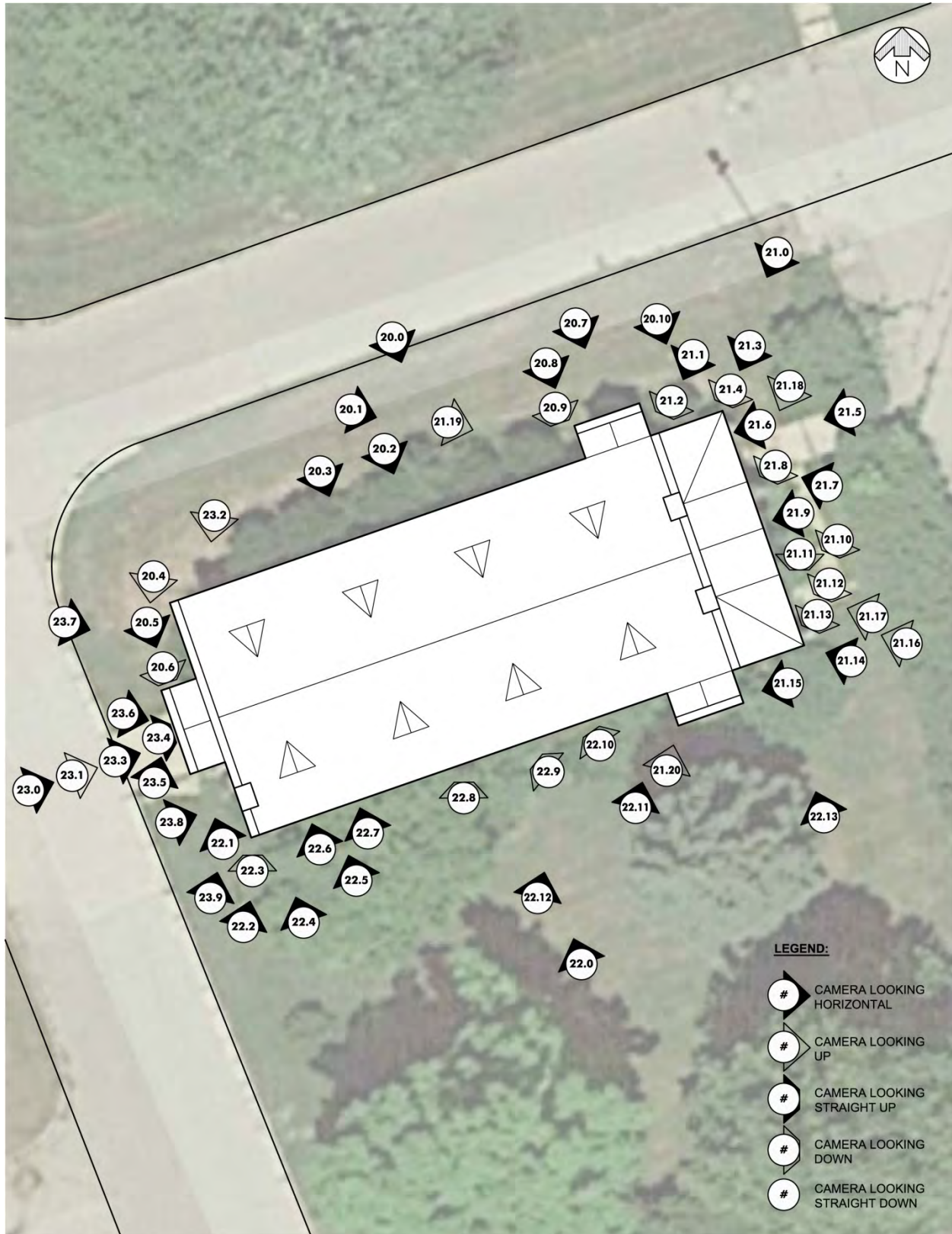


Figure No. 385: Photo No. 20.0 – 23.9 (Walls Above Grade – Brick)



Figure No. 386: Photo No. 24.0 – 31.1 (Walls Above Grade – Stone Details, and Foundations)

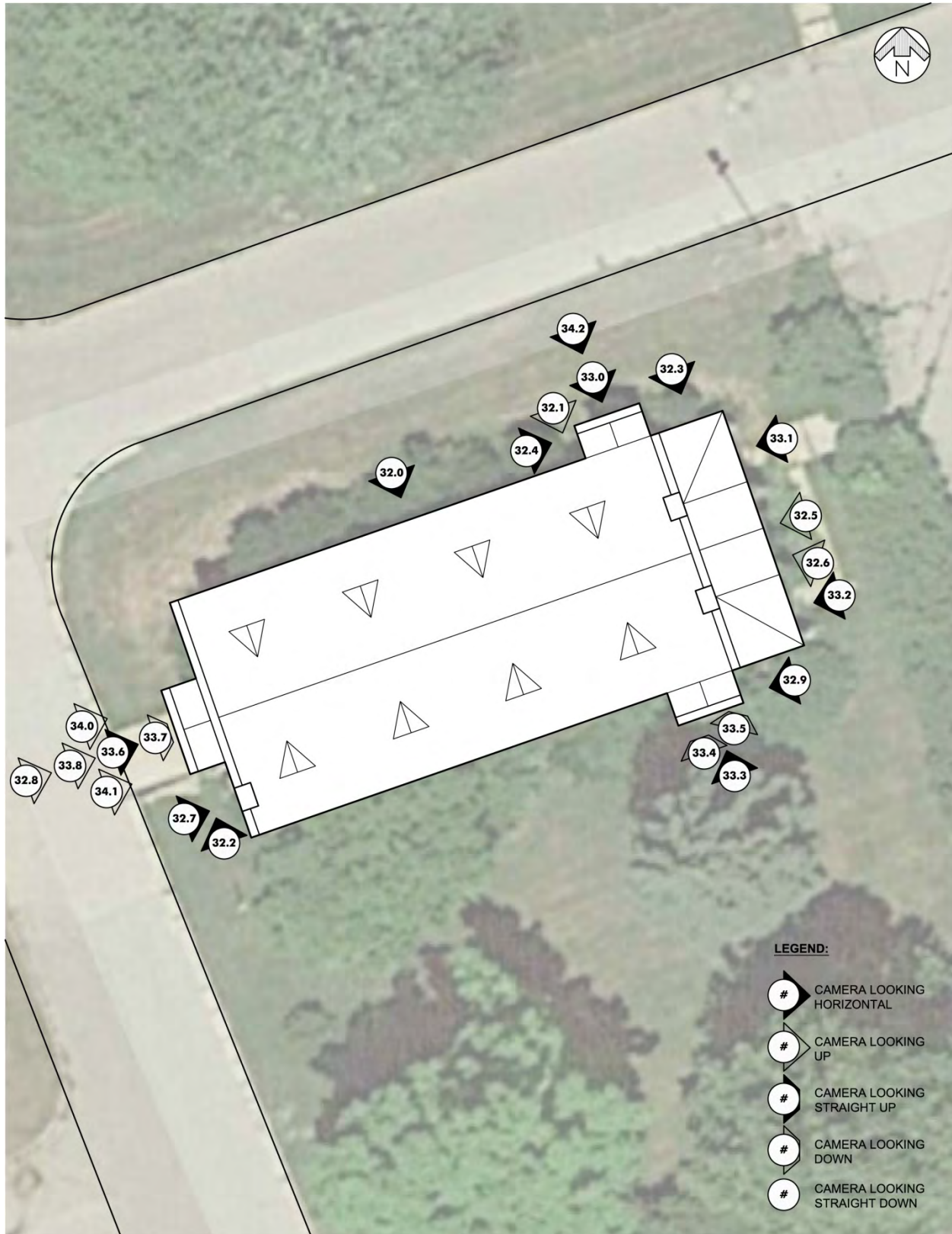


Figure No. 387: Photo No. 32.0 – 34.2 (Windows, Doors and Signage)

PHOTOGRAPH KEY PLAN - HORSE STABLE

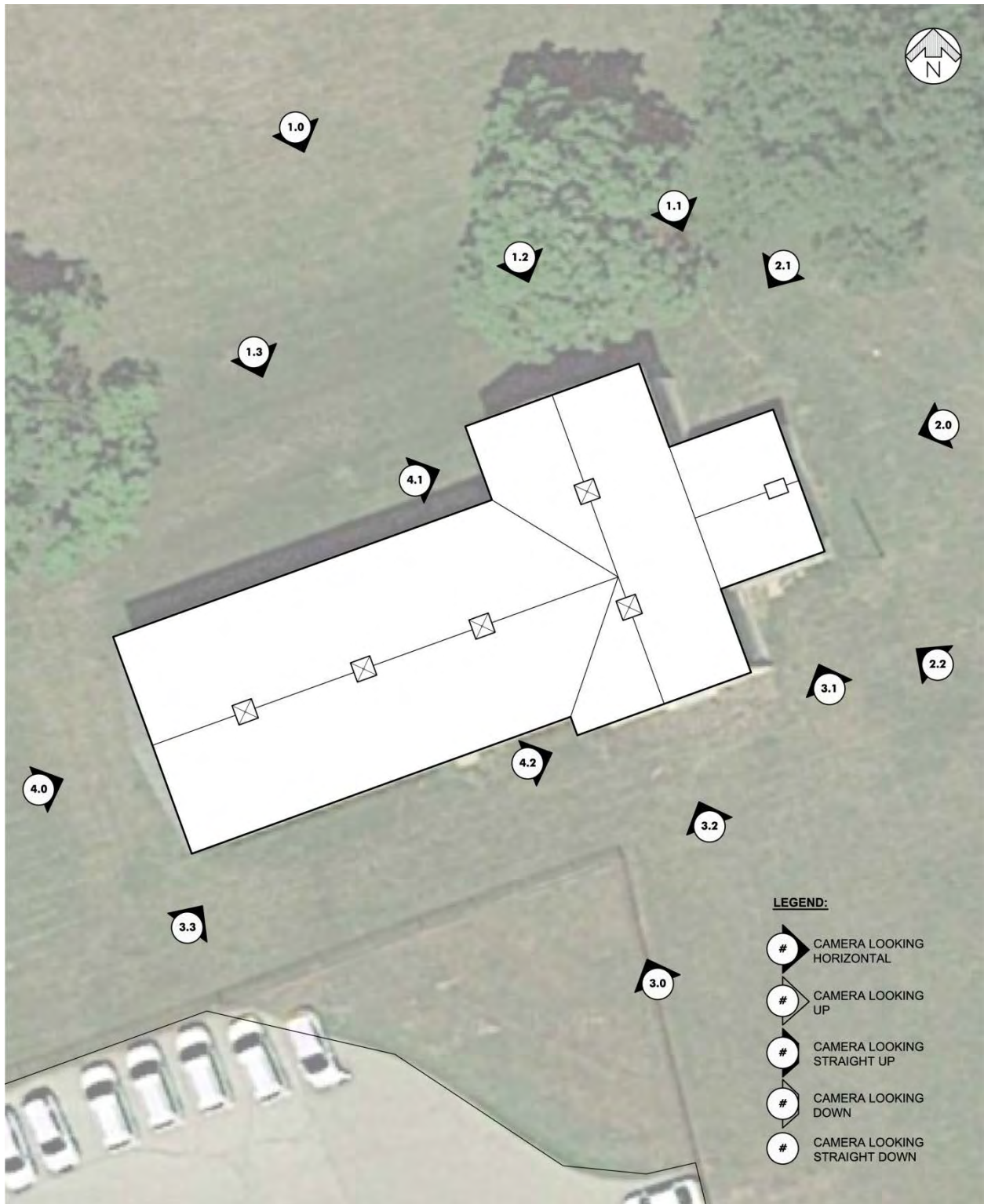


Figure No. 388: Photo No. 1.0 – 4.3 (Elevations)

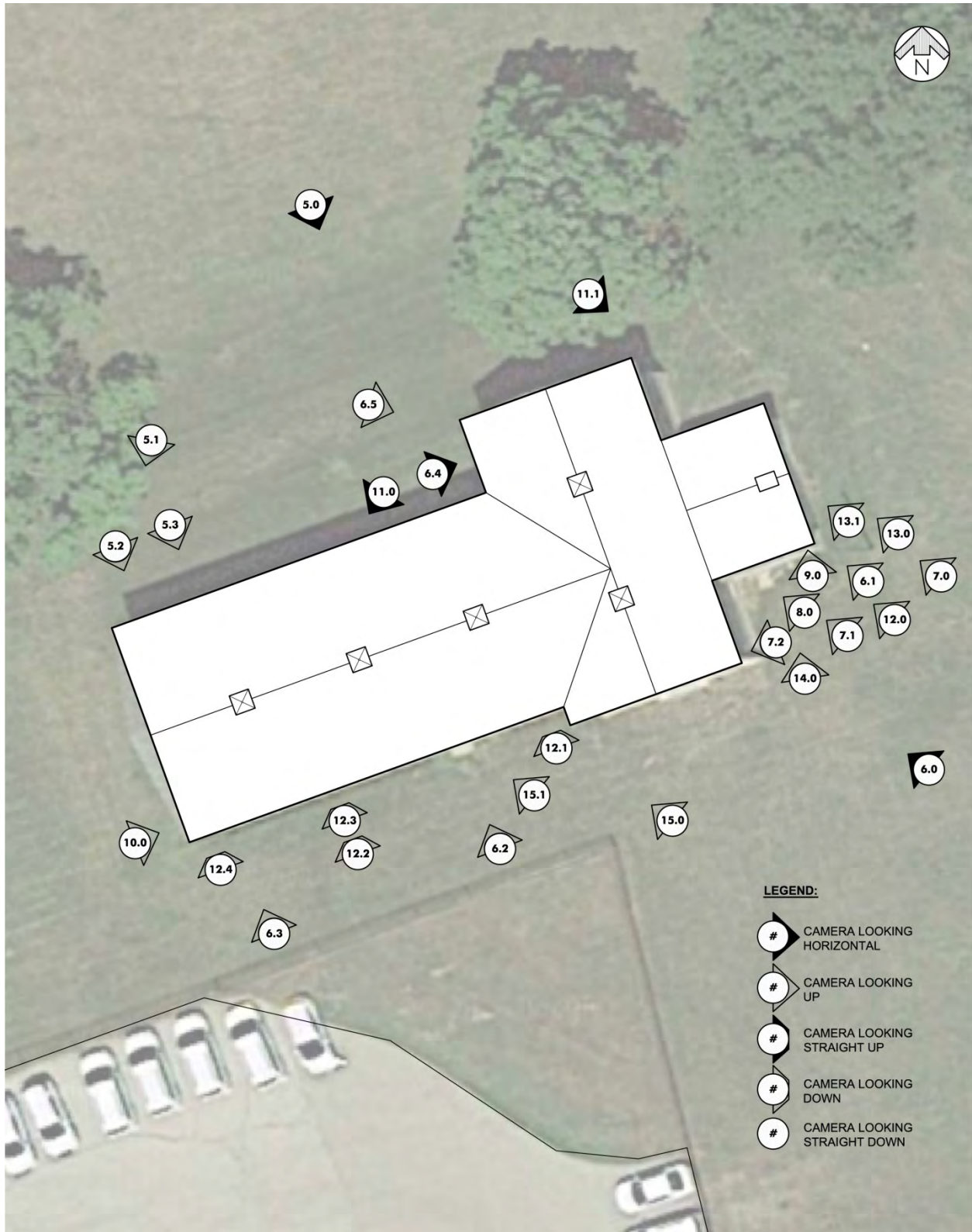


Figure No. 389: Photo No. 5.0 – 15.1 (Roof, Roof Elements, Rainwater, Chimney and Ventilators)

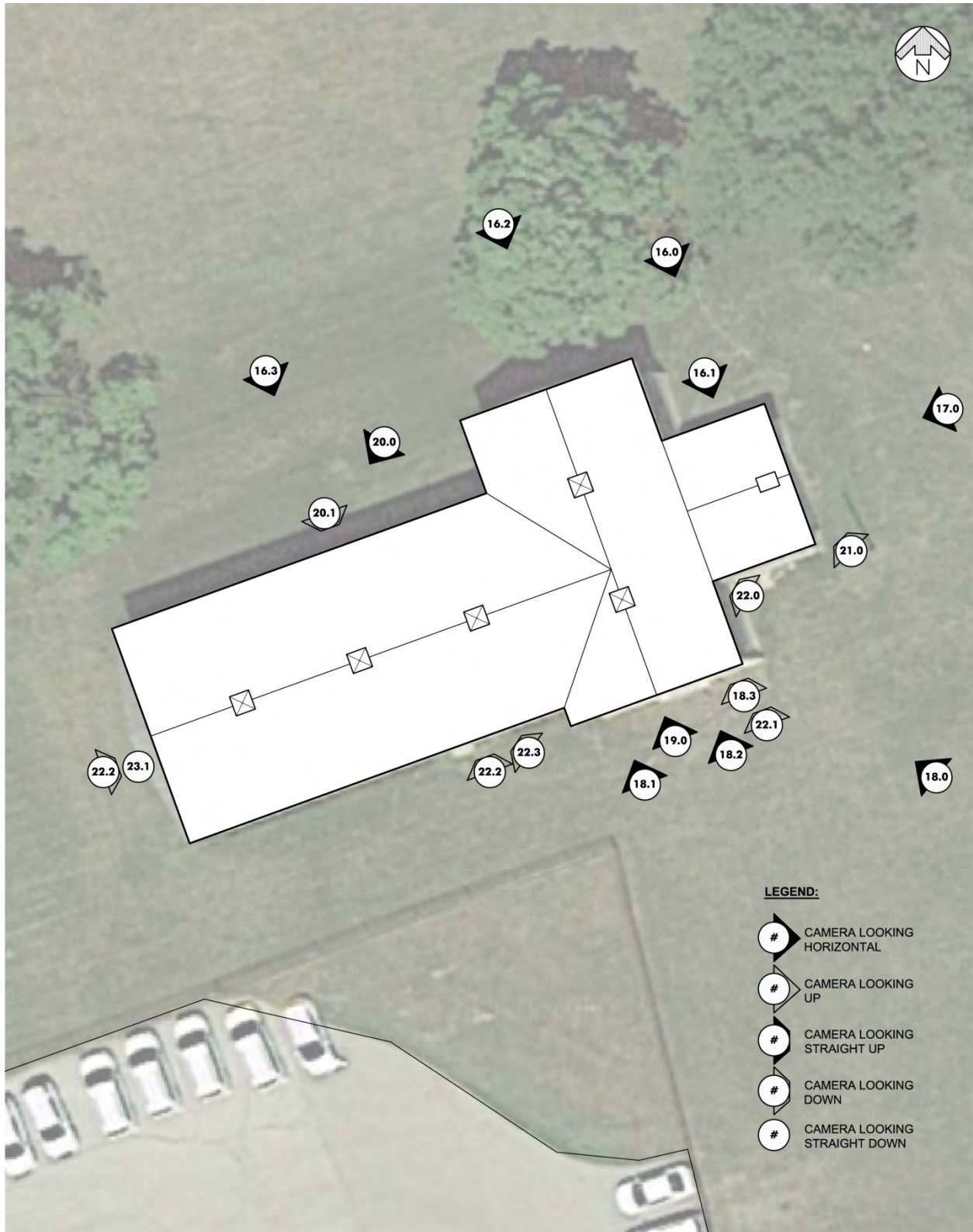


Figure No. 390: Photo No. 16.0 – 23.1 (Walls Above Grade and Foundations)

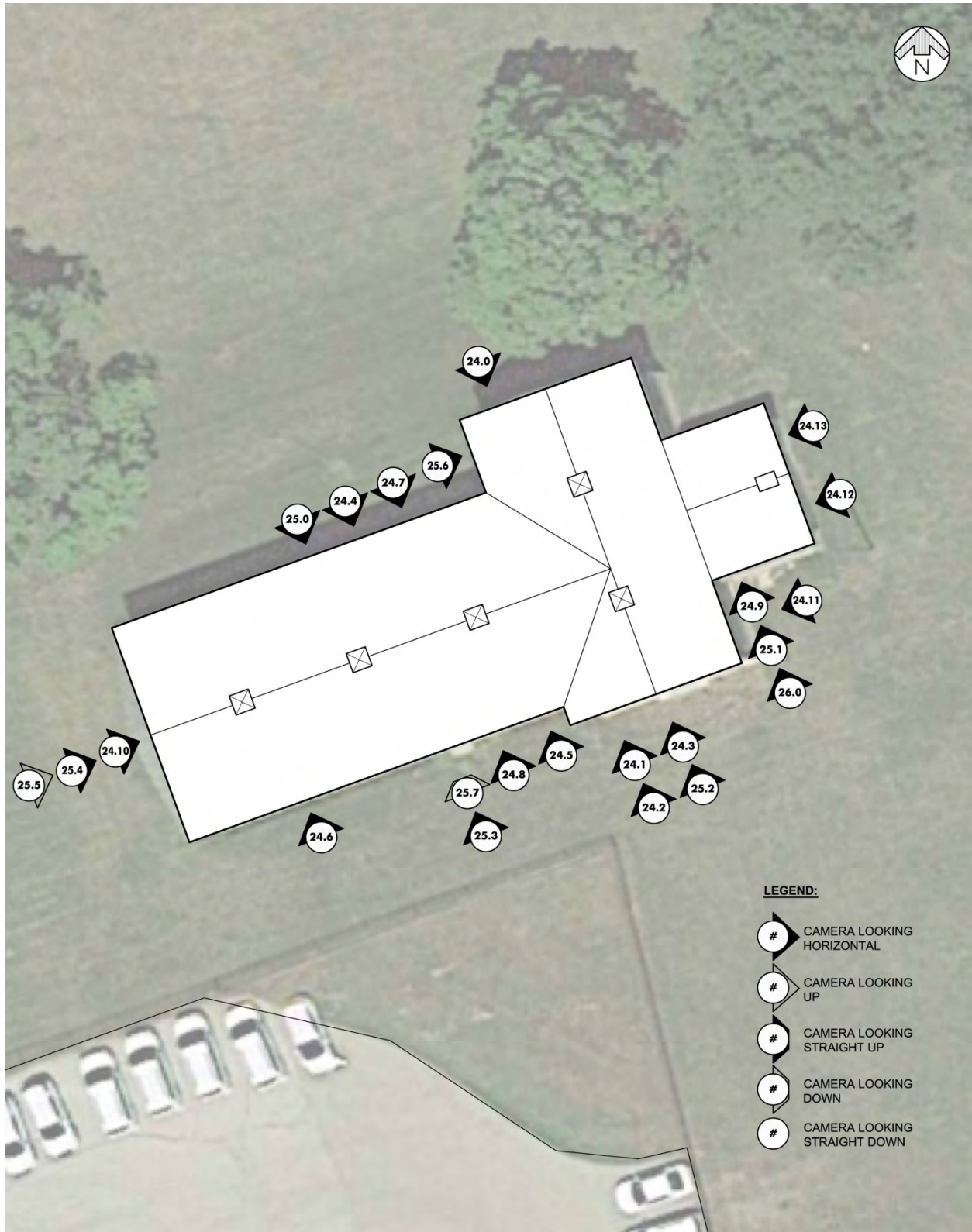


Figure No. 391: Photo No. 24.0 – 26.0 (Windows, Doors and Signage)

PHOTOGRAPH KEY PLAN - INFIRMARY



Figure No. 392: Photo No. 1.0 – 20.1 (Elevations)



Figure No. 393: Photo No. 21.0 – 53.4 (Roof and Roof Elements)



Figure No. 394: Photo No. 54.0 – 79.4 (Rainwater, Chimney, Dormers, and Ventilators/Bellcast Cupola)



Figure No. 395: Photo No. 80.0 – 105.6 (Walls Above Grade, Foundations and Porches)



Figure No. 396: Photo No. 106.0 – 113.1 (Windows, Doors, Stairs and Ramps, Lights, Canopy and Signage)

PHOTOGRAPH KEY PLAN - RECREATION HALL

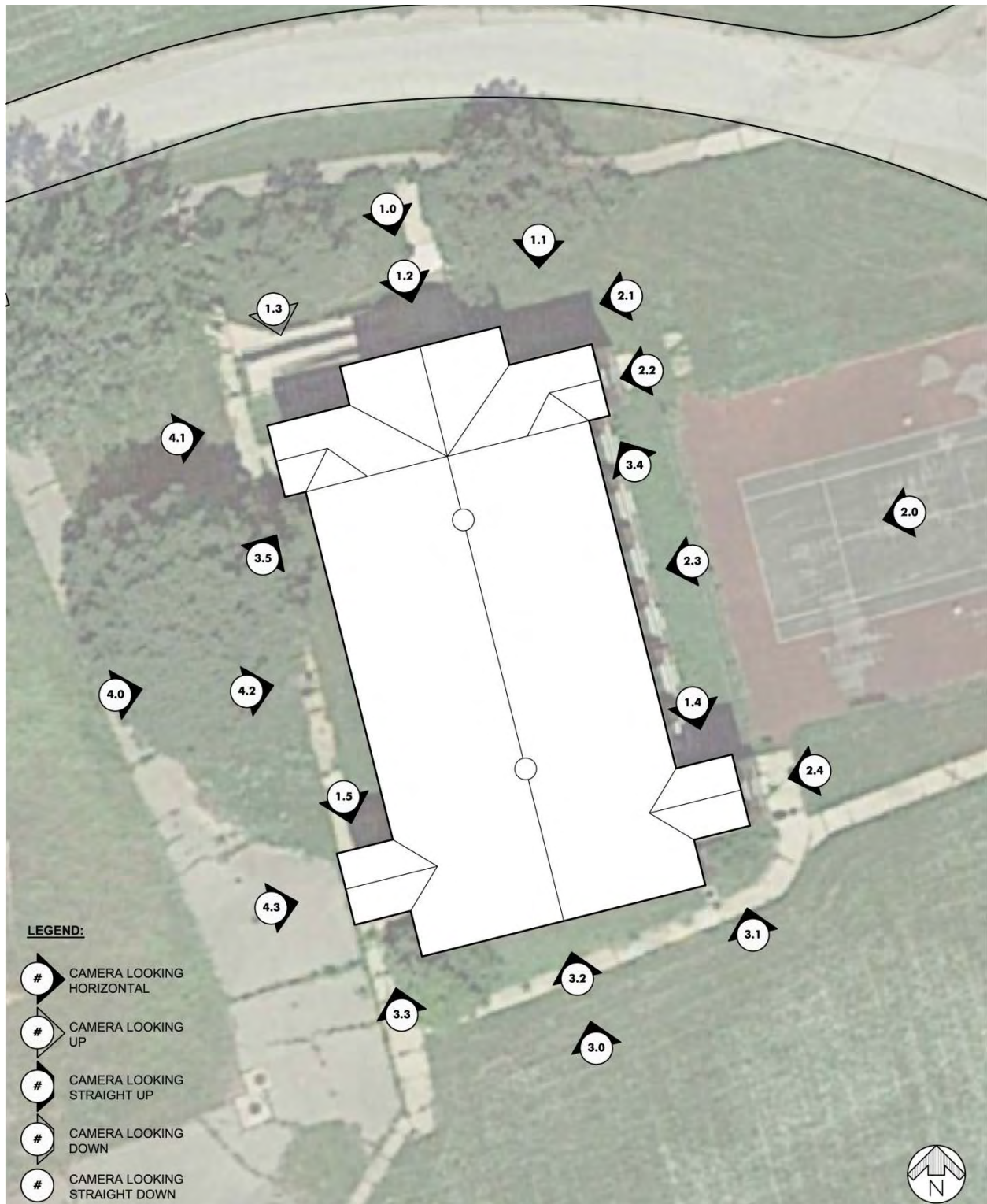


Figure No. 397: Photo No. 1.0 – 4.3 (Elevations)



Figure No. 398: Photo No. 5.0 – 17.1 (Roof, Roof Elements, Rainwater and Ventilators)



Figure No. 399: Photo No. 18.0 – 25.0 (Walls Above Grade and Foundations)



Figure No. 400: Photo No. 26.0 – 31.2 (Windows, Ramp, Stairs, Lights and Signage)

PHOTOGRAPHS KEY PLAN - LANDSCAPE

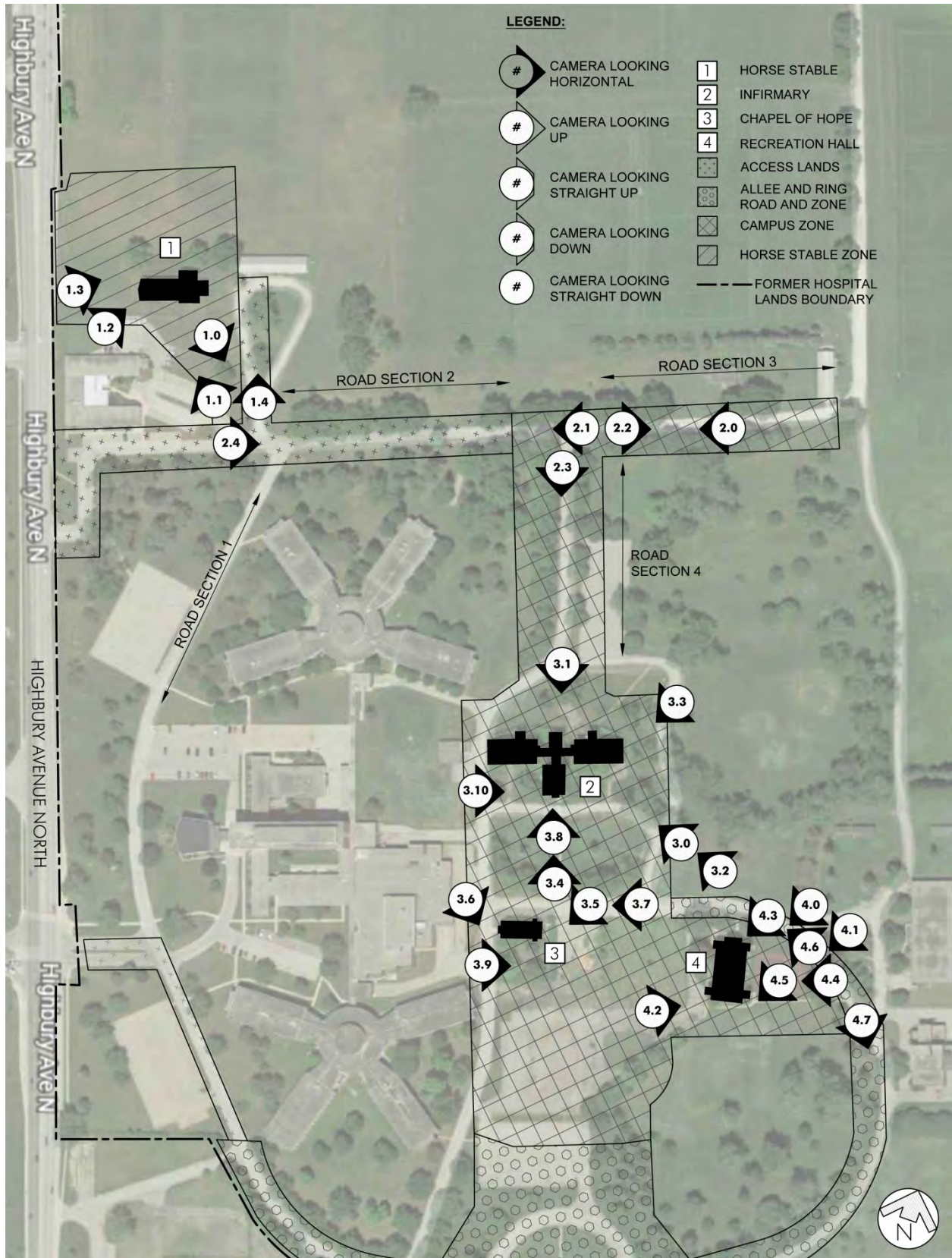


Figure No. 401: Photo No. 1.0 – 4.7

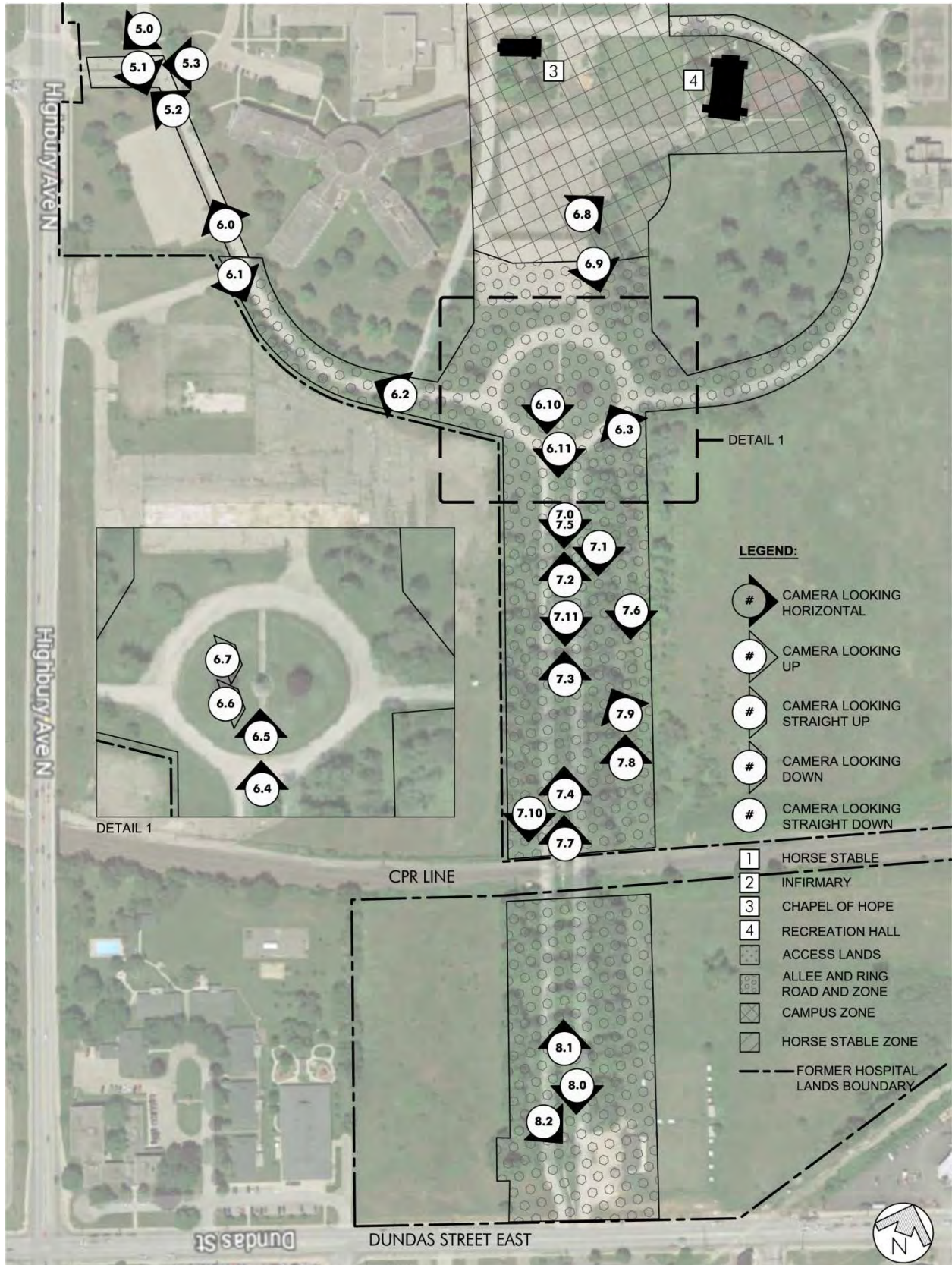


Figure No. 402: Photo No. 5.0 – 8.2

PHOTOGRAPHS

ACKNOWLEDGEMENT OF THE CONTRIBUTORS

Acknowledgement and Condition Statement for the London Psychiatric Hospital Baseline Documentation Report.

We the undersigned do accept and acknowledge this document including the attached plans and photographs as being, to the best of our respective knowledge, an accurate description of the subject property.

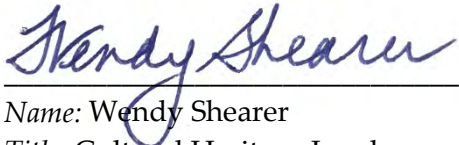
Document and photographs prepared by:



Name: Kelly Gilbride, Stevens Burgess Architects Ltd.
Title: Cultural Heritage Architect

April 13, 2021

Date



Name: Wendy Shearer
Title: Cultural Heritage Landscape Architect

April 13, 2021

Date

Edited and recommended for approved by:

Name: Thomas Wicks, Ontario Heritage Trust
Title: Manager, Acquisitions and Conservation Services

Date

ACKNOWLEDGEMENT OF BASELINE DOCUMENTATION REPORT (BDR) FOR LONDON PSYCHIATRIC HOSPITAL

On January 16, 2019 the Ontario Heritage Trust and Old Oak Properties entered into a Heritage Easement Agreement (North Parcel - Instrument number ER1216058, registered January 16, 2019. South parcel - Instrument number ER1216059, registered January 16, 2019). The purpose of the agreement is to conserve the present historic, architectural and aesthetic character and condition of the building and the property known as London Psychiatric Hospital, London. This document forms the BDR for the property. In addition to the copies of the BDR held by the owner and the Trust, a copy of this report will be deposited at the Ontario Provincial Archives.

We, the undersigned, accept and acknowledge this Baseline Documentation Report, including photographs and written descriptions as being, to the best of our respective knowledge, an accurate physical depiction and description of the London Psychiatric Hospital and the property.

Owner: Old Oak Properties Inc.

Per

Name: Greg Bierbaum
Title: President and CEO, Old Oak Properties

Date

Ontario Heritage Trust:

Per

Name: Thomas Wicks, Ontario Heritage Trust
Title: Manager, Acquisitions and Conservation Services

Date

HERITAGE CONSERVATION EASEMENT AGREEMENTS

(North and South Parcels)

HERITAGE CONSERVATION EASEMENT AGREEMENT

This Agreement made this 16th day of January, 2019,

BETWEEN:

OLD OAK PROPERTIES INC.

(hereinafter called the "Owner")

– and –

ONTARIO HERITAGE TRUST

a body corporate continued by the *Ontario Heritage Act*,
R.S.O. 1990, c.O-18, as amended

(hereinafter called the "Trust")

WHEREAS:

- A. The Owner is the registered owner of certain lands and premises which are more particularly described in Schedule "A1" attached hereto (the "**Property**"), and which form part of a larger parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex.
- B. The Property was formerly owned by the Government of Ontario and was determined to be a provincial heritage property of provincial significance pursuant to an assessment performed in accordance with the Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance set out in Ontario Regulation 10/06.
- C. Under section F.5 of *The Standards and Guidelines for Conservation of Provincial Heritage Properties* (the "**Standards and Guidelines**") which came into effect as of July 1, 2010, the consent of the Minister is required before a provincial heritage property of provincial heritage significance is transferred from provincial ownership or control.
- D. In light of the foregoing, the Minister has granted consent to the transfer of ownership of the Property to the Owner on the condition that the Owner grant a heritage conservation easement interest to the Trust as a first encumbrance on title to the Property, subject to any encumbrances existing prior to the date of this Agreement which affect the Property.
- E. By subsection 10(1)(c) of the *Ontario Heritage Act*, R.S.O. 1990, c.O-18, as amended (herein the "**Act**"), the Trust is entitled to enter into agreements, easements and covenants with owners of real property, or interests therein, for the conservation, preservation and protection of the heritage of Ontario.
- F. By section 22 of the Act, any covenants and easements entered into by the Trust, when registered in the proper land registry office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Trust against the owner or any subsequent owners of the real property, even where the Trust owns no other land which would be accommodated or benefited by such covenants and easements.
- G. The Property is comprised of:
 - a) those lands which are protected by this agreement due to their heritage value and which are more particularly described in Schedule "A1" (the "**Protected Lands**"); and
 - b) those lands which permit the Trust to legally access the Protected Lands from Highbury Avenue North and which are more particularly described in Schedule "A1" (the "**Access Lands**").
- H. The Owner and the Trust recognize the provincial heritage value of the Protected Lands as set out in the Statement of Cultural Heritage Value and Interest attached hereto as Schedule "B1".
- I. The Property was formerly part of a larger area of land (the "**Former Hospital Lands**") associated with the former London Psychiatric Hospital. The Former Hospital Lands are

bisected by an east-west Canadian Pacific Railway line (the "CPR Line"). The approximate location of Former Hospital Lands and the CPR Line are shown on the site plan sketch in Schedule B2 attached hereto. The Former Hospital Lands are more particularly described as [PIN 08106-0147 being Part 1 on Plan 33R-15263 and PIN 08106-0158 being Parts 2 to 12 inclusive on Plan 33R-15263]. This agreement relates solely to that portion of the Former Hospital Lands north of the CPR Line comprised of the Protected Lands and the Access Lands.

- J. The provincial heritage value of the Protected Lands lies in:
- a) the provincially significant cultural heritage landscape on the Protected Lands; and
 - b) the exteriors of four provincially significant heritage buildings on the Protected Lands which buildings are known as the Horse Stable, the Infirmary, the Chapel of Hope and the Recreation Hall (collectively referred to hereafter as the "Buildings").
- K. The approximate location and configuration of the Protected Lands, the Allée and Ring Road Zone, the Campus Zone, the Horse Stable Zone and the Access Lands are shown on the site plan sketch in Schedule "B2" attached hereto, and legally described in Schedule "A1".
- L. The approximate locations on the Protected Lands of the Buildings are shown on the site plan sketch in Schedule "B2" attached hereto.
- M. The cultural heritage landscape features of the Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone (the "Cultural Heritage Landscape Features") that contribute to the provincial heritage value of the Protected Lands are described in Schedule "B3" attached hereto.
- N. The Cultural Heritage Landscape Features in the Allée and Ring Road Zone and Campus Zone include tree-lined allées (the "Allées") which extend north from the Infirmary in the Campus Zone and south from a circular driveway to the CPR Line in the Allée and Ring Road Zone.
- O. The heritage character defining features of the Buildings (the "Heritage Features") on the Protected Lands that contribute to the provincial heritage value of the Protected Lands are described in Schedule "B3" attached hereto.
- P. The Owner and Trust jointly acknowledge that a secondary plan known as the London Psychiatric Hospital Lands Secondary Plan Official Plan Amendment 510 (the "Secondary Plan") was adopted on October 3, 2011 by the City of London for the Former Hospital Lands pursuant to City of London By-Law No. C.P. - 1284 (rp) - 283 passed and that the boundaries of the Protected Lands and the Access Lands are not coincident with the parcels identified on the Secondary Plan.
- Q. The Owner and the Trust have the common purpose of preserving the provincial heritage value of the Protected Lands through the protection and conservation of its Cultural Heritage Landscape Features and the Heritage Features of the Buildings.
- R. To this end, the Owner and the Trust desire to enter into this agreement (the "Agreement").

THE PARTIES AGREE that in consideration of the sum of Two Dollars (\$2.00) of lawful money of Canada now paid by the Trust to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Trust agree to abide by the following covenants, easements and restrictions which shall run with the Property forever.

1.0 PURPOSE

- 1.1 It is the purpose of this Agreement (herein the "Purpose") to ensure that the heritage value of the Protected Lands will be preserved in perpetuity as part of the heritage of Ontario. To achieve this purpose, the Owner and the Trust agree that the Heritage Features will be retained, maintained and conserved by the Owner through the application of recognized heritage conservation principles and practices and that no change shall be made to the Heritage Features that will adversely affect the heritage value of the Protected Lands as set out in the Statement of Cultural Heritage Value and Interest.

1.2 Any reference in this Agreement to the Protected Lands includes the Buildings.

2.0 HERITAGE VALUE

2.1 Statement of Cultural Heritage Value

The Owner and the Trust agree that the Statement of Cultural Heritage Value and Interest explains the provincial heritage value of the Protected Lands and that the Cultural Heritage Landscape Features of the Protected Lands and the Heritage Features of the Buildings comprise the features of the Protected Lands that are to be conserved under this Agreement in order to preserve and protect the heritage value of the Protected Lands.

2.2 Baseline Documentation Report

After the registration of the Agreement the Trust shall complete a report depicting and describing the appearance, condition and construction of the Buildings and their surrounding grounds (including the Heritage Features) through photographs, plans, sketches and/or text (the "**Baseline Documentation Report**"). The Baseline Documentation Report will have the structure and contain the information specified in the baseline documentation report outline attached hereto as Schedule "C". When the Baseline Documentation Report has been completed the Owner agrees to execute an acknowledgment in the Baseline Documentation Report to confirm that it constitutes an accurate depiction and description of the then current appearance, condition and construction of the Buildings and their surrounding grounds (including the Heritage Features). The Baseline Documentation Report will also include a record of existing signs and fixtures on the Property and / or Buildings. When signed by both the Owner and the Trust a completed and signed copy of the Baseline Documentation Report shall be given by the Trust to the Owner, an original signed copy will be filed and may be examined at the head office of the Ontario Heritage Trust and an original signed copy will be filed with the Archives of Ontario. When completed and signed by the parties, the Baseline Documentation Report shall be referred to where applicable in determining the respective responsibilities and duties of the Owner and the Trust under this Agreement.

2.3 No Baseline Documentation Report

If the Baseline Documentation Report has not been approved and signed by the parties as provided for in section 2.2, then the Trust may refuse to consider or grant any approval to be given by the Trust under this Agreement until such time as the Baseline Documentation Report has been approved and signed by both parties.

3.0 CONSERVATION PRINCIPLES AND PRACTICES

3.1 Both the Owner and the Trust in carrying out their respective responsibilities and duties under this Agreement shall, where applicable, be guided by and apply the conservation principles set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010 Edition), as revised from time to time, and other recognized heritage conservation best practices (collectively herein the "**Conservation Principles and Practices**").

3.2 The current Standards for the Conservation of Historic Places in Canada set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* are attached for information purposes only as Schedule "D". Reference to the complete text of the *Standards and Guidelines for the Conservation of Historic Places in Canada* shall be made in applying them.

4.0 DUTIES OF OWNER

4.1 Maintenance of the Buildings and Cultural Heritage Landscape Features

4.1.1 With respect to the Buildings, the Owner shall at all times and, subject to compliance with the requirements of section 4.2, maintain the Buildings in as good and sound a state of repair as a prudent owner would normally do so that no deterioration in the present condition and appearance of the Heritage Features shall take place except for reasonable wear and tear. The Owner's obligation to maintain the Buildings shall require that the Owner undertake such preventative maintenance, repair, stabilization and replacement whenever necessary to preserve the Buildings in substantially the same physical condition and state of repair as that existing on the date of this Agreement and to take all reasonable measures to secure and protect the Buildings from vandalism, fire and damage from inclement weather.

4.1.2 With respect to the Cultural Heritage Landscape Features, the Owner shall maintain the Cultural Heritage Landscape Features of the Allée and Ring Road Zone, the Campus Zone, and the Horse Stable Zone in good condition and appearance and shall not substantially alter those landscape features. Such features include but are not limited to trees, shrubs, lawns, and other plantings, view planes, vehicular lanes, pedestrian footpath and other improvements.

4.1.3 Without limitation of paragraph 4.1.2 as it applies to the Allée and Ring Road Zone and the Campus Zone, and without limitation otherwise of the Owner's obligations under this Agreement, the Owner shall maintain :

(a) the arboreal character of the Allées by planting replacement specimens of the same species as necessary when the existing specimens die, are destroyed by storm, become diseased and/or need to be removed for reasons of good tree husbandry or public safety; and

(b) the open space character of the Allées and the lawn directly south of the Infirmary by regularly mowing the lawns to the boundaries of the Allée and Ring Road Zone and the Campus Zone.

4.2 Alterations

The Owner shall not, without the prior written approval of the Trust, undertake or permit any demolition, construction, reconstruction, renovation, restoration, alteration, remodelling of the Buildings, or any other thing or act which would materially affect the condition, appearance or construction of the Heritage Features. The Owner may, without the prior written approval of the Trust, undertake or permit the repair or refinishing of the Buildings where damage has resulted from casualty, loss, deterioration or wear and tear, provided that such repair or refinishing is not performed in a manner which would materially affect the condition, appearance or construction of the Heritage Features and the Conservation Principles and Practices are applied where applicable.

4.3 Trust Approval Not Required

In the event that a conservation plan for the Protected Lands (hereafter called the "Plan") has been completed and has been jointly approved by the Trust and the Owner, then any and all demolition, construction, reconstruction, renovation, restoration, alterations, and remodelling of the Buildings or the Protected Lands, as described therein, shall be deemed approved by the Trust under sections 4.1, 4.2 and 4.6, subject to the submission of related final drawings and specifications that meet with the written approval of the Trust.

4.4 Emergency Measures

Notwithstanding the provisions of section 4.2, the Owner may undertake such temporary measures in respect of the Buildings as are reasonably necessary to deal with an emergency situation which puts the security or integrity of the Buildings at risk of damage or occupants of the Buildings at risk of harm provided that:

- (a) such measures are in keeping with the purpose of this Agreement;
- (b) such measures are consistent with the conservation of the Heritage Features;
- (c) the requirements of the *Building Code Act, 1992, S.O. 1992, c.23* as amended or re-enacted from time to time are complied with; and
- (d) where time permits, the Trust is consulted before any such measures are undertaken.

In any case, the Owner shall advise the Trust forthwith when it undertakes temporary measures in respect of the Buildings in an emergency situation.

4.5 Signs and Fixtures

The Owner shall not place or affix on the Buildings or the Protected Lands any signs, satellite receiving dishes, or other similar objects and fixtures without the prior written approval of the Trust. Such approval may, in the sole discretion of the Trust and for any reason which the Trust considers necessary, be refused.

4.6 Regulated Activities

With respect to the Protected Lands, except with the prior written approval of the Trust, the Owner shall not:

- (a) grant any easement or right of way;
- (b) sever or subdivide;
- (c) erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever except temporary fencing required during construction;
- (d) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (e) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the Protected Lands, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, or other materials;
- (f) allow the removal, destruction or cutting of trees, shrubs or other vegetation;
- (g) allow the planting of trees, shrubs or other vegetation which would have the effect of (i) reducing the aesthetics of the Buildings or the Protected Lands, or (ii) causing any damage to the Buildings; or
- (h) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control or soil conservation.

4.7 Archaeological Resources

In the event that archaeological resources are uncovered at the Property during the course of any permitted excavations or ground disturbance, the Owner shall immediately cease all activities at the specific location where the discovery has exposed buried structural features and/or artifacts and notify the Trust in writing forthwith. The Trust may require that the Owner, at its cost, retain a licensed consulting archaeologist to investigate and document the finds prior to the Owner continuing or allowing the continuance of any excavation or ground disturbance.

4.8 Human Remains

In the event that human remains are uncovered at the Protected Lands during excavations or ground disturbances, in addition to any other parties or authorities that the Owner is legally required to contact, the Owner shall also notify the Trust immediately and cease all activities at the specific location(s) where human remains have been discovered.

5.0 **OWNER'S RESERVED RIGHTS**

- 5.1 The Owner expressly reserves for itself the right to use the Protected Lands and carry out such activities as are not inconsistent with the Purpose of this Agreement and which do not materially adversely affect, directly or indirectly, the Heritage Features.

6.0 **APPROVALS**

6.1 Information to be provided

In requesting any approval under this Agreement the Owner shall at its expense provide to the Trust such information in such detail as the Trust may reasonably require in order to consider and assess the Owner's request (the "**Information**") including without limitation the following:

- 1. plans, specifications describing the elevations, other drawings, sections and designs for any proposed work;
- 2. materials samples;
- 3. a work schedule;

4. the report of a qualified conservation engineer, architect, landscape architect, archaeologist, conservator or consultant; and
5. such other reports, studies or tests as may in the circumstances be reasonably required for the Trust to appropriately assess the impact of the proposed work on the Heritage Features.

6.2 Matters to be Considered

Where any request for approval required under this Agreement is submitted to the Trust, the determination of the Trust may be based upon choice of materials, architectural design, historical authenticity, or any other grounds, not limited to purely aesthetic or historical grounds, but the Trust's approval shall not be unreasonably withheld, unless otherwise specifically provided for in this Agreement. In considering any request for approval the Trust shall be guided by and apply the Conservation Principles and Practices. In giving its approval, the Trust may specify such conditions of approval as the Trust considers necessary or appropriate in the circumstances to ensure the conservation of the Heritage Features.

6.3 Deemed Approval

Provided that the Owner has first complied with the requirements of section 6.1 to the satisfaction of the Trust, any approval required to be obtained from the Trust under this Agreement shall be deemed to have been given upon the failure of the Trust to respond in writing to a written request for it within sixty (60) days of receiving such request and all of the information requested by the Trust at its address as set out in section 11.1 of this Agreement.

6.4 Conditions of Approval

If the approval of the Trust is given or deemed to have been given under this Agreement the Owner, in undertaking or permitting the construction, alteration, remodelling, or other thing or act so approved of or deemed to be approved of, shall comply with all of the conditions of approval specified by the Trust in its approval including the use of materials and methods specified by the Trust in its approval.

6.5 Where Owner in Default

In the event that the Owner is in default of any of its obligations under this Agreement and, pursuant to section 10.1, the Trust has notified the Owner of such default, then the Trust may refuse to consider any request for approval submitted by the Owner whether requested before or after such notice of default has been given to the Owner and the deemed approval provisions of section 6.3 shall not apply so long as the Owner is in default.

6.6 Effect of Approval

Any approval given by the Trust under this Agreement shall have application only to the requirements of this Agreement and does not relieve the Owner from obtaining any approvals, permits or consents of any authority whether federal, provincial, municipal or otherwise that may be required by any statute, regulation, by-law, guideline or policy or by any other agreement.

7.0 **INDEMNITY AND INSURANCE**

7.1 Indemnity

The Owner shall hold the Trust and its employees, officers, agents, contractors and representatives harmless against and from any and all liabilities, suits, actions, proceedings, claims, causes, damages, judgments or costs whatsoever (including all costs of defending such claims) arising out of, incidental to, or in connection with any injury or damage to person or property of every nature and kind (including death resulting therefrom), occasioned by any act or omission of the Owner related to this Agreement, save and except for any such liabilities and claims for or in respect of any act, deed, matter or thing made or done by the Trust and its employees, officers, agents, contractors and representatives pursuant to sections 8.4, 9.1 and 10.2 of this Agreement.

7.2 Insurance

- 7.2.1 The Owner agrees to put in effect and maintain or cause to be put in effect and maintained, at all times, with insurers acceptable to the Trust, the following insurance (collectively the "Insurance"):

- (a) Commercial General Liability ("CGL") coverage of an inclusive limit of not less than Five Million Dollars (\$5,000,000) per occurrence for Property Damage, Third-Party Bodily Injury and Personal Injury with the Trust being an additional insured and including the following policy endorsements: Cross-Liability and 30 day notice of cancellation;
- (b) Property insurance to a limit commensurate to the full replacement cost value of the Buildings on an "All Risks" basis and including the following policy endorsements: Replacement Cost Value, Stated Amount Co-Insurance, the Trust as an additional insured and thirty (30) days written notice of cancellation; and

The Owner shall deliver to the Trust upon the execution of this Agreement a certificate or certificates of the Insurance in a form and with limits satisfactory to the Trust, and thereafter evidence satisfactory to the Trust of the renewal of the Insurance shall be delivered to the Trust at least fifteen (15) clear days before the termination thereof.

- 7.2.2 If the Owner fails to obtain the Insurance or if the Insurance is cancelled, the Trust may effect such Insurance and the premium and any other amount paid in so doing shall forthwith be paid by the Owner to the Trust, or if not, shall be a debt owing to the Trust and recoverable from the Owner by action in a court of law.
- 7.2.3 All proceeds receivable by the Owner under the Insurance shall, on the written demand and in accordance with the requirements of the Trust, be applied to replacement, rebuilding, restoration or repair of the Buildings to the fullest extent possible having regard to the particular nature of the Buildings and the cost of such work. The Owner's financial liability to replace, rebuild, restore or repair the Buildings if it has been damaged or destroyed shall not exceed the proceeds receivable by the Owner under the Insurance. In the event that the Insurance proceeds receivable by the Owner are insufficient to effect a partial or complete restoration of the Buildings, the Trust shall have the privilege, but not the obligation, of contributing additional monies towards the replacement, rebuilding, restoration, or repair costs in order to effect a partial or complete restoration of the Heritage Features.
- 7.2.4 The amount of Insurance coverage specified in clause 7.2.1(a) that the Owner is required to put in effect may be increased by the Trust from time to time on written notice to the Owner to such amount that is prudent in the circumstances taking into account inflation, changes in the risks associated with the Protected Lands and industry practice.

8.0 BUILDING DEMOLITION OR REBUILDING

8.1 Notice of Damage or Destruction

In the event of any significant damage to or destruction of the Buildings the Owner shall notify the Trust in writing of such damage or destruction to the Buildings within ten (10) clear days of such damage or destruction occurring.

8.2 Approval to Demolish

If in the opinion of the Owner the replacement, rebuilding, restoration or repair of the Buildings which has been damaged or destroyed is impractical because of the financial costs involved or because of the particular nature of the Buildings, the Owner shall, in writing within forty (40) days of giving the Trust notice under section 8.1, request the Trust's approval to demolish the Buildings. In the event that the Trust approves or is deemed to approve the demolition of the Buildings, the Owner shall be entitled to retain any insurance proceeds payable to it as a result of the damage to or destruction of the Buildings and to demolish the Buildings.

8.3 Rebuilding by Owner

In the event that either the Owner does not request or the Trust does not give the approval referred to in section 8.2, the Owner shall replace, rebuild, restore or repair the Buildings to the limit of any proceeds receivable under the aforementioned insurance policy or policies on the Buildings and of any additional monies contributed by the Trust towards the replacement, rebuilding, restoration or repair of the Buildings to effect a partial or complete restoration of the Heritage Features (In this section 8.0, the "Work"). Before the commencement of the Work, the Owner shall submit all plans, designs and specifications for the Work for its written approval within one hundred and thirty-five (135) days of the damage or destruction occurring to the Buildings. The Owner shall not commence or cause the Work to be commenced before receiving the written approval of the Trust of the plans, designs and specifications for the Work and the Work shall be performed in accordance with the approved plans, designs and specifications and upon such terms and conditions as the Trust may

stipulate. The Owner shall cause the Work to be commenced within thirty (30) days of its approval by the Trust and to be completed within nine (9) months of commencement, or as soon as possible thereafter if factors beyond its control or the scope of the Work prevent completion within nine (9) months.

8.4 Reconstruction by Trust

- 8.4.1 In the event that the Owner does not submit a request to demolish the Buildings or the request to demolish is refused by the Trust and the Owner subsequently fails to submit plans, drawings and specifications for the Work within the period stipulated in section 8.3 which are acceptable to the Trust then the Trust may at its option prepare its own plans, drawings and specifications for the Work (herein the “Trust’s Plans”) and shall deliver a set of the Trust’s Plans to the Owner. The Owner shall have thirty (30) days from receiving the Trust’s Plans to notify the Trust in writing that it intends to undertake the Work in accordance with Trust’s Plans. If the Owner does not so notify the Trust within the said thirty (30) days, the Trust may (but shall not be obligated to) undertake the Work up to the value of any insurance proceeds receivable by the Owner in respect of the Buildings and of any additional amount that the Trust is prepared to contribute to effect a partial or complete restoration of the Heritage Features. The Owner shall reimburse the Trust for any expenses incurred by the Trust in undertaking the Work, including any professional or consulting costs reasonably incurred in connection with the Work to an amount not to exceed any insurance proceeds receivable by the Owner in respect of the damage to or destruction of the Buildings.
- 8.4.2 The Owner grants to the Trust the right and licence to enter and occupy the Property and the Buildings or such part or parts thereof that the Trust acting reasonably considers necessary or convenient for the Trust and its forces to undertake and complete the Work (herein the “Licence”). The Licence shall be exercisable by the Trust on the commencement of any Work undertaken by the Trust and shall terminate when such Work has been completed.
- 8.4.3 In the event that the Trust does not submit to the Owner the Trust’s Plans or does not proceed with the Work within sixty (60) days after it becomes so entitled, except where it is prevented from so doing by any act or omission of the Owner or any tenant or agent of the Owner, or by any other factors beyond its control, the Trust’s right to undertake the Work shall automatically terminate and the Owner shall be entitled to retain any insurance proceeds in respect of the damage to or destruction of the Buildings.

9.0 **INSPECTION, ACCESS LANDS AND PUBLIC VIEWING**

9.1 Inspection and Right of Way

The Trust or its representatives shall be permitted at all reasonable times during normal business hours to enter upon and inspect the Protected Lands and the Buildings, upon giving at least forty-eight (48) hours prior written notice to the Owner.

- 9.1.1 The Owner hereby grants to the Trust, its employees, agents, service providers, contractors and invitees, a right, interest and easement upon, over, across and along the Access Lands (the “Right of Way”) for the purpose of providing the Trust with a means of ingress and egress to and from the Protected Lands, including providing the Trust with pedestrian and vehicular access (along with all necessary equipment and materials) from Highbury Avenue North directly to the Horse Stable Zone and the Campus Zone and directly to Allée and Ring Road Zone, so as to enable the Trust to exercise its rights under this Agreement including: (i) conducting inspections pursuant paragraph 9.1; and (ii) exercising its remedial rights under sections 8.4, 10.1 and 10.2 of this Agreement, such right, interest and easement to continue in force until such time as the City of London assumes and opens a public road system on the Former Hospital Lands that provides the Trust with legal public vehicular and pedestrian access over dedicated public highways from Highbury Avenue North directly to the Horse Stable Zone and the Campus Zone and directly to the Allée and Ring Road Zone.
- 9.1.2 Upon the assumption and opening by the City of London of a public road system on the Former Hospital Lands which provides the Trust, its employees, agents, service providers, contractors and invitees, with legal public vehicular and pedestrian access (along with all necessary equipment and materials) over dedicated public highways directly to the Horse Stable Zone and the Campus Zone and directly to Allée and Ring Road Zone from Highbury Avenue North, the right, interest and easement granted in favour of the Trust by the Owner over the Access Lands under paragraph 9.1.1 shall expire and be extinguished. Any expiry of the Right of Way pursuant to this section 9.1.2 shall not affect or derogate from any other terms and conditions of this Agreement, save the Right of Way granted under section 9.1.1, and all other covenants, easements and restrictions granted herein shall remain in full force and effect in accordance with the terms and conditions of this Agreement.

9.2 Public Viewing

- 9.2.1 The Owner shall ensure that reasonable public access is available to the Protected Lands and the Buildings on a regular basis during normal business hours to permit public appreciation and interpretation of the Heritage Features and the Cultural Heritage Landscape Features, subject to such reasonable restrictions on public access to the interior of the Buildings as the Owner may require for business, privacy or security reasons.
- 9.2.2 The Owner shall, in addition to the requirements of subsection 9.2.1, at the request of the Trust, arrange for the Protected Lands and the Buildings, to be accessible for special event public viewing on at least two (2) occasions during each calendar year and that reasonable prior notice of such special event public viewing be given to the Trust.

10.0 REMEDIES OF TRUST

10.1 Notice of Default

If the Trust, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of its duties or obligations set out in this Agreement, the Trust may, in addition to any of its other legal or equitable remedies, give the Owner written notice setting out particulars of the Owner's default and the actions required to remedy the default. The Owner shall have thirty (30) days from receipt of such notice to remedy the default in the manner specified by the Trust or to make other arrangements satisfactory to the Trust for remedying the default within such period of time as the Trust may specify.

10.2 Trust May Rectify Default

If the Owner has not remedied the default or made other arrangements satisfactory to the Trust for remedying the default within the time specified in section 10.1, or if the Owner does not carry out the arrangements to remedy the default within the period of time specified by the Trust, the Trust may enter upon the Access Lands and Protected Lands and may carry out the Owner's obligations and the Owner shall reimburse the Trust for any expenses incurred thereby. Such expenses incurred by the Trust shall, until paid to it by the Owner, be a debt owed by the Owner to the Trust and recoverable by the Trust by action in a court of law. The provisions of subsection 8.4.2 shall apply with all necessary changes required by the context to any entry by the Trust onto the Property to remedy the default.

10.3 Other Remedies

As damages based upon market value may not be adequate or effective to compensate for destruction of or restoration of the Heritage Features or the Cultural Heritage Landscape Features as they existed prior to default or breach of the Agreement, the parties agree that:

- (a) compensation to the Trust in the event of the Owner's default under this Agreement may be based upon market value, restoration or replacement costs whichever, in the opinion of the court, shall better compensate the Trust in the circumstances; and
- (b) in addition and without limiting the scope of the other enforcement rights available to the Trust under this Agreement, the Trust may bring an action or an application for injunctive relief to prohibit or prevent the Owner's default or the continuance of the Owner's default under this Agreement.

11.0 NOTICE

- 11.1 Any notices to be given or required under this Agreement shall be in writing and sent by personal delivery, facsimile transmission ("Fax"), or by ordinary prepaid mail to the following addresses:

To the Owner:

Old Oak Properties Inc.
Suite 600, 465 Richmond Street
London, ON N6A 5PA
Attention: Gregory C. Bierbaum, President
Fax: 519-439 6572

To the Trust:

Ontario Heritage Trust
10 Adelaide Street East
Toronto ON M5C 1J3
Attention: Easements Program
Fax: 416-325-5071

The parties may designate in writing to each other a change of address at any time. Notice by mail shall be deemed to have been received on the fourth (4th) business day after the date

of mailing, and notice by personal delivery or Fax shall be deemed to have been received at the time of the delivery or transmission. In the event of an interruption in postal service, notice shall be given by personal delivery or Fax.

12.0 PLAQUE AND PUBLICITY

- 12.1 The Owner agrees to allow the Trust, at its expense, to erect a plaque on the Buildings or the Protected Lands, in a tasteful manner and in such location as the Trust and the Owner may mutually determine, acting reasonably, indicating that the Trust holds a heritage conservation agreement on the Protected Lands. The Owner also agrees to allow the Trust to publicize the existence of the Agreement and the Heritage Features in its publications, educational materials, website and research databases.

13.0 GENERAL

13.1 Waiver

The failure of the Trust at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Trust of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Any waiver must be in writing and signed by the Trust.

13.2 Extension of Time

Time shall be of the essence of this Agreement. Any time limits specified in this Agreement may be extended with the consent in writing of the Trust, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Agreement notwithstanding any extension of any time limit. Any extension must be in writing and signed by the Trust.

13.3 Severability of Covenants

All covenants, easements and restrictions contained in this Agreement shall be severable, and should any covenant, easement or restriction in this Agreement be declared invalid or unenforceable, the validity and enforceability of the remaining covenants, easements and restrictions shall not be affected.

13.4 Costs

In the event that a dispute arises between the parties hereto because of this Agreement, each party shall be responsible for its own legal fees, court costs and all other similar expenses that may result from any such dispute except where costs are awarded by a court or a tribunal.

13.5 Entirety

This Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal, collateral or otherwise, exist between the parties except as herein expressly set out.

13.6 Subsequent Instruments

Notice of this Agreement shall be inserted by the Owner in any subsequent deed, lease or other legal instrument by which it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property, the Protected Lands or the Buildings provided that such notice shall not be required where the Owner, in leasing and licensing premises in the Buildings, retains responsibility for the alteration of any Heritage Features forming part of the licensed or leased premises and the tenant or licensee has no authority to alter such Heritage Features.

13.7 Notification of Transfer of Title or Possession

The Owner shall immediately notify the Trust in the event that it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property, the Protected Lands or the Buildings, provided that such notice shall not be required where the Owner, in leasing and licensing premises in the Buildings, retains responsibility for the alteration of any Heritage Features forming part of the licensed or leased premises, and the tenant or licensee has no authority to alter such Heritage Features.

13.8 Agreement to Run with the Property

This Agreement shall be registered on title to the Property and the covenants, easements and restrictions set out herein shall run with the Property and enure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, personal representatives, successors and assigns, as the case may be. In order to effect the registration the Trust may, at its option:

- (a) authorize and direct the Owner to register this Agreement against title to the Property, as a first encumbrance in accordance with section 13.9 of this Agreement; or
- (b) register this Agreement against title to the Property, as a first encumbrance, in which event registration of this Agreement shall be at the Trust's expense, and section 13.9 of this Agreement shall continue to apply with respect to priority and postponement.

If the Trust authorizes and directs the Owner to register the Agreement against title to the Property in accordance with subsection 13.8(a) above, the Owner shall forthwith upon such registration provide the Trust with a copy of the registered instrument and a copy of the parcel register for the Property showing registration of the Agreement as a first encumbrance on title to the Property subject only to any Permitted Encumbrances in accordance with section 13.9.

13.9 Priority and Postponement

The Owner shall, at its expense, obtain and register any postponement agreements or other similar agreements that the Trust may require to ensure that this Agreement shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Protected Lands, save and except for and subject to any encumbrances which affect the Property and are set out in Schedule "A2" of this Agreement as permitted encumbrances (the "**Permitted Encumbrances**"). For greater certainty, the Owner shall not be required to obtain or register any postponement agreements or other similar agreements in respect of any Permitted Encumbrances.

13.10 Assignment

The Trust may assign all of its interest in this Agreement to any person in accordance with section 22(3) of the Act. The Trust shall not be liable to the Owner for any breach or default in the obligations owed to the Owner under this Agreement committed after notice of the assignment of this Agreement has been given to the Owner.

13.11 Owner Not Liable

No person who is an Owner shall be liable to the Trust for any breach of or default in the obligations of the Owner owed to the Trust under this Agreement committed after the registration of a transfer by such person of that person's entire interest in the Property to another person, provided that the Owner has delivered to the Trust notice of such transfer and an acknowledgement and assumption executed by the new registered owner, acknowledging the priority of this Agreement and the interest of the Trust, and assuming the obligations of the Owner under this Agreement.

13.12 Gender, Number and Joint and Several

Words importing the masculine gender include the feminine or neutral gender and words in the singular include the plural, and *vice versa*. Whenever the Owner comprises more than one person, the Owner's obligations in this Agreement shall be joint and several.

13.13 Circumstances Beyond the Control of Either Party

Neither party will be responsible for damage caused by delay or failure to perform under the terms of this Agreement resulting from matters beyond the control of the Trust and the Owner including strike, lockout or any other action arising from a labour dispute, fire, flood, act of God, war, riot or other civil insurrection, lawful act of public authority, or delay or default caused by a common carrier which cannot be reasonably foreseen or provided against.

13.14 Headings

The headings in the body of this Agreement form no part of the Agreement but are inserted for convenience of reference.


13.15 Counterparts

This Agreement may be executed by the parties in one or more counterparts, each of which shall be deemed to be an original and all of which taken together shall be deemed to constitute one and the same instrument. Each of the parties hereto agree that this Agreement may be delivered, once executed, by facsimile transmission (and the executed version of this Agreement delivered by facsimile transmission shall have the same force and effect as if it were originally executed and personally delivered) and that a photocopy of a facsimile copy of the Agreement may be relied upon by all parties that have signed the Agreement to the same extent as if it were an original executed version addressed specifically to each of them. Notwithstanding the foregoing, at the request of a party, the parties shall exchange originally signed copies of this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement effective as of the date first written above.


ONTARIO HERITAGE TRUST

Per: 
Beth Hanna – Chief Executive Officer

Per: 
Wayne Kelly – A/Director, Heritage Programs and Operations

We have authority to bind the Trust.

OLD OAK PROPERTIES INC.

Per: 
Gregory C. Bierbaum, President:

I have authority to bind the Corporation.

SCHEDULE "A1"

LEGAL DESCRIPTION OF THE PROPERTY

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
2, 4, 5, 7, 9, 10, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 24, 28, 30, 34, 35, 36, 38, 39 and 40
Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE PROTECTED LANDS

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
2, 4, 5, 7, 9, 10, 12, 13, 14, 17, 18, 19, 20, 21, 22, 23, 24, 34, 36, 38, 39 and 40
Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE ACCESS LANDS

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
28, 30, and 35, Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE ALLÉE AND RING ROAD ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
2, 4, 5, 9, 10, 18, 19, 20, 21, 22, 23, and 24,
Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE CAMPUS ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
7, 12, 13, 14, 17, and 40, Plan 33R-20053, City of London, County of Middlesex

LEGAL DESCRIPTION OF THE HORSE STABLE ZONE

Part of PIN 08106-0158 (LT), being Part of Lot 8, Concession 1,
Geographic Township of London, designated as Parts
34, 36, 38, and 39, Plan 33R-20053, City of London, County of Middlesex

SCHEDULE "A2"
PERMITTED ENCUMBRANCES

1. Instrument No. ER85796 registered November 27, 2000 - Bylaw No. LSP-3321-208 of the Corporation of the City of London to designate the property municipally known as 850 Highbury Avenue and more particularly described in Schedule A thereof, pursuant to the Ontario Heritage Act, as being real property of historical and architectural value or interest.
2. Instrument No. 644506 registered July 25, 1983 - Agreement for Right-of-Way between Her Majesty the Queen in right of Ontario as represented by the Minister of Government Service ("MGS"), as grantor, and Union Gas Limited, as grantee, over lands described as Parts 3, 4, 9, 10, 11, 12, 15, 17, 20, 23 and 26 on Plan 33R-20053, for purposes of constructing and maintaining a gas transmission pipeline.
3. Instrument No. 623868 registered October 1, 1982 - Agreement for Right-of-Way between MGS, as grantor, and Union Gas Limited, as grantee, over lands described as Part 32, 36 and 37 on Plan 33R-20053, for the purposes of constructing and maintaining a gas transmission pipeline.
4. Instrument No. 526153 - Order in Council # PC 1978-3/2759 dated August 30, 1978, transferring control of lands described as Parts 19, 20, 21 and 28 on Plan 33R-20053, from Her Majesty in right of the Province of Ontario to Her Majesty in right of Canada for the purposes of road access for pedestrian and light vehicle traffic only.

SCHEDULE "B1"

STATEMENT OF CULTURAL HERITAGE VALUE AND INTEREST

DESCRIPTION OF HISTORIC PLACE:

The former London Psychiatric Hospital is located at 850 Highbury Avenue North on a 26.3-hectare (65-acre) parcel of land in the City of London. The rectangular-shaped property is bounded by Highbury Avenue North, Oxford Street East, Dundas Street East and a Canadian Pacific Railway spur line. The Former Hospital Lands contain a complex of 23 buildings and a number of landscape features. Four of the buildings have been identified as having provincial heritage value: the Chapel of Hope (1884), Horse Stable (1894), Infirmary (1902), and the Recreation Hall (ca.1920). A number of landscape features have been identified as having provincial heritage value. These include remnants of a ring road and a circular drive, open space, remnants of an ornamental landscape containing mature plantings of black walnut trees and the grand, tree-lined Allée. The facility opened in 1871 as the London Asylum for the Insane and operated under a number of names over the course of its history including the Ontario Hospital London, London Psychiatric Hospital and Regional Mental Health Care Centre.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients¹ lived and received treatment. The rural location of the London Psychiatric Hospital was part of "moral therapy," an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time that the Infirmary Building was constructed as part of Superintendent R.M. Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a standalone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope,

¹ The accepted term for a recipient of mental health services is "client". For the purposes of this report, which is a discussion of the history of the site, patient will be used unless discussing present-day client care.

Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynaecological surgeries on women for treatment of mental illness.

BACKGROUND:

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new institution partially due to the influence of John Carling – Ontario's first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

Religion was an important part of moral therapy treatment and the new chapel was constructed by patient labour as part of their treatment plan. The Chapel was built in 1884 at the behest of Dr. Bucke who petitioned the provincial government to fund its construction. Regular church services were part of treatment at the London Asylum with religious services held in the general recreation facilities prior to the Chapel's construction. The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone Chapel.

The Infirmary or Exam Building, completed in 1902 was intended to house patients who needed more enhanced medical care and offered dormitories and individual rooms for patients and common rooms and sunrooms. Superintendent Bucke toured similar facilities in the United States and helped design the building plan with provincial architect Francis R. Heakes. In 1908 the building was converted to use as a reception hospital to house new and short-term patients. These short-term patients might stay for a few months to a few years, and had access to advanced treatments such as showers, massages and continuous baths.

Following the First World War, a large number of Canadian veterans were admitted to London Psychiatric Hospital suffering from psychological effects of the war. They were treated for "shell-shock" for which symptoms are now associated with post-traumatic stress disorder. Overcrowding was an issue at the London Psychiatric Hospital and by 1924 it accommodated almost 1200 patients. Maintaining a peaceful and idyllic setting for patients was difficult for the superintendents due to the overcrowding. Many common and sun rooms were used as wards to accommodate patients instead of places of rest and relaxation. R.M Bucke is the most well-known and controversial superintendent at the London Psychiatric Hospital for his encouragement and use of gynecological surgeries on women. Some argue the surgeries were an attempt by Bucke to find a successful treatment for his patients – but there seems to be little merit of such surgeries on mentally ill women. Upon his death, the use of gynecological surgery came to an end at London Psychiatric Hospital. The London Psychiatric Hospital is also associated with eight superintendents who were the chief administrators and medical directors of the London Psychiatric Hospital from 1870-1970. They had an array of responsibilities including supervising staff, medical services, training nurses, therapies, property and facilities maintenance and medical study of all patients.

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Architectural Value:

Chapel of Hope

The Chapel of Hope was built in 1884 by patient labour under instruction by Superintendent Bucke. It is a 1 ½ storey buff-brick structure in the Gothic Revival style and features two chimney's at the east and west elevation. The gable roof is interrupted with four dormers on the north and south elevations with trefoil shaped windows. The side walls feature seven gothic-arched stained glass windows separated by buttresses. The stained glass window over the alter features a combination of religious and London Psychiatric Hospital images.

Horse Stable

The Horse Stable was built in 1894 under the direction of Superintendent Bucke and the scale and quality of materials shows the importance of agriculture to the self-sufficiency and practice of moral therapy at London Psychiatric Hospital. It is a large two-storey buff brick building. There are two intersecting gable roof sections and five ventilators along the apex to provide ventilation and give the building a distinct silhouette. The segmental arched window openings (bricked over) have brick voussoirs and most have stone sills. The eaves have tongue and groove soffits. A large second storey board and batten door provides access to the hay loft on the building's west elevation.

The Infirmary

The Infirmary is an imposing building with a combination of architectural styles popular in the Victorian-era including Beaux-arts Classicism, Edwardian Classicism and Colonial Revival. The Infirmary is constructed of local buff brick with a central administration block with two recessed symmetrical wards on either side (one for men and one for women). The three-storey central block sits on a raised basement. It has a hipped roof with a central skylight to the operating theatre and tall distinctive chimneys. The main front entrance is topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and a dentilated cornice. The symmetrical wards are connected to the central block by a narrow corridor. The wards feature Colonial Revival influence seen in the projecting central bay with a pediment and coins, ventilators, dormer windows and dentilated cornice. The sun porches at the end of each wing were originally in the shape of a trapezoid. The current ones are rectangular and date from 1945. The rear (north) elevation of the Infirmary is simplified with projecting bays, dormer windows and tall chimneys. All of the window openings are flat-arched and many of the double-hung wood-sash windows survive. The exception is a singular rounded-arch window on both ward façades above an off-centered entrance door.

Recreation Hall

The Recreation Hall was constructed in 1920 and is located directly east of the Chapel of Hope. It was constructed in a Classical Revival style of reddish-brown brick laid in common bond. It features a symmetrical façade frontispiece – a central block and two flanking wings. The central block features a pediment with an oculus window, a central rectangular shaped tripartite window flanked with 6-paned window. The flanking wings feature a rounded-arched window. The brickwork that surrounds the windows is dark brown and extends well beyond the base of the window. Each of the six multi-paned rectangular wood windows are divided into three parts on the side-walls and set within a shallow rounded-arched niche. The austere rear elevation features coining and a singular rounded-arched window in the gable.

Contextual Value:

The London Psychiatric Hospital is deliberately setback from the main street to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan. The historic main entrance to the Former Hospital Lands is off Dundas Street East where the Allée leads visitors from the street and into the complex of institutional buildings. The Former Hospital Lands were originally surrounded by a rural farming landscape. They are now bordered by three extremely busy thoroughfares (Highbury Avenue North, Oxford Street East and Dundas Street East) and the surrounding neighbourhood has evolved to become the home to several business and industries along Highbury Avenue North and Dundas Street East and a residential subdivision to the east.

Archaeological Value:

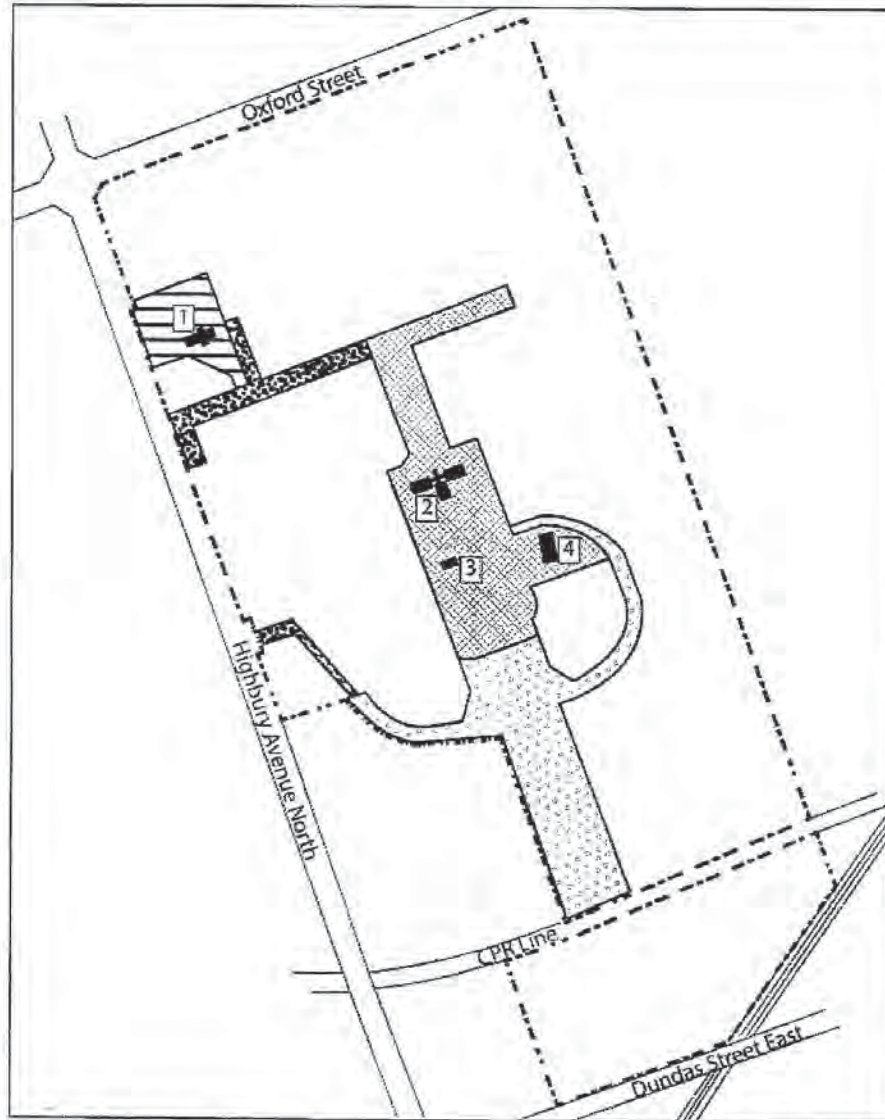
The London Psychiatric Hospital has archaeological value due to the below ground resources associated with the evolution mental health care. The main building, airing yard, portions of the root house represent the era in the 19th century when use of the Kirkbride Plan and self-sufficiency was the norm at these large-scale government run mental health institutions.

:SF August 23 2017

SCHEDULE "B2"

SITE SKETCH SHOWING





- A. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE PROTECTED LANDS AND THE ACCESS LANDS ON THE FORMER HOSPITAL LANDS
- B. THE APPROXIMATE LOCATION AND CONFIGURATION OF THE ALLÉE AND RING ROAD ZONE ON THE PROTECTED LANDS
- C. THE APPROXIMATE LOCATION OF BUILDINGS ON THE PROTECTED LANDS



SKETCH NOT TO SCALE

SKETCH NOT A PLAN OF SURVEY

LEGEND

- | | |
|--|----------------------|
|  Access Lands | |
|  Allée and Ring Road and Zone | 1. Horse Stable |
|  Campus Zone | 2. Infirmary |
|  Horse Stable Zone | 3. Chapel of Hope |
| | 4. Recreational Hall |

- - - Boundaries of the Former Hospital Lands

SCHEDULE "B3"

DESCRIPTION OF THE HERITAGE FEATURES

The Heritage Features referred to in this Agreement are comprised of the exteriors of the Buildings on the Protected Lands which include, but are not limited to, the following highlighted elements which contribute to their heritage value:

The Horse Stable:

- General massing and two intersecting gable roof sections
- "T"-shaped footprint
- Local buff brick (also called white brick)
- Five roof ventilators
- Brick chimney (east elevation)
- Location of existing segmental-arched window and door openings
- Brick voussoirs and stone sills above and below window openings
- Board and batten upper access doors to hay loft (west elevation)

Chapel of Hope:

- Local buff brick construction
- Gable roof topped with a finial
- Double-lancet stained glass windows
- Large stained glass window above the altar depicting religious imagery and scenes from the London Psychiatric Hospital
- Bull's eye window with quatrefoil muntin in the gable end
- Seven bay side walls with buttresses
- Trefoil dormers
- Chimneys

The Infirmary:

- Local buff brick construction
- Symmetrical composition - tall three-storey central administration block on a raised basement centre block flanked by two identical wards with rectangular wood verandahs
- Main front entrance topped with a pediment supported by pilasters, a large rounded arched window and two smaller rounded-arched windows and dentilated cornice
- Tall chimneys and skylights atop the hipped roof of the central block
- Dentilated cornice around the entire building
- Double-hung wood-sash windows
- Flat arch buff-brick lintels and stone sills
- Louvered ventilators atop the flanking wards
- Pediments, dormer and Bull's eye windows of the wards
- The single rounded-arched window of the wards façade
- Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards
- The simplified rear (north) elevation with projecting bays, dormers and chimneys
- Sun porches at the end of each ward

Recreation Hall:

- Reddish-brown brick construction
- Symmetrical façade frontispiece – a central block and two flanking wings.
- Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with 6-paned window
- Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window.
- Side walls with six multi-paned rectangular wood windows divided into three parts and set within a shallow rounded-arched niche
- Raised basement with multi-paned windows
- Projecting bays on the side wall with a pediment, quoins, entrance door and six-over-six wood-sash windows
- Rear elevation features quoins and a rounded-arched window in the gable

SCHEDULE "B3" (continued)

DESCRIPTION OF CULTURAL HERITAGE LANDSCAPE FEATURES

The provincially significant cultural heritage landscape on the Protected Lands is composed of three zones:

1. **The Allée and Ring Road Zone:** This zone contains the grand tree-lined Allée that stretches from the historic entrance at Dundas Street East northward to the circular drive and ring road that connects the Infirmary, the Chapel of Hope and the Recreational Hall. With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the Hospital which are set back from the main entrance off Dundas Street East.
2. **The Campus Zone:** This zone contains three (3) buildings associated with the London Psychiatric Hospital of provincially significant heritage value: the Infirmary, the Chapel of Hope and the Recreational Hall as well as associated open spaces, landscape and plantings. These elements are located within a ring road at the end of a long Allée stretching south to Dundas Street.
3. **The Horse Stable Zone:** This zone is comprised of open space, mature trees and unobstructed views of all sides of the horse stable.

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone

The Cultural Heritage Landscape Features of the Allée and Ring Road Zone include, but are not limited to, the following highlighted elements:

- The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive
- Circular drive with internal green space and east/west access to the ring road
- Remnants of the ring road
- Mature trees that border the ring road on both sides

The Cultural Heritage Landscape Features of the Campus Zone

The Cultural Heritage Landscape Features of the Campus Zone include, but are not limited to, the following highlighted elements:

- The location of the provincially significant buildings: Chapel of Hope, Infirmary and Recreation Hall within the landscape
- Their deliberate setback of the from the Dundas Street East to provide a serene and rural setting
- Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable
- North/south tree-lined roadways framing a view of the north (rear) elevation of the Infirmary
- The open space of the lawn with mature plantings directly south of the Infirmary

The Cultural Heritage Landscape Features of the Horse Stable Zone

The Cultural Heritage Landscape Features of the Horse Stable Zone include, but are not limited to, the following highlighted elements:

- Mature trees including sugar maples and walnuts
- Surrounding open space providing unobstructed views of all four elevations of the Horse Stable

SCHEDULE "C"

BASELINE DOCUMENTATION REPORT OUTLINE

A Baseline Documentation Report (BDR) is the document used by the Ontario Heritage Trust and the owner of a Trust easement property to identify the specific heritage character and condition of a property at the time the heritage conservation easement is established or at an agreed upon time thereafter.

The BDR provides the Trust and the owner with a permanent record of the built heritage resources located on an easement property. It is a separate document, completed after the easement agreement is executed, and which forms a legal reference under the agreement (Section 2.2). Its main purpose is to establish the initial benchmark against which future monitoring of the property is conducted by the Trust. It is the datum against which the maintenance requirement of the easement is measured and is the mechanism by which pre-existing alterations or acknowledged property conditions can be authenticated.

There are a number of internationally accepted formatting and archival standards for architectural documentation including: The Library of Congress, HABS/HAER Field Book (U.S. Parks Service), Public Works Government Services Canada - Heritage Conservation Program, and many others. These organizations standardize information for a number of reasons such as accessibility, conservation, completeness of recording and archival stability. By incorporating the best features of these standards with the legal requirements of the easement agreement, the Trust has developed the following Baseline Documentation Report (BDR) Outline which is used at the Ontario Heritage Trust for cultural heritage easement agreements.

- A. Preface**
The purpose of the BDR as well as the legal context, author/contributors, summary of property data is included here.
- B. Statement of Cultural Heritage Value**
This is a narrative explanation of the historical, architectural and contextual significance and heritage value of the property. The Character Defining Features embody this significance and are described in greater detail. This section will also include sources and property evolution/ history of alterations.
- C. Site Plan/Aerial Photograph**
This plan/image should identify the physical boundaries of the property, the adjacent streets, access and the urban or natural context of the property. It should also be a scaled plan based on a survey for greatest accuracy.
- D. Condition Report**
This component of the BDR clarifies the various architectural systems and physical condition, with textual descriptions of the materials and construction. The BDR shall record all existing signs and fixtures currently located on the Property and the exterior of the Building. This report should identify any major pre-existing deficiencies and cross reference them to the plans and / or photos.
- E. Photographic Key Plan**
The location and orientation of the camera including the angle relative to the horizon is useful information in re-establishing the views for subsequent monitoring. All images in the BDR should be referenced on the photo key plans(s).
- F. Photographs**
Two types of photographs are used to visually document the heritage resource.
Black and White Photography
This film type is relatively stable if stored properly. It captures the texture and form of a property much better than colour film. Where necessary, large or medium format photography may be the preferred method of capturing a space or architectural feature. All photography should be as free as possible from optical distortion (i.e. perspective). The ideal elevations are orthogonal though this is not always possible owing to tight geometry and physical access to a property.
Colour Photography
This film captures patina, materials and subtleties of hue that may not be seen in black and white photography. If colour corrected, this medium can provide excellent reference for true colour which may also be provided with Munsell or other well recognized colour reference information. Otherwise the same issues apply as for black and white photography.

- G. Architectural Drawings**
These may include plans, elevations, sections, and other architectural drawings available and relevant to the Heritage Character Defining Features.
- H. Acknowledgement Page**
This form is signed and dated by the owner and the Trust. It indicates that both parties agree that the contents of the BDR are accurate to a given date.
- I. Legal Context**
A copy of the entire registered easement agreement is included as an appendix at the back of the BDR.
- J. Copies**
All of the material is then recorded on an archival quality CD/DVD and included in the BDR as well. It is recognized that this is not a particularly stable format even when kept in the best archival quality CD/DVD sleeve but it is better than not being included. As stipulated in the easement agreement, a hardcopy of the BDR is deposited with the provincial archives.

A Baseline Documentation Report must be prepared by heritage professionals who have expertise in documenting and assessing heritage resources, their condition and their significance.

SCHEDULE "D"

STANDARDS FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value*² of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The complete *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) may be obtained from the Trust or may be found on the internet at www.historicplaces.ca (or such other website). The *Standards and Guidelines*, a Federal, Provincial and Territorial collaboration, are published by the Government of Canada (ISBN 978-1-100-15952-2) under the administration of Parks Canada

² Definitions of italicized words and phrases are set out in the Glossary included in the *Standards and Guidelines for the Conservation of Historic Places in Canada*

HERITAGE CONSERVATION EASEMENT AGREEMENT

This Agreement made this 16th day of January 2019,

BETWEEN:

OLD OAK PROPERTIES INC.

(hereinafter called the "Owner")

– and –

ONTARIO HERITAGE TRUST

a body corporate continued by
the *Ontario Heritage Act*,
R.S.O. 1990, c.O-18, as amended

(hereinafter called the "Trust")

WHEREAS:

- A. The Owner is the registered owner of certain lands and premises which are more particularly described in Schedule "A1" attached hereto (the "**Property**"), and which form part of a larger parcel of land municipally known as the former London Psychiatric Hospital located at 850 Highbury Avenue North, in the City of London, County of Middlesex.
- B. The Property was formerly owned by the Government of Ontario and was determined to be a provincial heritage property of provincial significance pursuant to an assessment performed in accordance with the Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance set out in Ontario Regulation 10/06.
- C. Under section F.5 of *The Standards and Guidelines for Conservation of Provincial Heritage Properties* (the "**Standards and Guidelines**") which came into effect as of July 1, 2010, the consent of the Minister is required before a provincial heritage property of provincial heritage significance is transferred from provincial ownership or control.
- D. In light of the foregoing, the Minister has granted consent to the transfer of ownership of the Property to the Owner on the condition that the Owner grant a heritage conservation easement interest to the Trust as a first encumbrance on title to the Property.
- E. By subsection 10(1)(c) of the *Ontario Heritage Act*, R.S.O. 1990, c.O-18, as amended (herein the "**Act**"), the Trust is entitled to enter into agreements, easements and covenants with owners of real property, or interests therein, for the conservation, preservation and protection of the heritage of Ontario.
- F. By section 22 of the Act, any covenants and easements entered into by the Trust, when registered in the proper land registry office against the real property affected by them, shall run with the real property and may, whether positive or negative in nature, be enforced by the Trust against the owner or any subsequent owners of the real property, even where the Trust owns no other land which would be accommodated or benefited by such covenants and easements.
- G. The Property is part of a larger area of land (the "**Former Hospital Lands**") associated with the former London Psychiatric Hospital. The Former Hospital Lands are bisected by an east-west Canadian Pacific railway line (the "**CPR line**"), thus creating a parcel north of the CPR line, which is legally described as Part of Lot 8, Concession 1, Geographic Township of London, designated as Parts 2 to 12 inclusive on Plan 33R-15263, City of London, County of Middlesex being the whole of PIN 08106-0158 (LT) (the "**North Parcel**") and a parcel south of the CPR line, which is legally described as PIN 08106-0147 being Part 1 on Plan 33R-15263 (the "**South Parcel**"). The approximate location of the Former Hospital Lands and the CPR line are shown on the site plane sketch in Schedule B3 attached hereto. This agreement relates solely to that part of South Parcel which is the Property.
- H. The Former Hospital Lands contain a provincially significant cultural heritage landscape comprised of the following three zones:
 - 1. the Allée and Ring Road Zone;
 - 2. the Campus Zone; and
 - 3. the Horse Stable Zone.

- I. The general location and configuration of the Allée and Ring Road Zone, the Campus Zone and the Horse Stable Zone on the Former Hospital Lands are shown on the site plan sketch in Schedule "B3" attached hereto.
- J. The Allée and Ring Road Zone is comprised of a tree-lined allée with dual laneways (the "Allée") which extends north from the historic entrance to the Former Hospital Lands off Dundas Street East 470 metres to a circular driveway and remnants of a ring road. The Allée is bisected by the CPR line. This agreement relates exclusively to that part of the Allée and Ring Road Zone situated south of the CPR line on lands described as the Property. The section of the Allée and Ring Road Zone located north of the CPR line is protected under a separate heritage conservation easement agreement.
- K. The general location and configuration of the Property on the Former Hospital Lands are shown on the site plan sketch in Schedule "A3" attached hereto.
- L. The provincial heritage value of the Property lies in the provincially significant cultural heritage landscape on the Property associated with that part of the Allée south of the CPR line.
- M. The Owner and the Trust recognize the provincial heritage value of the Property as set out in the Statement of Cultural Heritage Value and Interest attached hereto as Schedule "B1".
- N. The heritage character defining features of the cultural heritage landscape on the Property that contribute to the provincial heritage value of the Property are described in Schedule "B2" attached hereto (the "Cultural Heritage Landscape Features").
- O. The Owner and Trust jointly acknowledge that a secondary plan known as the London Psychiatric Hospital Secondary Plan (the "Secondary Plan") was adopted by the City of London on October 3, 2011 by By-law No. C.P. - 1284 (rp) - 283 as part of Official Plan Amendment 510 and that the boundaries of the Property (being the lands protected by this agreement) are not coincident with the parcels identified on the Secondary Plan.
- P. The Owner and the Trust have the common purpose of preserving the heritage value of the Property through the protection and conservation of its Cultural Heritage Landscape Features.
- Q. To this end, the Owner and the Trust desire to enter into this agreement (the "Agreement").

THE PARTIES AGREE that in consideration of the sum of Two Dollars (\$2.00) of lawful money of Canada now paid by the Trust to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Trust agree to abide by the following covenants, easements and restrictions which shall run with the Property forever.

1.0 PURPOSE

- 1.1 It is the purpose of this Agreement (herein the "Purpose") to ensure that the heritage value of the Property will be preserved in perpetuity as part of the heritage of Ontario. To achieve this purpose, the Owner and the Trust agree that the Cultural Heritage Landscape Features will be retained, maintained and conserved by the Owner through the application of recognized heritage conservation principles and practices and that no change shall be made to the Cultural Heritage Landscape Features that will adversely affect the heritage value of the Property as set out in the Statement of Cultural Heritage Value and Interest.

2.0 HERITAGE VALUE

2.1 Statement of Cultural Heritage Value

The Owner and the Trust agree that the Statement of Cultural Heritage Value explains the heritage value of the Property and that the Cultural Heritage Landscape Features comprise the features of the Property that are to be conserved under this Agreement in order to preserve and protect the heritage value of the Property.

2.2 Baseline Documentation Report

After the registration of the Agreement the Trust shall complete a report depicting and describing the appearance and condition of the Property (including the Cultural Heritage Landscape Features) through photographs, plans, sketches and/or text (the "Baseline Documentation Report"). The Baseline Documentation Report will have the structure and contain the information specified in the baseline documentation report outline attached hereto as Schedule "C". When the Baseline Documentation Report has been completed the Owner

agrees to execute an acknowledgment in the Baseline Documentation Report to confirm that it constitutes an accurate depiction and description of the then current appearance and condition of the Property (including the Cultural Heritage Landscape Features). The Baseline Documentation Report will also include a record of existing signs and fixtures on the Property. When signed by both the Owner and the Trust a completed and signed copy of the Baseline Documentation Report shall be given by the Trust to the Owner, an original signed copy will be filed and may be examined at the head office of the Ontario Heritage Trust and an original signed copy will be filed with the Archives of Ontario. When completed and signed by the parties, the Baseline Documentation Report shall be referred to where applicable in determining the respective responsibilities and duties of the Owner and the Trust under this Agreement.

2.3 No Baseline Documentation Report

If the Baseline Documentation Report has not been approved and signed by the parties as provided for in section 2.2, then the Trust may refuse to consider or grant any approval to be given by the Trust under this Agreement until such time as the Baseline Documentation Report has been approved and signed by both parties.

3.0 **CONSERVATION PRINCIPLES AND PRACTICES**

3.1 Both the Owner and the Trust in carrying out their respective responsibilities and duties under this Agreement shall, where applicable, be guided by and apply the conservation principles set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010 Edition), as revised from time to time, and other recognized heritage conservation best practices (collectively herein the "**Conservation Principles and Practices**").

3.2 The current Standards for the Conservation of Historic Places in Canada set out in the *Standards and Guidelines for the Conservation of Historic Places in Canada* are attached for information purposes only as Schedule "D". Reference to the complete text of the *Standards and Guidelines for the Conservation of Historic Places in Canada* shall be made in applying them.

4.0 **DUTIES OF OWNER**

4.1 Maintenance

4.1.1 The Owner shall maintain the Cultural Heritage Landscape Features of the Property in good condition and appearance and shall not substantially alter those landscape features. Such features include but are not limited to trees, shrubs, lawns and other plantings, view planes, vehicular lanes, pedestrian footpath and other improvements.

4.1.2 For greater clarification of paragraph 4.1.1, the Owner shall maintain:

(a) the arboreal character of the Allée by planting replacement specimens of the same species as necessary when the existing specimens die, are destroyed by storm damage, become diseased and/or need to be removed for reasons of good tree husbandry or public safety; and

(b) the open space character of the Allée by regularly mowing the lawns to the boundaries of the Property.

4.2 Alterations

The Owner shall not, without the prior written approval of the Trust, undertake or permit any alteration of the Property, or any other thing or act which would materially affect the condition and appearance of the Cultural Heritage Landscape Features.

4.3 Trust Approval Not Required

In the event that a conservation plan for the Property (hereafter called the "**Plan**") has been completed and has been jointly approved by the Trust and the Owner, then any and all demolition, construction, reconstruction, renovation, restoration, or alterations, as described therein, shall be deemed approved by the Trust under sections 4.2 and 4.4, subject to the submission of related final drawings and specifications that meet with the written approval of the Trust.

4.4 Emergency Measures

Notwithstanding the provisions of section 4.2, the Owner may undertake such temporary measures in respect of the Cultural Heritage Landscape Features as are reasonably necessary to deal with an emergency situation which puts the public at risk of harm provided that:

- (a) such measures are in keeping with the purpose of this Agreement;
- (b) such measures are consistent with the conservation of the Cultural Heritage Landscape Features; and
- (c) where time permits, the Trust is consulted before any such measures are undertaken.

In any case, the Owner shall advise the Trust forthwith when it undertakes temporary measures in respect of the Cultural Heritage Landscape Features in an emergency situation.

4.5 Signs and Fixtures

The Owner shall not place or affix on the Property any signs, satellite receiving dishes, or other similar objects and fixtures without the prior written approval of the Trust. Such approval may, in the sole discretion of the Trust and for any reason which the Trust considers necessary, be refused.

4.6 Regulated Activities

The Owner shall not in respect of the Property, except with the prior written approval of the Trust:

- (a) grant any easement or right of way;
- (b) sever or subdivide;
- (c) erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever except temporary fencing required during construction;
- (d) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (e) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the Property, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, renewable energy installations, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, or other materials;
- (f) allow the removal, destruction or cutting of trees, shrubs or other vegetation;
- (g) allow the planting of trees, shrubs or other vegetation which would have the effect of reducing the aesthetics or organization of the tree-lined Allée on the Property; or
- (h) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control or soil conservation

4.7 Archaeological Resources

In the event that archaeological resources are uncovered at the Property during the course of any excavations or ground disturbance the Owner shall immediately cease all activities at the specific location where the discovery has exposed buried structural features and/or artifacts and notify the Trust in writing forthwith. The Trust may require that the Owner, at its cost, retain a licensed consulting archaeologist to investigate and document the finds prior to the Owner continuing or allowing the continuance of any excavation or ground disturbance.

4.8 Human Remains

In the event that human remains are uncovered at the Property during excavations or ground disturbances, in addition to any other parties or authorities that the Owner is legally required to contact, the Owner shall also notify the Trust immediately and cease all activities at the specific location(s) where human remains have been discovered.

5.0 OWNER'S RESERVED RIGHTS

- 5.1 The Owner expressly reserves for itself the right to use the Property and carry out such activities as are not inconsistent with the Purpose of this Agreement and which do not materially adversely affect, directly or indirectly, the Cultural Heritage Landscape Features.

6.0 APPROVALS

6.1 Information to be provided

In requesting any approval under this Agreement the Owner shall at its expense provide to the Trust such information in such detail as the Trust may reasonably require in order to consider and assess the Owner's request (the "Information") including without limitation the following:

- (a) plans, specifications describing the elevations, other drawings, sections and designs for any proposed work;
- (b) materials samples;
- (c) a work schedule;
- (d) the report of a qualified conservation engineer, architect, landscape architect, archaeologist, conservator or consultant; and
- (e) such other reports, studies or tests as may in the circumstances be reasonably required for the Trust to appropriately assess the impact of the proposed work on the Cultural Heritage Landscape Features.

6.2 Matters to be Considered

Where any request for approval required under this Agreement is submitted to the Trust, the determination of the Trust may be based upon choice of materials, architectural design, historical authenticity, or any other grounds, not limited to purely aesthetic or historical grounds, but the Trust's approval shall not be unreasonably withheld, unless otherwise specifically provided for in this Agreement. In considering any request for approval the Trust shall be guided by and apply the Conservation Principles and Practices. In giving its approval, the Trust may specify such conditions of approval as the Trust considers necessary or appropriate in the circumstances to ensure the conservation of the Cultural Heritage Landscape Features.

6.3 Deemed Approval

Provided that the Owner has first complied with the requirements of section 6.1 to the satisfaction of the Trust, any approval required to be obtained from the Trust under this Agreement shall be deemed to have been given upon the failure of the Trust to respond in writing to a written request for it within sixty (60) days of receiving such request and all of the information requested by the Trust at its address as set out in section 10.1 of this Agreement.

6.4 Conditions of Approval

If the approval of the Trust is given or deemed to have been given under this Agreement the Owner, in undertaking or permitting the construction, alteration, remodelling, or other thing or act so approved of or deemed to be approved of, shall comply with all of the conditions of approval specified by the Trust in its approval including the use of materials and methods specified by the Trust in its approval.

6.5 Where Owner in Default

In the event that the Owner is in default of any of its obligations under this Agreement and, pursuant to section 9.1, the Trust has notified the Owner of such default, then the Trust may refuse to consider any request for approval submitted by the Owner whether requested before or after such notice of default has been given to the Owner and the deemed approval provisions of section 6.3 shall not apply so long as the Owner is in default.

6.6 Effect of Approval

Any approval given by the Trust under this Agreement shall have application only to the requirements of this Agreement and does not relieve the Owner from obtaining any approvals, permits or consents of any authority whether federal, provincial, municipal or otherwise that may be required by any statute, regulation, by-law, guideline or policy or by any other agreement.

7.0 INDEMNITY AND INSURANCE

7.1 Indemnity

The Owner shall hold the Trust and its employees, officers, agents, contractors and representatives harmless against and from any and all liabilities, suits, actions, proceedings, claims, causes, damages, judgments or costs whatsoever (including all costs of defending such claims) arising out of, incidental to, or in connection with any injury or damage to person or property of every nature and kind (including death resulting therefrom), occasioned by any act or omission of the Owner related to this Agreement, save and except for any such liabilities and claims for or in respect of any act, deed, matter or thing made or done by the Trust and its employees, officers, agents, contractors and representatives pursuant to sections 8.1 and 9.2 of this Agreement.

7.2 Insurance

- 7.2.1 The Owner agrees to put in effect and maintain or cause to be put in effect and maintained, at all times, with insurers acceptable to the Trust, the following insurance (collectively the "Insurance"):

Commercial General Liability ("CGL") coverage of an inclusive limit of not less than Five Million Dollars (\$5,000,000) per occurrence for Property Damage, Third-Party Bodily Injury and Personal Injury with the Trust being an additional insured and including the following policy endorsements: Cross-Liability and 30 day notice of cancellation.

The Owner shall deliver to the Trust upon the execution of this Agreement a certificate or certificates of the Insurance in a form and with limits satisfactory to the Trust, and thereafter evidence satisfactory to the Trust of the renewal of the Insurance shall be delivered to the Trust at least fifteen (15) clear days before the termination thereof.

- 7.2.2 If the Owner fails to obtain the Insurance or if the Insurance is cancelled, the Trust may effect such Insurance and the premium and any other amount paid in so doing shall forthwith be paid by the Owner to the Trust, or if not, shall be a debt owing to the Trust and recoverable from the Owner by action in a court of law.
- 7.2.3 The amount of Insurance coverage specified in clause 7.2.1(a) that the Owner is required to put in effect may be increased by the Trust from time to time on written notice to the Owner to such amount that is prudent in the circumstances taking into account inflation, changes in the risks associated with the Property and industry practice.

8.0 INSPECTION AND PUBLIC VIEWING

8.1 Inspection

The Trust or its representatives shall be permitted at all reasonable times to enter upon and inspect the Property and inspect the Cultural Heritage Landscape Features upon giving at least twenty-four (24) hours prior written notice to the Owner.

8.2 Public Viewing

- 8.2.1 The Owner shall ensure that reasonable public access is available to the Property on a regular basis to permit public appreciation and interpretation of the Cultural Heritage Landscape Features.
- 8.2.2 The Owner shall, in addition to the requirements of subsection 8.2.1, at the request of the Trust, arrange for the Property to be accessible for special event public viewing on at least two (2) occasions during each calendar year and that reasonable prior notice of such special event public viewing be given to the Trust.

9.0 REMEDIES OF TRUST

9.1 Notice of Default

If the Trust, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of its duties or obligations set out in this Agreement, the Trust may, in addition to any of its other legal or equitable remedies, give the Owner written notice setting out particulars of the Owner's default and the actions required to remedy the default. The Owner shall have thirty (30) days from receipt of such notice to remedy the default in the manner specified by the Trust or to make other arrangements satisfactory to the Trust for remedying the default within such period of time as the Trust may specify.

9.2 Trust May Rectify Default

If the Owner has not remedied the default or made other arrangements satisfactory to the Trust for remedying the default within the time specified in section 9.1, or if the Owner does not carry out the arrangements to remedy the default within the period of time specified by the Trust, the Trust may enter upon the Property and may carry out the Owner's obligations and the Owner shall reimburse the Trust for any expenses incurred thereby. Such expenses incurred by the Trust shall, until paid to it by the Owner, be a debt owed by the Owner to the Trust and recoverable by the Trust by action in a court of law.

9.3 Other Remedies

As damages based upon market value may not be adequate or effective to compensate for destruction of or restoration of the Cultural Heritage Landscape Features as they existed prior to default or breach of the Agreement, the parties agree that:

- (a) compensation to the Trust in the event of the Owner's default under this Agreement may be based upon market value, restoration or replacement costs whichever, in the opinion of the court, shall better compensate the Trust in the circumstances; and
- (b) in addition and without limiting the scope of the other enforcement rights available to the Trust under this Agreement, the Trust may bring an action or an application for injunctive relief to prohibit or prevent the Owner's default or the continuance of the Owner's default under this Agreement.

10.0 **NOTICE**

- 10.1 Any notices to be given or required under this Agreement shall be in writing and sent by personal delivery, facsimile transmission ("Fax"), or by ordinary prepaid mail to the following addresses:

To the Owner:

Old Oak Properties Inc.
Suite 600, 465 Richmond Street
London, ON N6A 5PA
Attention: Gregory C. Bierbaum, President

Fax: 519-439 6572

To the Trust:

Ontario Heritage Trust
10 Adelaide Street East
Toronto ON M5C 1J3
Attention: Easements Program

Fax: 416-325-5071

The parties may designate in writing to each other a change of address at any time. Notice by mail shall be deemed to have been received on the fourth (4th) business day after the date of mailing, and notice by personal delivery or Fax shall be deemed to have been received at the time of the delivery or transmission. In the event of an interruption in postal service, notice shall be given by personal delivery or Fax.

11.0 **PLAQUE AND PUBLICITY**

- 11.1 The Owner agrees to allow the Trust, at its expense, to erect a plaque on the Property, in a tasteful manner and in such location as the Trust and the Owner may mutually determine, acting reasonably, indicating that the Trust holds a heritage conservation agreement on the Property. The Owner also agrees to allow the Trust to publicize the existence of the Agreement and the Cultural Heritage Landscape Features in its publications, educational materials, website and research databases.

12.0 **GENERAL**

12.1 Waiver

The failure of the Trust at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Trust of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Any waiver must be in writing and signed by the Trust.

12.2 Extension of Time

Time shall be of the essence of this Agreement. Any time limits specified in this Agreement may be extended with the consent in writing of the Trust, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Agreement notwithstanding any extension of any time

limit. Any extension must be in writing and signed by the Trust.

12.3 Severability of Covenants

All covenants, easements and restrictions contained in this Agreement shall be severable, and should any covenant, easement or restriction in this Agreement be declared invalid or unenforceable, the validity and enforceability of the remaining covenants, easements and restrictions shall not be affected.

12.4 Costs

In the event that a dispute arises between the parties hereto because of this Agreement, each party shall be responsible for its own legal fees, court costs and all other similar expenses that may result from any such dispute except where costs are awarded by a court or a tribunal.

12.5 Entirety

This Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal, collateral or otherwise, exist between the parties except as herein expressly set out.

12.6 Subsequent Instruments

Notice of this Agreement shall be inserted by the Owner in any subsequent deed, lease or other legal instrument by which it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property.

12.7 Notification of Transfer of Title or Possession

The Owner shall immediately notify the Trust in the event that it transfers either the fee simple title to or its possessory interest in the whole or any part of the Property.

12.8 Agreement to Run with the Property

This Agreement shall be registered on title to the Property and the covenants, easements and restrictions set out herein shall run with the Property and enure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, personal representatives, successors and assigns, as the case may be. In order to effect the registration the Trust may, at its option:

- (a) authorize and direct the Owner to register this Agreement against title to the Property, as a first encumbrance in accordance with section 12.9 of this Agreement; or
- (b) register this Agreement against title to the Property, as a first encumbrance, in which event registration of this Agreement shall be at the Trust's expense, and paragraph 12.9 of this Agreement shall continue to apply with respect to priority and postponement.

If the Trust authorizes and directs the Owner to register the Agreement against title to the Property in accordance with subsection 12.8(a) above, the Owner shall forthwith upon such registration provide the Trust with a copy of the registered instrument and a copy of the parcel register for the Property showing registration of the Agreement as a first encumbrance on title to the Property, subject only to any Permitted Encumbrances, in accordance with section 12.9.

12.9 Priority and Postponement

The Owner shall, at its expense, obtain and register any postponement agreements or other agreements that the Trust may require to ensure that this Agreement shall be a first encumbrance on title to the Property in priority to all mortgages, charges, leases and other encumbrances or agreements affecting the Property, save and except for and subject to any encumbrances which affect the Property and are set out in Schedule "A2" of this Agreement as permitted encumbrances (the "**Permitted Encumbrances**").

12.10 Assignment

The Trust may assign all of its interest in this Agreement to any person in accordance with section 22(3) of the Act. The Trust shall not be liable to the Owner for any breach or default in the obligations owed to the Owner under this Agreement committed after notice of the assignment of this Agreement has been given to the Owner.

12.11 Owner Not Liable

No person who is an Owner shall be liable to the Trust for any breach of or default in the obligations of the Owner owed to the Trust under this Agreement committed after the registration of a transfer by such person of that person's entire interest in the Property to another person, provided that the Owner has delivered to the Trust notice of such transfer and an acknowledgement and assumption executed by the new registered owner, acknowledging the priority of this Agreement and the interest of the Trust, and assuming the obligations of the Owner under this Agreement.

12.12 Gender, Number and Joint and Several

Words importing the masculine gender include the feminine or neutral gender and words in the singular include the plural, and *vice versa*. Whenever the Owner comprises more than one person, the Owner's obligations in this Agreement shall be joint and several.

12.13 Circumstances Beyond the Control of Either Party

Neither party will be responsible for damage caused by delay or failure to perform under the terms of this Agreement resulting from matters beyond the control of the Trust and the Owner including strike, lockout or any other action arising from a labour dispute, fire, flood, act of God, war, riot or other civil insurrection, lawful act of public authority, or delay or default caused by a common carrier which cannot be reasonably foreseen or provided against.

12.14 Headings

The headings in the body of this Agreement form no part of the Agreement but are inserted for convenience of reference.

12.15 Counterparts

This Agreement may be executed by the parties in one or more counterparts, each of which shall be deemed to be an original and all of which taken together shall be deemed to constitute one and the same instrument. Each of the parties hereto agree that this Agreement may be delivered, once executed, by facsimile transmission (and the executed version of this Agreement delivered by facsimile transmission shall have the same force and effect as if it were originally executed and personally delivered) and that a photocopy of a facsimile copy of the Agreement may be relied upon by all parties that have signed the Agreement to the same extent as if it were an original executed version addressed specifically to each of them. Notwithstanding the foregoing, at the request of a party, the parties shall exchange originally signed copies of this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement effective as of the date first written above.

ONTARIO HERITAGE TRUST

Per: Beth Hanna
Beth Hanna, Chief Executive Officer

Per: Wayne Kelly
Wayne Kelly Director, Heritage Programs and Operations

We have authority to bind the Trust.

OLD OAK PROPERTIES INC.

Per: Gregory C. Bierbaum
Gregory C. Bierbaum, President

I have authority to bind the Corporation.

SCHEDULE "A1"

DESCRIPTION OF THE PROPERTY

Part of PIN 08106-0147 (LT)

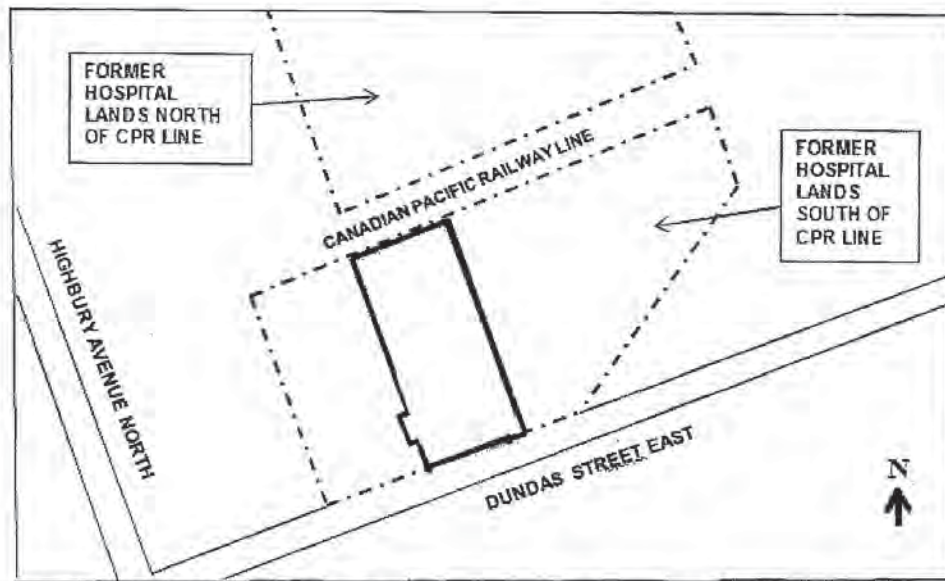
Part of Lot 8, Concession 1,; being designated as Parts 3 and 4 on Reference Plan 33R-19935,
City of London, County of Middlesex,

SCHEDULE "A2"
PERMITTED ENCUMBRANCES

Nil


SCHEDULE "A3"

**SKETCH OF THE APPROXIMATE
LOCATION AND CONFIGURATION OF THE PROPERTY**



SKETCH IS NOT A PLAN OF SURVEY

SKETCH IS NOT TO SCALE

 FORMER HOSPITAL LANDS

 THE PROPERTY

SCHEDULE "B1"

STATEMENT OF CULTURAL HERITAGE VALUE AND INTEREST

DESCRIPTION OF HISTORIC PLACE:

The Property forms an integral part of the Allée that extends approximately 470 metres north from the historic main entrance to the Hospital Lands off Dundas Street East to a circular driveway and the remnants of a ring road. The Property encompasses that part of the Allée south of the Canadian Pacific Railway corridor.

The Allée was completed under the supervision of Superintendent Richard Maurice Bucke in 1900 and represents a distinctive and significant feature of the former London Psychiatric Hospital. Historically, it was used for gatherings such as picnics and parties. It formed the central north-south axis from the southern property line to the main institutional buildings and frames the views of those buildings. It was and still is bisected by the Canadian Pacific Railway line.

The Allée is composed of open space and remnants of the ornamental landscape that include plantings such as the rows of mature sugar maple and black walnuts trees which line the Allée. The rows of trees frame the views of the main institutional buildings at the north end of the Allée. The setback from Dundas Street East of the main campus of the former London Psychiatric Hospital Infirmary at the north end of the Allée provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

STATEMENT OF PROVINCIAL SIGNIFICANCE FOR THE LONDON PSYCHIATRIC HOSPITAL

The London Psychiatric Hospital represents the theme of mental health treatment. Large government-run institutions such as the one in London transformed treatment of individuals with mental illness to a province-wide system. Four public asylums had opened at Toronto, London, Kingston and Hamilton by 1871. Until the middle of the 20th century, institutionalization of individuals with mental illness and developmental disabilities was a common practice and form of treatment. These institutions were self-sufficient, located in rural areas adjacent but outside of urban areas where patients¹ lived and received treatment. The rural location of the London Psychiatric Hospital was part of "moral therapy," an approach to the care and treatment of mental illness popular in the mid to late nineteenth century. Moral therapy promoted activities such as gardening, woodworking, games, sewing and reading in addition to medical care. Religion was also an important aspect of moral therapy and Superintendent R.M. Bucke had the Chapel of Hope constructed using patient labour, which was also part of the treatment. As mental health care and treatments evolved, the grounds of the London Psychiatric Hospital transformed. The practice of moral therapy and use of the Kirkbride Plan (i.e. all activities take place in one centralized building) was replaced by the idea that specialized facilities for each activity were needed for patients and staff. It was at this time that the Infirmary Building was constructed as part of Superintendent R.M. Bucke's modernization of the facility. The ideals of moral therapy led to the development of occupational therapy after the First World War.

The London Psychiatric Hospital is the only mental health facility in Ontario that has a stand-alone chapel. The Chapel of Hope was a core to providing moral therapy treatment. The London Psychiatric Hospital is associated with an era of mental health care when the government was constructing self-sufficient institutions built in strategic locations throughout the province. The large, segregated, self-sufficient institutional campus represents a rare aspect of Ontario's history and is no longer used to treat individuals with mental illness.

The Allée with mature trees and the large imposing Victorian-era Infirmary contribute to the Property's visual and aesthetic importance. The Infirmary is monumental in size and the most substantial building remaining on site. Its prominent features include the tall chimneys, central block and symmetrical wings. The Infirmary's haunting Victorian architecture has allured photographers and videographers who capture the intrinsic aesthetic beauty of the building. The horse stable also contributes to the aesthetic importance of the property and is the last remaining building associated with the property's agricultural past. It retains a significant amount of its original design aesthetic including its distinctive ventilators. The large scale of the building and quality of materials of the stable show the importance of agriculture to the London Psychiatric Hospital.

Superintendent Richard Maurice Bucke (1837-1902), was a significant figure and contributor to mental health treatment in Canada. Bucke held the post of Superintendent from 1877 until his death in 1902 and made several important contributions to patient treatment and the design and layout of London Psychiatric Hospital. Bucke developed recreational and occupational therapy programming

¹ The accepted term for a recipient of mental health services is "client". For the purposes of this report, which is a discussion of the history of the site, patient will be used unless discussing present-day client care.

as part of treatment, eliminated the use of restraints and ended the use of alcohol as a treatment – all progressive reforms for his time. Superintendent Bucke also had a significant impact on the design and layout of the site. Many of the significant heritage features that remain today were built under his tenure and were due to his influence, including the Chapel of Hope, Stable, Infirmary and the Allée. Bucke is also a controversial figure and the source of great debate among historians and mental health professionals for his encouragement and use of gynaecological surgeries on women for treatment of mental illness.

BACKGROUND:

Historic Value:

Prior to the 19th century, people with mental illnesses were housed in jails, workhouses or the family home and many had no choice but to live on the streets. The Victorian era saw social change, and came to depend upon institutions to solve the social problems of the day. Large institutions were supposed to be places of refuge where patients were separate from the rapidly changing outside world. The London Psychiatric Hospital followed the Kirkbride Plan and moral therapy treatment – patients were to be placed in a natural environment with a significant amount of farm and parkland. When opened in 1871, the London Psychiatric Hospital was located on 300 acres just outside city limits. The City of London was chosen as the location for a new Institution partially due to the influence of John Carling – Ontario's first commissioner of public works. He directed the construction of the institutions on land he had sold to the government in 1870.

The institution was self-sufficient and significant farming operations were located on the northern portions of the site with stables, greenhouses, orchards, fields full of crops and a root house for storage. While various employment opportunities were available at the London Psychiatric Hospital, patient labour was used as part of moral therapy treatment and as a way of keeping costs down. In the early years, patient labour was separated by gender – men worked in the field and tended to the animals while women worked in the laundry, cleaned and sewed. There were numerous clubs, sporting events, annual picnics and other special occasions for patients and staff thus giving the London Psychiatric Hospital a sense of community.

These institutions evolved to providing occupational and vocational therapies. In the early 1960s, new medications were developed to treat mental illness thereby starting the de-institutionalization process. While these drugs might not cure patients suffering from mental illness, they helped reduce and control symptoms allowing patients to be discharged and to live in the community. The move away from institutionalization to community living made these large, self-sufficient facilities obsolete.

Contextual Value:

As the central north-south axis for the Former Hospital Lands, the Allée physically and visually connects the historic main campus of the former London Psychiatric Hospital (comprised of the Chapel of Hope (1884), the Infirmary (1902), and the Recreation Hall (ca.1920)) with the main entrance off Dundas Street East. The main campus is deliberately setback from the main entrance to provide a serene and rural setting – core to moral therapy and the Kirkbride Plan.

:JC August 15, 2017

SCHEDULE "B2"

CULTURAL HERITAGE LANDSCAPE FEATURES

The Cultural Heritage Landscape Features of the Property referred to in this Agreement include, but are not limited to, the following highlighted elements of the Property which contribute to its provincial heritage value:

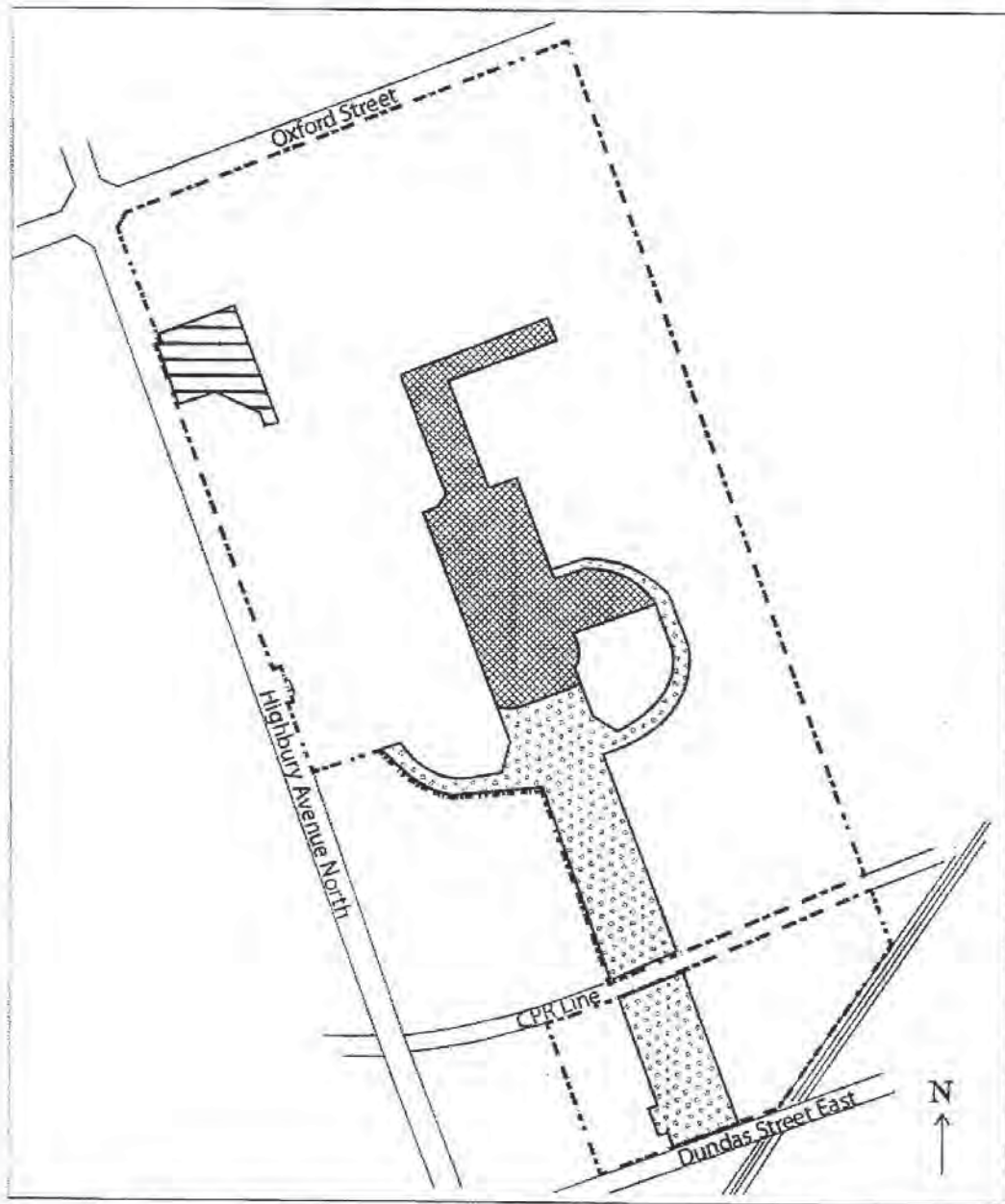
The Allée

- Rows of mature trees including sugar maples and walnuts
- Open space between the rows of trees allowing for viewscapes of the main campus
- Viewscapes of the historic main campus framed by the Allée
- Dual laneways located in the centre of the Allée running parallel to the rows of trees

JC August 15, 2017

SCHEDULE "B3"

SKETCH OF THE FORMER HOSPITAL LANDS SHOWING
THE APPROXIMATE LOCATION OF
THE HORSE STABLE ZONE, CAMPUS ZONE AND THE ALLÉE AND RING ROAD ZONE



Legend

--- Boundary of the Former Hospital Lands

▣ Campus Zone

▣ Allée and Ring Road Zone

▣ Horse Stable Zone

Sketch is not to scale
Sketch is not a plan of survey
Source: Infrastructure Ontario

SCHEDULE “C”

BASELINE DOCUMENTATION REPORT OUTLINE

A Baseline Documentation Report (BDR) is the document used by the Ontario Heritage Trust and the owner of a Trust easement property to identify the specific heritage character and condition of a property at the time the heritage conservation easement is established or at an agreed upon time thereafter.

The BDR provides the Trust and the owner with a permanent record of the built heritage resources located on an easement property. It is a separate document, completed after the easement agreement is executed, and which forms a legal reference under the agreement (Section 2.2). Its main purpose is to establish the initial benchmark against which future monitoring of the property is conducted by the Trust. It is the datum against which the maintenance requirement of the easement is measured and is the mechanism by which pre-existing alterations or acknowledged property conditions can be authenticated.

There are a number of internationally accepted formatting and archival standards for architectural documentation including: The Library of Congress, HABS/HAER Field Book (U.S. Parks Service), Public Works Government Services Canada - Heritage Conservation Program, and many others. These organizations standardize information for a number of reasons such as accessibility, conservation, completeness of recording and archival stability. By incorporating the best features of these standards with the legal requirements of the easement agreement, the Trust has developed the following Baseline Documentation Report (BDR) Outline which is used at the Ontario Heritage Trust for cultural heritage easement agreements.

- A. Preface**
The purpose of the BDR as well as the legal context, author/contributors, summary of property data is included here.
- B. Statement of Cultural Heritage Value**
This is a narrative explanation of the historical, architectural and contextual significance and heritage value of the property. The Character Defining Features embody this significance and are described in greater detail. This section will also include sources and property evolution/ history of alterations.
- C. Site Plan/Aerial Photograph**
This plan/image should identify the physical boundaries of the property, the adjacent streets, access and the urban or natural context of the property. It should also be a scaled plan based on a survey for greatest accuracy.
- D. Condition Report**
This component of the BDR clarifies the various architectural systems and physical condition, with textual descriptions of the materials and construction. The BDR shall record all existing signs and fixtures currently located on the Property and the exterior of the Building. This report should identify any major pre-existing deficiencies and cross reference them to the plans and / or photos.
- E. Photographic Key Plan**
The location and orientation of the camera including the angle relative to the horizon is useful information in re-establishing the views for subsequent monitoring. All images in the BDR should be referenced on the photo key plans(s).
- F. Photographs**
Two types of photographs are used to visually document the heritage resource.

Black and White Photography

This film type is relatively stable if stored properly. It captures the texture and form of a property much better than colour film. Where necessary, large or medium format photography may be the preferred method of capturing a space or architectural feature. All photography should be as free as possible from optical distortion (i.e. perspective). The ideal elevations are orthogonal though this is not always possible owing to tight geometry and physical access to a property.

Colour Photography

This film captures patina, materials and subtleties of hue that may not be seen in black and white photography. If colour corrected, this medium can provide excellent reference for true colour which may also be provided with Munsell or other well recognized colour reference information. Otherwise the same issues apply as for black and white photography.

G. Architectural Drawings

These may include plans, elevations, sections, and other architectural drawings available and relevant to the Heritage Character Defining Features.

H. Acknowledgement Page

This form is signed and dated by the owner and the Trust. It indicates that both parties agree that the contents of the BDR are accurate to a given date.

I. Legal Context

A copy of the entire registered easement agreement is included as an appendix at the back of the BDR.

J. Copies

All of the material is then recorded on an archival quality CD/DVD and included in the BDR as well. It is recognized that this is not a particularly stable format even when kept in the best archival quality CD/DVD sleeve but it is better than not being included. As stipulated in the easement agreement, a hardcopy of the BDR is deposited with the provincial archives.

A Baseline Documentation Report must be prepared by heritage professionals who have expertise in documenting and assessing heritage resources, their condition and their significance.

SCHEDULE "D"

STANDARDS FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

1. **General Standards for Preservation, Rehabilitation and Restoration** Conserve the *heritage value*² of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration period*. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration period* with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The complete *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) may be obtained from the Trust or may be found on the internet at www.historicplaces.ca (or such other website). The *Standards and Guidelines*, a Federal, Provincial and Territorial collaboration, are published by the Government of Canada (ISBN 978-1-100-15952-2) under the administration of Parks Canada.

² Definitions of italicized words and phrases are set out in the Glossary included in the *Standards and Guidelines for the Conservation of Historic Places in Canada*

Appendix E Condition Tables



Table 1: Horse Stable Exterior Condition

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Exterior Form	Load bearing brick masonry walls supporting a traditional queen-post truss roof structure (Photos 1 to 6, Appendix B)	All elevations	General massing and two intersecting gable roof sections	Good	<ul style="list-style-type: none"> General massing and two intersecting gable roof sections are intact. The 2012 <i>Adaptive Reuse Study</i>, completed by Golder Associates Ltd. in collaboration with IBI Group Architects and Ecoplans, reported that the timber structure and load bearing brick masonry that was visible all appeared to be in excellent structural condition, with no signs of structural distress (Golder Associates Ltd. <i>et al.</i> 2012: 84). Visual assessment in June 2021 confirmed that general massing, T-shaped plan, and exterior brick walls are all intact.
			T-shaped footprint	Good	<ul style="list-style-type: none"> T-shaped footprint is intact.
Roof	Intersecting gable roof with 3-tab asphalt shingles on wood plank decking (Photos 1 and 7, Appendix B)	All elevations	Two intersecting gable roof sections	Fair to Good	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i> noted deterioration from major roof leaks (Julian Smith & Associates Architects <i>et al.</i> 2008: 24). The report recommended repair and reinstatement of the damaged slate roof, as well as temporary strapping and corrugated steel roofing at cupola openings (Julian Smith & Associates Architects <i>et al.</i> 2008: 45). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC noted that the roof along with its soffits, fascia, eavestroughs, and downspouts were all restored in 2010 (IRC 2012: 3). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the asphalt shingles as being in good condition with the exception of some areas on the north side that had some lifted or missing shingles due to high winds (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 45). The gutters and rainwater leaders were noted to be in fair to good condition, however, the black plastic corrugated piping at the base of the downspouts was damaged and cut to varying degrees. Damage was assumed to have occurred from trimming the grass with a string trimmer (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 49). Some localized areas of lifting shingles were confirmed during the June 2021 site assessment (Photo 7, Appendix B).
	Current ventilators are reproductions. Each are a hollow frame box structure with louvred vents, pyramidal roof, clad in asphalt shingles (Photos 1 to 8, Appendix B)	All elevations	Five roof ventilators	Good	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects noted damage around the ventilator bases and missing slates that had created areas of water leakage and deterioration of interior areas. The report noted that the ventilator panels needed to be removed, repaired, and reinstated (Julian Smith & Associates Architects <i>et al.</i> 2008: 24). The 2012 <i>Adaptive Reuse Study</i>, completed by Golder Associates Ltd. <i>et al.</i>, noted that the reproduction ventilators had been installed on the roof as part of the recent stabilization program (Golder Associates Ltd. <i>et al.</i> 2012: 78). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the ventilators to be in good condition (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 46).
	Tall buff brick chimney	East elevation	Brick chimney	Good	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects recommended inspection and partial repointing of chimney (Julian Smith & Associates Architects <i>et al.</i> 2008: 45). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the chimney to be in good condition with little sign of deterioration or leaning (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the upper half of the chimney appeared to have been rebuilt. Also, metal flashing with rain diverters at each side were evident at the base of the chimney (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 49). June 2021 site assessment confirmed that the chimney appeared in good visual condition with some minor spalling and missing mortar (Photo 6, Appendix B)

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Exterior Walls	Solid brick masonry walls	All elevations	Local buff brick (also called white brick)	Fair to Good	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects reported that the brick requires localized repair and complete repointing (Julian Smith & Associates Architects <i>et al.</i> 2008: 41). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the brick masonry to be in fair to good condition, with minor areas of spalled brick along the base related to moisture. Also noted was some minor brick restoration with re-pointing and brick replacement. Parging/white washing of the lower walls around the perimeter also had been completed in the past years (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the masonry walls to be generally in fair to good condition with many of the masonry openings bricked in at some point (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 51). It was also noted that along the base of the north elevation walls, where the brick masonry extends to grade and where the below grade masonry openings still exist, there was substantial brick damage and areas of missing brick, as well as black atmospheric staining being evident on the original buff masonry (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 51). June 2021 site assessment: <ul style="list-style-type: none"> Some areas of minor spalling and graffiti were noted on the exterior walls during the June 2021 site assessment (Photos 9 and 12, Appendix B). Brick voussoirs appeared in good condition with some minor spalling (Photos 10 and 11, Appendix B). Window sills and lintels appeared in good condition (Photos 11 and 12, Appendix B).
			Location of existing segmental-arched window and door openings		
			Brick voussoirs and stone sills above and below window openings		
Doors	Board and batten upper access doors to hay loft	West elevation	Board and batten upper access doors to hay loft		<ul style="list-style-type: none"> At the June 2021 site assessment, the hayloft was boarded-up by a wooden covering (not board and batten), but the wood appeared in good visual condition (Photo 13, Appendix B)
Windows	Double-hung wood sash windows with single glazing	All elevations	Not applicable (n/a)	Undetermined (assumed poor based on 2012 report)	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, noted the remaining windows to be wooden double hung sash windows with single glazing. They were reported to be in poor condition with limited functionality. The windows at this time had either been removed, infilled with brick, or covered with plywood (IRC 2012: 9). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, noted the windows were still covered with a vented plywood (Steven Burgess Architects Ltd. <i>et al.</i> 2008: 24). Windows were still covered with vented plywood at the time of the June 2021 site assessment and their condition could not be verified (Photos 14 to 16, Appendix B). The brick in the infilled windows appeared in good condition with some minor spalling (Photo 17, Appendix B).
Foundation	Stone and rubble foundation wall with concrete slab-on-grade	All elevations	n/a	Fair to Good	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the foundation to be in fair to good condition, with no signs of cracks through the brick masonry that would indicate possible differential settlement. The report also noted that the condition of the assumed inner rubble core is unknown and that there may be potential for erosion of the inner fill material (IRC 2012: 4). The foundation of the structure was not visible at the time of the June 2021 site visit from the exterior of the building.

Table 2: Chapel of Hope Exterior Condition

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Exterior Form	Load bearing brick masonry walls with buttresses supporting wood trusses	All elevations	n/a	Good	<ul style="list-style-type: none"> The original footprint and massing are intact (Photos 18 to 21, Appendix B).
Roof	Gable roof with 3-tab asphalt shingles on wood plank decking	All elevations	Gable roof topped with a finial	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, estimated the date of the asphalt shingles to be from 2001. The report noted areas of poor condition on the south elevation and around the chimneys. Remaining shingles were reported to be in fair condition, although the shingles were determined to be deteriorating rapidly due to the roof not being properly ventilated (IRC 2012: 5). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the condition of the brown asphalt shingles as fair however staining was visible on the shingles from water runoff along the bottom corners of the dormers. It was noted that ivy had grown up the masonry walls, along the roof edge including fascia board, gutter, and backside of the east and west gables (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 21). As well the rainwater disposal systems were poor or practically non-existent (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 25). A section of the roof at the rear of the building is secured with plywood to cover a gap that was created following a fire in early 2021.
	Triangle wood dormers each with a stained-glass trefoil window. Dormers are clad in asphalt shingles with metal flashing	North and south elevations	Trefoil dormers	Fair	<ul style="list-style-type: none"> The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the paint on the perimeter wood trim around the dormers was peeling (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 21). June 2021 site visit confirmed some minor paint peeling (Photo 22, Appendix B).
	Tall buff brick chimneys	West and east elevations	Chimneys	Fair to Poor	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, noted the chimneys to be in good condition with little signs of deterioration or leaning (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the east elevation chimneys had deteriorated/spalled or are even missing brick and open joints. The base of the southeast chimney had ivy/vegetative growth, and the west elevation chimney had deteriorated/spalled brick and open joints (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 28). June 2021 visual assessment identified that while portions of the chimneys are in fair condition, other areas show spalling or missing mortar (Photo 23, Appendix B).
Exterior Walls	Solid buff brick masonry walls	All elevations	Local buff brick construction	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the brick masonry to be in fair to good condition with minor areas of damage. This includes areas of spalled brick around the bases, carbon staining, and vegetation covering (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the masonry walls to be in fair condition with what was believed to be original beaded mortar joints with some mortar replacement. The report noted that along the base of the walls, where the brick masonry extends to the grade, green lichen or organic staining was evident along the bottom 5 to 6 courses of brick. Black atmospheric staining was also evident to various degrees on the original buff masonry and at areas of brick adjacent to grade that have been mechanically impacted. Particularly, the south and east elevations had excessive vegetative overgrowth (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 30). The east elevation was noted to have some graffiti (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 31). June 2021 site assessment confirmed extensive ivy growth and areas of staining (Photos 18 to 21, Appendix B). Mortar generally in good visual repair with localized areas of mortar recession (Photos 24 to 25, Appendix B).
	Buff brick buttresses	North and south elevations	Seven bay side walls with buttresses		

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Windows	Double-lancet stained glass windows within pointed arch wood frames	North and south elevations	Double-lancet stained glass windows	Undetermined	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the windows to be generally in good condition with the exception of paint finish that was noted to be peeling and flaking (IRC 2012: 9). Windows were boarded up at the time of the June 2021 site assessment and their condition could not be verified (Photos 19 to 21, and 25, Appendix B). The large stained glass window was destroyed by fire in early 2021.
	Large stained glass window depicting religious imagery and scenes from the former London Psychiatric Hospital	East elevation	Large stained glass window above the altar depicting religious imagery and scenes from the London Psychiatric Hospital		
	Bull's eye window with quatrefoil muntin	East elevation	Bull's eye window with quatrefoil muntin in the gable end		
Doors	Solid oak wood doors within painted wood frames. Four shingle doors and one double main entrance door	West, north, and east elevations	n/a	Undetermined	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the doors to be in fair to good condition. The doors are noted as not being original to the building. Areas of concern include urethane coating that was deteriorating and minor corrosion on hinges (IRC 2012:12). Doors were blocked off to prevent access to the building at the time of the June 2021 site assessment and condition was not determined (Photos 18 and 19, Appendix B).
Signage	Chapel of Hope Sign	West elevation	n/a	Fair	<ul style="list-style-type: none"> The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the signage identifying "Chapel" was missing the "C" and the remaining letters were skewed (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 41). June 2021 site assessment confirmed the condition of the lettering.
Foundation	Stone foundation walls and centre support walls on reinforced concrete slab-on-grade	All elevations	n/a	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the foundations to be in good condition with no signs of cracks through the brick masonry that would indicate possible differential settlement (IRC 2012: 4). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the east elevation brick course above the stone foundation had deteriorated, which created a void in the wall (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 31). Foundations were not visible or accessible during the June 2021 site assessment.

Table 3: Infirmary Exterior Condition

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Exterior Form	The building has a T-shaped footprint. The Central Administration Block is three storeys in height set on a raised basement (Photos 26 to 29, Appendix B). Attached to the north of the Central Administration Block is a Central Pavilion that has attached West and East wings (Photos 30 to 36, Appendix B). The Central Pavilion and wings are each two storeys in height set on a raised basement. Each wing end has a two storey wood verandah with a flat roof. The exterior walls are brick masonry, with wood stud walls supporting a stick frame roof structure.	All elevations	Symmetrical composition – tall three-storey central administration block on a raised basement centre block flanked by two identical wards with rectangular wood verandahs (porches)	Good to poor	<ul style="list-style-type: none"> The symmetrical composition of the Infirmary with its tall three-storey Central Administration Block flanked by two identical wards (West and East Wings) with rectangular wood porches remains intact. The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i>, noted that structural upgrading was required where water had damaged structural wood joists and rafters (Julian Smith & Associates Architects <i>et al.</i> 2008: 40).
			The simplified rear (north elevation) with projecting bays, dormers and chimneys		
Roof	High-pitched hip roof with 3-tab asphalt shingles on wood plank decking. The east and west verandahs each have a flat roof with asphalt shingles.	All elevations – roof cladding	n/a	Fair to good	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i>, reported the roof to be in poor condition, with several failed places. Major roof leaks had led to interior damage which also threatened the structure's integrity (Julian Smith & Associates Architects <i>et al.</i> 2008: 20). The plan recommended further investigation to determine the original roof finishes and it suggested that the finishes be put back (Julian Smith & Associates Architects <i>et al.</i> 2008: 40). The report also recommended temporary strapping and corrugated steel roof on all roof areas (Julian Smith & Associates Architects <i>et al.</i> 2008: 45). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, noted the roof shingles were replaced in 2010. It was reported that the shingles and roof related work had been completed to a good standard (IRC 2012: 6). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, noted the grey asphalt shingles to be in fair condition with some staining/decolouration (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 65). The report also noted the gutters and rainwater leaders to be in fair to good condition, with some of the clay pipes being broken or not visible at grade (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 72). The June 2021 site assessment confirmed the roof to be in fair to good visual condition.
	Three tall buff brick chimneys on Central Administration Block (Photos 27 to 29 and 37, Appendix B). One buff brick chimney on Central Pavilion, one buff brick chimney on West Wing, and one buff brick chimney on East Wing (Photo 38, Appendix B)	Central Administration Block, Central Pavilion and Corridors, East Wing, and West Wing	Tall chimneys and skylights atop the hipped roof of the central block	Poor to Fair	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i>, recommended that the skylight above the operating room should be restored (Julian Smith & Associates Architects <i>et al.</i> 2008: 40). The report also recommended the inspection and partial repointing of chimneys (Julian Smith & Associates <i>et al.</i> 2008: 45). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the chimneys to be in good condition with little sign of deterioration or leaning. It also noted that some restoration within the past years was evident (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, noted the skylight above the operating room had been covered in plywood (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 65). The report noted the chimneys to have been capped with prefinished metal, with some atmospheric staining evident on the brick. The chimneys were noted to be in poor to fair condition. Issues identified included open joints and spalled bricks (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 75). Evidence of some mortar gaps in the chimneys, particularly near the tops, was apparent at the June 2021 site assessment.
	Current ventilators are reproductions. Each are a hollow frame box structure with louvred vents and a bellcast roof (Photo 39, Appendix B).	West and East Wings	Louvred ventilators atop the flanking wards	Good	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, noted the two ventilators were replaced in 2010 as part of the roof restoration (IRC 2012: 6).

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
	Hipped roof dormers clad with asphalt shingles (Photo 40, Appendix B).	All elevations	Dormers	Fair	<ul style="list-style-type: none"> The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the bellcast ventilators along the roof ridge of the east and west wings to be in good condition with the exception of the louvred slates where the paint is peeling (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 74). The condition was confirmed to be good during the June 2021 site assessment. The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the dormers to be in fair condition with some lifting of the shingles along the return sides. The front dormer faces had been covered with plywood with an integral metal flashing at the base. There was generally no paint left on the facias and the wood was grey and weathered (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 78). The condition was confirmed to be fair during the June 2021 site assessment.
Exterior Walls	The exterior has solid buff brick masonry walls. The front (south) façade of the Central Administration Block is topped with a wood detailed pediment, with wood pilasters, a large rounded arched window, and a dentilated wood cornice. The symmetrical East and West wings each have a projecting central bay with a wood detailed pediment with brick quoins and dentilated wood cornice. Exterior windows have flat arch buff brick lintels and stone sills.	All elevations	Local buff brick construction	Fair	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architectures <i>et al.</i>, reported the brick to be sound and most decorative finishes are intact (Julian Smith & Associates <i>et al.</i> 2008: 20). The report recommended localized repointing (Julian Smith & Associates <i>et al.</i> 2008: 39). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the brick masonry to be in fair to good condition with some minor areas of damage. This included the poor condition brick masonry around the entrance steps, minor mortar deterioration on the east and west verandah, minor settlement cracks above first floor windows (south elevation), and spalled brick around main entrance door (IRC 2012: 7). The conditions from the 2021 <i>Baseline Documentation Report</i>, were confirmed during the June 2021 site assessment. The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, provided the following assessment for each building section: <p><u>Central Administration Block</u></p> <ul style="list-style-type: none"> The south (main) elevation of the Central Administration Block has fared the worst with damage at missing wood elements and at areas with uncontrolled rainwater control. This area has significant atmospheric staining, open and cracked masonry joints within the brick masonry and damaged/missing brick masonry (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). The east side has mechanical damage with the faces of several of the bricks missing. The stonework has discrete open joints and stained areas (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). There are discrete areas of open and cracked masonry joints, often in the areas below the window openings and within the brick lintels, quoining and decorative brick banding (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). Where fittings were removed, openings within the brick have not been repaired (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). Black atmospheric staining was evident on the original buff bricks (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). Ivy has grown up the sides and rear of the Central Administration Block (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 68). <p><u>Central Pavilion and Corridors:</u></p> <ul style="list-style-type: none"> The Central Pavilion has stained stone courses primarily of organic/green staining (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). Several grade level masonry openings on the north elevation of the Pavilion have been infilled with brick. The brick matches the original, however, the joints' width, mortar, execution, and alignment with the original masonry coursing do not match (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). Stains, appearing to be residual asphalt, remain where a former structure/roof was removed on the north side (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). <p><u>East and West Wings:</u></p> <ul style="list-style-type: none"> The north and south elevations have excessive ivy growth (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80).

Building Component	Description	Location	Heritage Attribute	Condition	Analysis		
					<ul style="list-style-type: none"> Masonry walls appear to be generally in fair condition with what is believed to be original mortar joints. Some areas of open and cracked masonry joints, mostly around window openings, lintels, quoins, and decorative brick banding (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). The East Wing has damaged brick and open joints were evident on the brick quoining on the south elevation and within at least one of the brick headers/lintels (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). Where fittings were removed on the East Wing, openings within the brick have not been repaired (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). Black atmospheric staining was evident on the East Wing original buff bricks, brick watercourse, brick lintels, and the rough faced stone sills (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). Areas of rust staining beneath a ferrous pipe on the north elevation adjacent to the east porches (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). Graffiti is evident on the west elevation of the west porches (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 80). 		
					Dentilated cornice around the entire building	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the wood cornice to be in good condition with minor areas of deterioration (IRC 2012: 11). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, recorded that around the Central Administration Block the continuous dentilated cornice, fascia, and soffits generally appeared intact, although paint was peeling with areas of bare wood evident. Ivy had grown over areas of the wood cornice (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 68). The dentilated cornice appeared to be in fair condition with some peeling paint, water and dirt staining, and ivy growth (Photos 41 to 44, Appendix B).
					Flat arch buff-brick lintels and stone sills	Good	<ul style="list-style-type: none"> Brick lintels and stone sills appeared in good visual condition at the time of the June 2021 site assessment (Photos 43 and 44, Appendix B).
					Decorative buff-brick quoins at the end walls and separating the slightly projecting bays of the wards	Good	<ul style="list-style-type: none"> Buff brick quoins appeared good visual condition at the time of the June 2021 site assessment (Photos 43 to 45, Appendix B).
					South elevation (main entrance)	Main front entrance topped with a pediment supported by pilasters and dentilated cornice	Poor
Windows	Double-hung wood windows with single glazing	All elevations	Double-hung wood-sash windows	Undetermined (poor condition assumed from reports)	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i>, noted that the windows have suffered from vandalism but were intact and repairable (Julian Smith & Associates <i>et al.</i> 2008: 20). Also noted was significant exterior damage in the front bay window area, from water infiltration (Julian Smith & Associates <i>et al.</i> 2008: 20). The report recommended that all window openings should have original glass windows repaired, or plywood panels painted to resemble glass in vulnerable areas (Julian Smith & Associates Architects <i>et al.</i> 2004:16). The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the remaining windows to be in poor condition with limited functionality. All windows had either been covered with plywood or infilled with brick (IRC 2012: 10). Windows were boarded-up and were not visible at the time of the June 2021 site assessment, thus their condition is undetermined. 		
		South elevation	Bull's eye windows of the wards				
		South elevation (main entrance)	Large rounded arched window and two smaller rounded-arched windows				
			The single rounded-arched window				

Appendix E

CONDITION TABLES

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Doors	Solid wood doors	All elevations	n/a	Undetermined	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the doors to have been covered with plywood or infilled with brick (IRC 2012: 13). A door on the south elevation has been damaged by break-in, with plywood cladding removed and the door kicked in, allowing access to the building as observed during the June 2021 site assessment (Photo 46, Appendix B).
Stairs	Concrete and brick stairs	South elevation	n/a	Poor	<ul style="list-style-type: none"> The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the main entrance staircase masonry was not original, and was in very poor condition with open joints and spalled missing brick (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 79). The north elevation staircase to the Central Pavilion was also in poor condition with cracked concrete, failed brick walls, ivy growth, and paint chipping (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 103). The conditions were confirmed to be poor during the June 2021 site assessment.
Porches	Two-storey wood porches each with a flat roof.	West and east elevations	Sun porches at the end of each ward	Poor	<ul style="list-style-type: none"> The 2008 <i>Conservation Plan</i>, completed by Julian Smith & Associates Architects <i>et al.</i>, recommended the removal of collapsed roof on west porch and reconstruction of temporary framing and roof deck (Julian Smith & Associates <i>et al.</i> 2008: 45). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the east elevation porch to have further decayed and the entirety of the porch structure, inclusive of masonry and wood elements, had pulled away from the East Wing and was now in an advanced state of structural collapse (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 68-69). The west elevation porch has no remaining paint and the dentilated cornice, fascia, soffits, and vertical tongue and groove siding are grey and weathered (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 69). The conditions were confirmed to be poor during the June 2021 site assessment. The east elevation porch was evidently pulling away (Photo 47, Appendix). A week after the site assessment, a portion of the third floor of the east elevation sun porch collapsed (Photos 48 to 50, Appendix B). Damage at the west elevation porch was apparent at the June 2021 site assessment and this portion of the building appears to be in poor visual condition, with a gap in the roofline where the boarded cladding meets (Photo 51, Appendix B). This is allowing the interior of the building to be exposed to the elements, including wind and rain. The cladding wall is also bowing out.
Foundation	Natural stone and rubble foundation wall with concrete slab-on-grade	All elevations	n/a	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the foundation to be in fair to good condition, as there were no signs of cracks in the brick masonry that would indicate possible differential settlement. Some voids were noted in the mortar joints where the rough stone foundation was exposed. It was noted that the condition of the assumed inner rubber core was unknown and that there may be potential for erosion of the inner fill material (IRC 2012: 4). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that generally many of the mortar joints were cracked or open within the bottom exposed courses of stone. The report also noted vegetative and atmospheric staining. Specifically on the East and West Wings, the ivy overgrowth in close proximity to the base of the structure had resulted in damage and areas of displaced stonework (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 85-86). Foundations were not visible at the time of the June 2021 site visit due to vegetation and fencing surrounding the building (Photo 52, Appendix B).

Table 4: Recreation Hall Exterior Condition

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
Exterior Form	One storey structure with load bearing masonry walls supported by lattice frame steel trusses. The building has a symmetrical front (north) façade frontispiece with central block and two flanking wings (Photo 53, Appendix B). The front façade of the central block is topped with a wood pediment with a central oculus window. Below the pediment is a rectangular shaped tripartite window flanked with six-paned windows (currently boarded-up). The west and east elevations have projecting gabled bays each with a pediment, quoins, entrance door, and wood-sash windows (Photos 54 and 56, Appendix B). The rear (south) elevation is the gabled end with returned eaves, fanlight window, and corner quoins (Photo 55, Appendix B).	North elevation	Symmetrical façade frontispiece – a central block and two flanking wings Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with six-paned window	Fair	<ul style="list-style-type: none"> Symmetrical façade frontispiece, with a central block and two flanking wings is intact (Photo 53, Appendix B). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the woodwork on the frontispiece had little or no paint. The decorative plaster band on all three sides of the frontispiece appeared to be in fair condition, with some discolouration, hairline cracking, and a vertical crack (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 111). The conditions were confirmed to be fair during the June 2021 site assessment.
		West and east elevations	Projecting bays on side wall with pediment, quoins, entrance door and six-over-six wood-sash windows	Good	<ul style="list-style-type: none"> The exterior form of the projecting bays, each with a pediment and quoins, remains intact. The condition of the doors and windows was undetermined as they were boarded up at the time of the site visit.
Roof	Medium-pitched gable roof with projecting gabled bays. The roof has architectural shingles on wood plank decking, and two roof ventilators.	All elevations	n/a	Poor to Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, estimated the date of the shingles to date to the early 1990s. The report noted that previous assessments by IRC in 2003 and 2005, reported active roof leaks. The 2012 assessment noted the shingles to be in poor condition and exhibiting signs of failure (IRC 2012: 7). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported that the north facing gable has what is believed to be the last remaining area of original slate roof. The slate appears to be intact and in fair condition. The asphalt shingles were recorded to be in poor to fair condition, showing signs of loss of the top surface, with some beginning to curl (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 109). The gutters and rainwater leaders were reported to be in fair to good condition. One downspout along the east elevation was not connected into the cast iron piping and one downspout on the west elevation had been crushed. The existing roof ventilators appear to be in fair to good condition (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 116). The conditions were confirmed to be poor to fair during the June 2021 site assessment (Photo 57, Appendix B).
Exterior Walls	Reddish-brown brick masonry walls with brick quoins.	All elevations	Reddish-brown brick construction Rear elevation features quoins	Fair to Good	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the brick masonry to be in fair condition with some localized areas of spalled and cracked mortar joints (IRC 2012: 8). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the north and east elevation bricks to be rough and some of the corners were missing the adjacent mortar (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 118). The conditions were confirmed to be fair to good during the June 2021 site assessment (Photos 58 to 59, Appendix B).
Windows	Wood frame windows with single glazing.	North elevation	Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with six-paned window	Undetermined	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the windows to be in poor condition with limited functionality and poor energy efficiency. The windows were also noted to have decaying wood frames, bare wood, and broken panes (IRC 2012: 10).

Appendix E

CONDITION TABLES

Building Component	Description	Location	Heritage Attribute	Condition	Analysis
		West and east elevations	Projecting bays on the side wall with six-over-six wood-sash windows	Undetermined	<ul style="list-style-type: none"> Windows were boarded-up and not visible at the time of the June 2021 site assessment (Photos 60 to 63, Appendix B).
		West and east elevations	Flanking wings feature a rounded-arched window with decorative dark-brown brickwork extending well beyond the base of the window	Undetermined	
		West and east elevations	Side walls with six multi-paned rectangular windows divided into three parts and set within a shallow rounded-arched niche	Undetermined	
		All elevations	Raised basement with multi-paned windows	Undetermined	
		South elevation	Rear elevation with rounded-arched window in the gable	Undetermined	
Doors	Five doors on the exterior. The main entrance has wood double doors that each are two panelled six-paned half glass doors. The west and east elevations each have single wood two panelled six-paned half glass doors.	North, west and east elevations	Project bays on side wall with entrance doors	Undetermined	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the doors to be in poor to fair condition. This included worn off paint and operation issues (IRC 2012: 13). Doors were boarded up and not visible at the time of the June 2021 site assessment (Photos 64 and 65, Appendix B).
Stairs and ramp	Concrete stairs and ramp with metal railings.	North elevation	n/a	Fair	<ul style="list-style-type: none"> The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the stairs and ramp to be in fair condition with areas of vegetative growth, graffiti, and chipping paint (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 128). The conditions were confirmed to be fair during the June 2021 site assessment (Photo 65, Appendix B).
Foundation	Ashlar stone foundation walls with a basement slab-on-grade floor.	All elevations	n/a	Fair	<ul style="list-style-type: none"> The 2012 <i>Building Envelope Condition Assessment</i>, completed by IRC, reported the foundation to be in fair to good condition, with the exception of the main entrance. There were no signs of cracking through the brick masonry that would indicate possible differential settlement. Cracking on north elevation around main entrance (IRC 2012: 4). The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the visible foundation, a single course of rough faced stone to be in good condition (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 119). At the time of the June 2021 site assessment the only visible portion of the foundation on the exterior was the single course faced stone. It appeared to be in good condition.

Table 5: Cultural Heritage Landscape Features Condition

Landscape Component	Description	Location	Heritage Attribute	Condition	Analysis
Location and Setting	The former London Psychiatric Hospital is deliberately setback from Dundas Street East to provide a serene and rural setting, which was core to moral therapy and the Kirkbride Plan. The Infirmary, Chapel of Hope, and Recreation Hall are centrally situated on the property adjacent to one another in the landscape.	Campus Zone	The location of the provincially significant buildings: Chapel of Hope, Infirmary, and Recreation Hall within the landscape	Good	<ul style="list-style-type: none"> The location of the provincially significant buildings, including the Chapel of Hope, Infirmary, and Recreation Hall, within the landscape remains intact.
			Their deliberate setback from Dundas Street East to provide a serene and rural setting	Fair	<ul style="list-style-type: none"> The setback of the Chapel of Hope, Infirmary, and Recreation Hall has been maintained, although the serene and rural setting is being impacted by surrounding urban development. Overgrowth and mix of trees obscure the railway corridor and rural setting.
Allée (including associated laneways and viewsapes)	A grand tree-lined Allée extends from Dundas Street East to the circular drive and Ring Road that connects to the Infirmary, the Chapel of Hope and the Recreation Hall (Photos 66 to 72, Appendix B). With its open spaces and rows of mature trees, it evokes a designed rural setting and framed vista for the key institutional buildings of the hospital.	Allée and Ring Road Zone	The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive	Fair to Good	<ul style="list-style-type: none"> The 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive is intact (Photos 66 to 72, Appendix B). Paving along the Allée is in fair condition. Overgrowth has occurred that has obscured the viewsapes to the main campus until approximately three quarters down the Allée. The 2012 <i>Adaptive Reuse Study</i>, prepared by Golder Associates Ltd. <i>et al.</i>, noted that the trees within the Allée should be maintained and new trees planted to maintain the design (Golder Associates Ltd. <i>et al.</i> 2012: iii). The report stated that it is imperative that the central eight rows of trees be conserved extending from the traffic circle to Dundas Street (Golder Associates Ltd. <i>et al.</i> 2012: 43). Specific recommendations for new and replacement trees: <ul style="list-style-type: none"> that they should be planted to align within the north-south organization of the Allée; they should follow the historic pattern, of trees spaced apart from each other at a distance of between eight and 10 metres; that stumps should be removed, and the area graded and sodded; where feasible, new trees should not be planted in the same location as a tree that has been removed; the replacement of trees with a variation of species should continue to ensure long term succession of the Allée; and large deciduous shade trees should be planted in the inner eight rows in areas requiring infill or when replacements are needed (Golder Associates Ltd. <i>et al.</i> 2012: 43). The report recommended that any demolition or construction on the site should work around the central and lesser Allée in its entirety. A five metre protection area beyond the dripline should be instated and adhered to; there should be no encroachment of construction activities into this zone (Golder Associates Ltd. <i>et al.</i> 2012: 43) The 2021 <i>Tree Assessment Report Preliminary Findings</i>, prepared by Ron Koudys Landscape Architects Inc., tagged 232 trees in relation to the Allée. The report identified within the Allée 17 exceptional specimen trees to be preserved and 14 hazardous tree species to be removed. Most of the remaining trees were determined to be in fair to good condition. Reasons cited for tree removals included large trunk cavities, unbalanced canopies, weak attachments, rot, or dead trees (Ron Koudys Landscape Architects Inc. 2021a).
			Rows of mature trees including Sugar maples and walnuts	Fair to Good	
			Open space between the rows of trees allowing for viewsapes of the main campus	Good	
			Viewsapes of the historic main campus framed by the Allée	Good	
			Dual laneways located in the centre of the Allée running parallel to the rows of trees	Good to fair	
The roadway leading to the north elevation of the Infirmary is also tree-lined (Photos 77 to 81, Appendix B).	Campus Zone	North/south tree-lined roadways framing a view of the north (rear) elevation of the Infirmary	Fair to Good	<ul style="list-style-type: none"> The 2021 <i>LPH Lands, London, Ontario, Scoped OHT Tree Assessment</i>, prepared by Ron Kody's Landscape Architects Inc., groups the north/south tree lined roadway as having neutral value; meaning most trees do not have adequate physical or inherent qualities to warrant extraordinary preservation efforts. All the trees are of a maple species. Most of the trees were in good condition. A few trees are listed as being in poor condition due to codominant leaders, low hanging branches, damaged root flare, thin crown, wounds, and tar spots. As a group of maple trees, the report noted the potential for maple decline that commonly affects this species (<i>Acer platanoides</i>) (Ron Koudys Landscape Architects Inc. 2021b). 	

Landscape Component	Description	Location	Heritage Attribute	Condition	Analysis
Driveways		Allée and Ring Road Zone	Circular drive with internal green space and east/west access to ring road	Good	<ul style="list-style-type: none"> The circular drive with internal green space and east/west access to ring road is intact (Photos 73 to 75, Appendix B). The concrete pathway across the internal green is in poor condition (Photo 76, Appendix B). Remnants of the ring road are intact. The 2021 <i>Baseline Documentation Report</i>, completed by Steven Burgess Architects Ltd. <i>et al.</i>, reported the asphalt paving to be generally in good condition except for sections that no longer carry through traffic (Steven Burgess Architects Ltd. <i>et al.</i> 2021: 136).
			Remnants of the ring road		
Trees	The property contains 982 individual trees and over 20 different species.	Entire Property	n/a		<ul style="list-style-type: none"> The 2021 <i>Tree Assessment Report Preliminary Findings</i>, prepared by Ron Koudys Landscape Architects Inc., reported that the site contains no rare or endangered tree species. All trees observed on the site were determined to be common for the geographic area (Ron Koudys Landscape Architects Inc. 2021a: 4). The 2012 <i>Adaptive Reuse Study</i>, prepared by Golder Associates Ltd. <i>et al.</i>, noted that while it is likely that the majority of the trees were not planted during Bucke's time at the hospital, the placement and intention of the vegetation is in keeping with the original design intent. The report recommended that any future development should work to conserve as many trees as possible in order to retain the existing character and integrity of the site. Additional recommendations: <ul style="list-style-type: none"> Future plans and development should be designed around the tree preservation requirements of the site. Priority for preservation and maintenance should be given to trees that are greater than 50 years in age. Consideration should be given to transplanting healthy trees with a diameter at breast height less than 150 millimetres that will be impacted by development. Proper pruning is critical to maintaining and preserving the mature trees on the property. Any dead wood and hazardous defects should be removed from the diseased trees to reduce risks. The ash trees should be removed from the site. No new ash trees should be planted on the site (Golder Associates Ltd. <i>et al.</i> 2012: 41-42).
		Allée and Ring Road Zone	Mature trees that border the ring road on both sides	Fair to Good	<ul style="list-style-type: none"> The 2021 <i>Tree Assessment Report Preliminary Findings</i>, prepared by Ron Koudys Landscape Architects Inc., reported the mature trees that border the ring road on both sides were mostly in fair to good condition. Adjacent to the road, the report identified five specific trees that were specimen trees for preservation efforts (Ron Koudys Landscape Architects Inc. 2021a).
		Campus Zone	Strategically planted trees including the row of black walnut trees along east/west interior roadway leading to the Horse Stable	Fair to Good	<ul style="list-style-type: none"> The 2021 <i>LPH Lands, London, Ontario, Scoped OHT Tree Assessment</i>, prepared by Ron Koudys Landscape Architects Inc., reported the 15 Black walnut trees along the east/west interior road to the horse stable were mostly in good condition, with only a few in fair condition, and one in poor condition. Five of the trees were noted to be specimens for preservation. The one tree in poor condition was due to codominant leaders, no root flare, a cavity, and a heavy canopy (Ron Koudys Landscape Architects Inc. 2021b).
		Horse Stable Zone	Mature trees including sugar maples and walnuts	Fair to Good	<ul style="list-style-type: none"> The 2021 <i>LPH Lands, London, Ontario, Scoped OHT Tree Assessment</i>, and the 2021 <i>Tree Assessment Report Preliminary Findings</i>, both prepared by Ron Koudys Landscape Architects Inc., reported the trees in the Horse Stable Zone to be fairly valuable in terms of health, condition, form, species, ecological benefit, arrangement in landscape, and/or cultural heritage (Ron Koudys Landscape Architects Inc. 2021b). The Black walnut was determined to be in good condition and was noted to be a specimen tree to be preserved. One Sugar maple was noted to be in good condition, and the other in fair condition (Ron Koudys Landscape Architects Inc. 2021a).
Open Space	Open lawn south of the Infirmary.	Campus Zone	The open space of the lawn with mature plantings directly south of the Infirmary	Good	<ul style="list-style-type: none"> Open lawns are intact but demonstrate overgrowth of high grass and weeds.
	Open green space surrounding the Horse Stable.	Horse Stable Zone	Surrounding open space providing unobstructed views of all four elevations of the Horse Stable	Good	<ul style="list-style-type: none"> Open green space is intact but becoming overgrown with high grass and weeds.

Appendix F Parks Canada's Standards and Guidelines, and MTCS Eight Guiding Principles



THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

- 10.** Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
- 11.** Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12.** Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

- 13.** Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
- 14.** Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.



Eight Guiding Principles in the Conservation of Built Heritage Properties

The following guiding principles are ministry statements in the conservation of built heritage properties and are based on international charters which have been established over the century. These principles provide the basis for all decisions concerning good practice in heritage conservation around the world. Principles explain the "why" of every conservation activity and apply to all heritage properties and their surroundings.

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture.

Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them.

Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

3. RESPECT FOR HISTORIC MATERIAL:

Repair/conservé - rather than replace building materials and finishes, except where absolutely necessary.

Minimal intervention maintains the heritage content of the built resource.

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials.

Repair to return the resource to its prior condition, without altering its integrity.

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period.

Do not destroy later additions to a building or structure solely to restore to a single time period.

6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique.

e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. LEGIBILITY:

New work should be distinguishable from old.

Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

8. MAINTENANCE:

With continuous care, future restoration will not be necessary.

With regular upkeep, major conservation projects and their high costs can be avoided.

For more information, please call the Ministry of Culture at (416) 212-0644 or Toll Free at 1-866-454-0049 or refer to the website at www.culture.gov.on.ca.

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The information contained in this InfoSheet should not be relied upon as a substitute for specialized legal or professional advice in connection with any particular matter.

Appendix G Maintenance and Monitoring Logs



Appendix G MAINTENANCE AND MONITORING LOGS

MONTHLY ROUTINE MAINTENANCE AND MONITORING LOGS – LEGACY VILLAGE

Date: _____

Name of Staff or Contractor: _____

HORSE STABLE

Building Component	Maintenance Action	Completed Check	Comments
Foundation	Site cleanup, pruning and trimming of vegetation at foundation to deter plants from rooting into the foundation		
Eaves and downspouts	Gutter and downspout check to direct water away from building		
Interior	Check for pests		
Exterior/interior	Check for vandalism		
	Check for moisture/water damage		

CHAPEL OF HOPE

Building Component	Maintenance Action	Completed Check	Comments
Foundation	Site cleanup, pruning and trimming of vegetation at foundation to deter plants from rooting into the foundation		
Eaves and downspouts	Gutter and downspout check to direct water away from building		
Interior	Check for pests		
Exterior/interior	Check for vandalism		

Appendix G MAINTENANCE AND MONITORING LOGS

	Check for moisture/water damage		

INFIRMARY

Building Component	Maintenance Action	Completed Check	Comments
Foundation	Site cleanup, pruning and trimming of vegetation at foundation to deter plants from rooting into the foundation		
Eaves and downspouts	Gutter and downspout check to direct water away from building		
Interior	Check for pests		
Exterior/interior	Check for vandalism		
	Check for moisture/water damage		

RECREATION HALL

Building Component	Maintenance Action	Completed Check	Comments
Foundation	Site cleanup, pruning and trimming of vegetation at foundation to deter plants from rooting into the foundation		
Eaves and downspouts	Gutter and downspout check to direct water away from building		
Interior	Check for pests		
Exterior/interior	Check for vandalism		
	Check for moisture/water damage		



Appendix G MAINTENANCE AND MONITORING LOGS

ANNUAL ROUTINE MAINTENANCE AND MONITORING LOGS – LEGACY VILLAGE

Date: _____

Name of Staff or Contractor: _____

HORSE STABLE

Building Component	Maintenance Action	Completed Check	Comments
Roof	Check for loose or missing shingles		
Overall exterior	Exterior material spot repair		
Exterior/interior	Termite and pest inspection/treatment		

CHAPEL OF HOPE

Building Component	Maintenance Action	Completed Check	Comments
Roof	Check for loose or missing shingles		
Overall exterior	Exterior material spot repair		
Exterior/interior	Termite and pest inspection/treatment		

Appendix G MAINTENANCE AND MONITORING LOGS

INFIRMARY

Building Component	Maintenance Action	Completed Check	Comments
Roof	Check for loose or missing shingles		
Overall exterior	Exterior material spot repair		
Exterior/interior	Termite and pest inspection/treatment		

RECREATION HALL

Building Component	Maintenance Action	Completed Check	Comments
Roof	Check for loose or missing shingles		
Overall exterior	Exterior material spot repair		
Exterior/interior	Termite and pest inspection/treatment		

Appendix H Subsequent Reports and Approvals



Appendix H REQUIRED SUBSEQUENT REPORTS AND APPROVALS

The following table provides an overview of when a subsequent report is required for the property. Elements denoted with an asterisk (*) require an HIA when alterations are not routine maintenance, repairs or replacement in-kind.

Table 1: Required Subsequent Reports and Approvals

Component	Elements that require additional reports	Report/Permit Required	Approval Authority
Horse Stable	<ul style="list-style-type: none"> • Exterior walls* • Window and door openings* • Adaptive re-use alterations • <i>Accessibility for Ontarians with Disabilities (AODA)</i> requirements 	HAP with HIA	City of London
		Alternation Request Form	OHT
Chapel of Hope	<ul style="list-style-type: none"> • Trefoil dormers* • Exterior walls* • Double-lancet stained glass windows* • Bull's eye window* • Adaptive re-use alterations • <i>Accessibility for Ontarians with Disabilities (AODA)</i> requirements 	HAP with HIA	City of London
		Alternation Request Form	OHT
Infirmary	<ul style="list-style-type: none"> • Changes to the symmetrical arrangement of the exterior • Exterior walls* • Main front entrance topped with a pediment supported by pilasters and dentilated cornice* • Windows* • Adaptive re-use alterations • <i>Accessibility for Ontarians with Disabilities (AODA)</i> requirements 	HAP with HIA	City of London
		Alternation Request Form	OHT

Appendix H REQUIRED SUBSEQUENT REPORTS AND APPROVALS

Component	Elements that require additional reports	Report/Permit Required	Approval Authority
Recreation Hall	<ul style="list-style-type: none"> • Changes to the symmetrical arrangement of the exterior • Central block with pediment, oculus window, a central rectangular shaped tripartite window flanked with six-paned window* • Projecting bays on side wall with pediment, quoins, entrance door and six-over-six wood-sash windows* • Exterior walls* • Windows* • Adaptive re-use alterations • <i>Accessibility for Ontarians with Disabilities (AODA)</i> requirements 	HAP with HIA	City of London
		Alternation Request Form	OHT
Treed Allée	<ul style="list-style-type: none"> • Any alterations to the overall layout of the 470-metre tree-lined Allée that extends from the CPR Line and intersects with the circular drive 	HAP with HIA	City of London
	<ul style="list-style-type: none"> • North/south tree-lined roadways when widening, regrading, or repaving of roadway 	Tree Preservation Report	n/a
Location and Situ	<ul style="list-style-type: none"> • Relocation of the Horse Stable, Infirmary, Chapel of Hope, or Recreation Hall, or their setback from Dundas Street East 	HAP with HIA	City of London
		Alternation Request Form	OHT
Trees	<ul style="list-style-type: none"> • Mature trees that border the ring road on both sides when widening, regrading, or repaving the road is required 	Tree Preservation Report	n/a
Parking	N/A	HAP with HIA	City of London
		Alternation Request Form	OHT

Appendix H REQUIRED SUBSEQUENT REPORTS AND APPROVALS

Component	Elements that require additional reports	Report/Permit Required	Approval Authority
Accessory Buildings	N/A	HAP with HIA	City of London
		Alternation Request Form	OHT
Grant any easement or right of way	N/A	Alternation Request Form	OHT
Sever or subdivide	N/A	Alternation Request Form	OHT
Erect or remove or permit the erection or removal of any building, free-standing sign, fence, or other structure of any type whatsoever	N/A	Alternation Request Form	OHT
Allow the dumping of materials on the property	N/A	Alternation Request Form	OHT
Any changes in the general appearance or topography of Protected Lands, including construction of drainage ditches, transmission lines, excavation or removal of loam, gravel, soil, rock, or other materials	N/A	Alternation Request Form	OHT
Allow the removal, destruction or cutting of trees, shrubs, or other vegetation	N/A	Alternation Request Form	OHT

Appendix H REQUIRED SUBSEQUENT REPORTS AND APPROVALS

Component	Elements that require additional reports	Report/Permit Required	Approval Authority
Allow the planting of trees, shrubs, or other vegetation which would have the effect of (i) reducing the aesthetics of the Buildings or Protected Lands, or (ii) causing any damage to Buildings	N/A	Alternation Request Form	OHT
Allow any activities, actions, or uses detrimental or adverse to water conservation, erosion control or soil conservation	N/A	Alternation Request Form	OHT
Demolition of non-heritage features (buildings)	N/A	Application for a Permit to Construct or Demolish	City of London