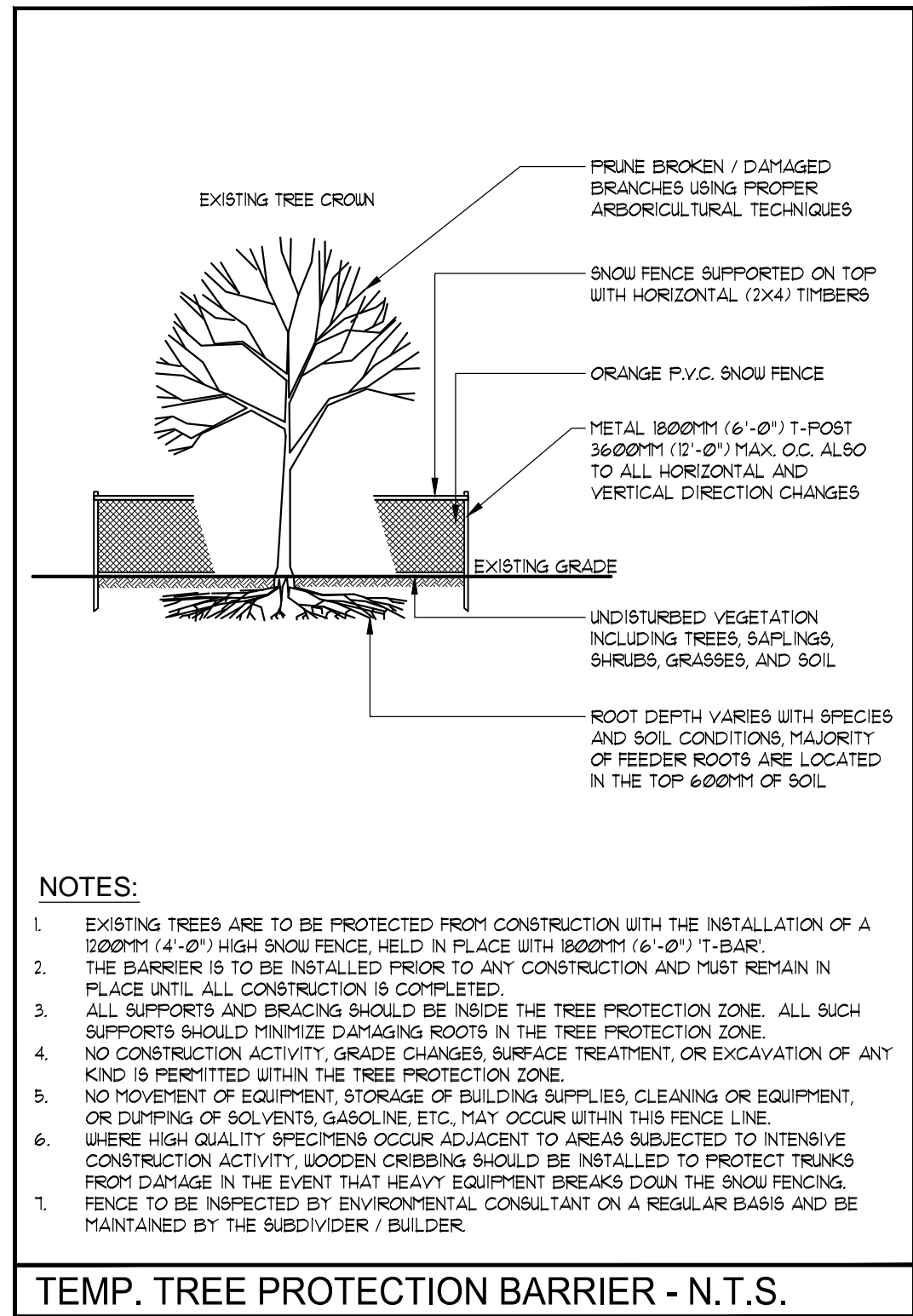
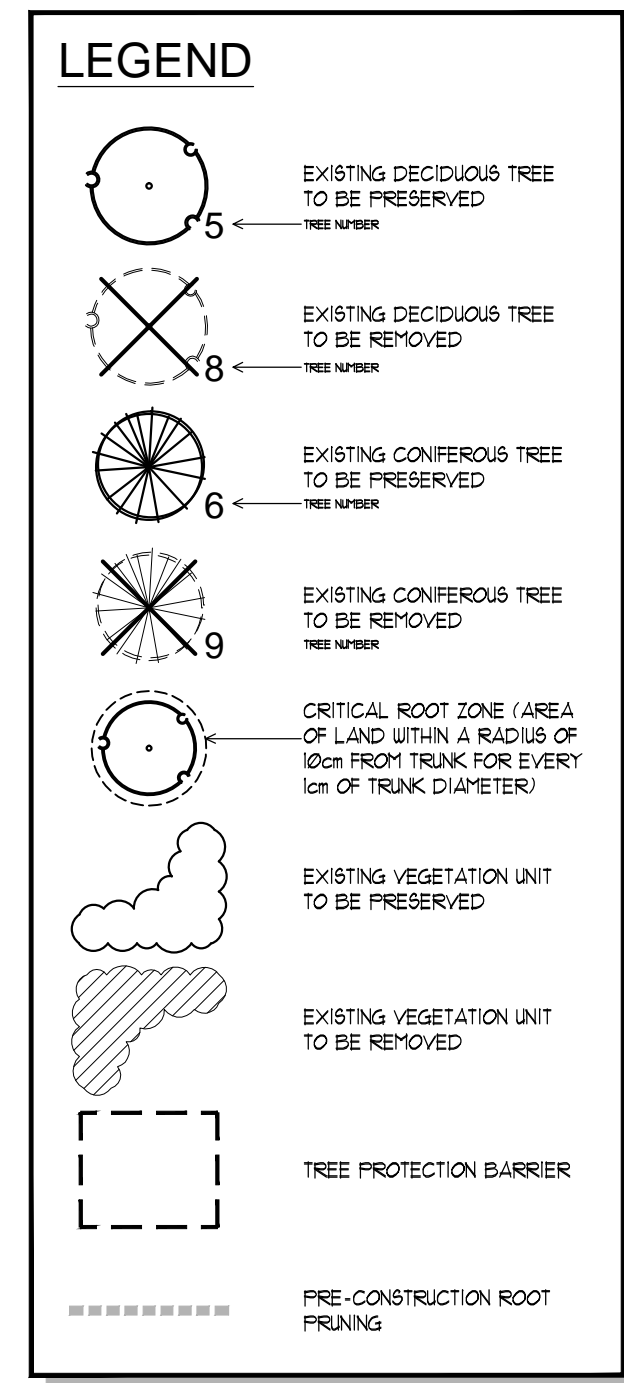


TREES RECOMMENDED FOR REMOVAL WITHIN THE CITY ROW REQUIRE APPLICATION TO THE CITY FOR CONSENSUAL REMOVAL. TO BE EXECUTED AT THE TIME OF APPLICATION FOR SPA. THIS APPLIES TO THE FOLLOWING: TREE # 3, 4, 5 & 6 AND VEG UNIT # 5



**TREE PRESERVATION PLAN**  
SCALE = 1:250

REFER TO TREE ASSESSMENT REPORT FOR ADDITIONAL INFORMATION & CONSTRUCTION IMPACT MITIGATION RECOMMENDATIONS

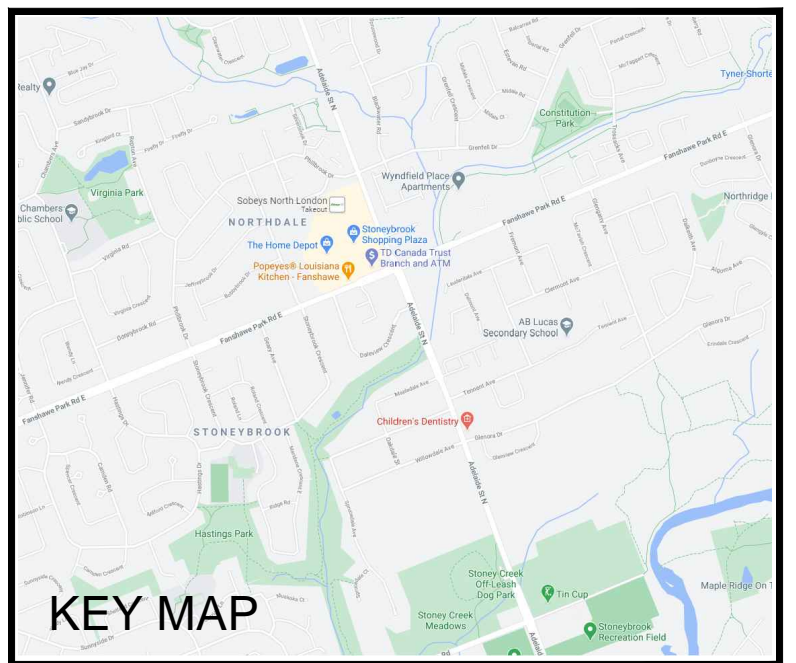


**TREES & VEGETATION UNITS RECOMMENDED FOR REMOVAL - TREES (42), VEGETATION UNITS (5)**

GENERAL INFORMATION							SIZE		HEALTH & CONDITION		RECOMMENDATIONS		
ID#	COMMON NAME	LOCATION	DBH (cm)	CAMPY (RADIALS)	DOWNY (CONITON)	STRUCTURAL FORM	STRUCTURAL INTEGRITY	COMMENTS	EXPECTED CONSTRUCTION IMPACT (CRZ = critical root zone)	PRESEV. OR REMOVE	IMPACT MITIGATION CONSENT REQUIREMENTS	NOTES	
1	Maple	subject site	26.26	6	5	good	good	Multistem 6, lowly specimen, minor epicormic growth, minor trunk taper, included bark at some areas	direct conflict with proposed site plan	remove	none		
2	Norway Maple	subject site	73	85	4	good	good	Wide-matted flare, low crown, clustered primary limbs, basal branches	direct conflict with proposed site plan	remove	none		
3	Norway Maple	City ROW	64	7	5	good	good	Wide flare, dead wood	direct conflict with proposed site plan	remove	developer to apply for consensual removal from City via treeassessment.ca		
4	Norway Maple	City ROW	29	15	5	good	good	On slope, salt damage	direct conflict with proposed site plan	remove	developer to apply for consensual removal from City via treeassessment.ca		
5	Norway Maple	City ROW	37	15	5	good	good	On slope, salt damage, diminished leader	direct conflict with proposed site plan	remove	developer to apply for consensual removal from City via treeassessment.ca		
6	White Spruce	City ROW	29	3	4	good	good	Limbed up 2m, a bit scraggly	direct conflict with proposed site plan	remove	developer to apply for consensual removal from City via treeassessment.ca		
7	Norway Maple	subject site	37	7	4	good	fair	Wide flare, elevated at base, minor trunk wounds, leafroll branching	direct conflict with proposed site plan	remove	none		
8	Maple	subject site	31.21, 18, 19	4	5	fair	good	Multistem 4, unbalanced crown, low crown epicormic growth, basal branches	direct conflict with proposed site plan	remove	none		
9	Amur Maple	subject site	<30	4	4	poor	poor	Multistem 10, stems emerging from ground base of original (now dead) tree stump, significant rot	poor condition	remove	none		
10	Norway Spruce	subject site	46	4.5	5	good	good	Limbed up 2.5m	conflict with required grading	remove	none		
11	Scotch Pine	subject site	31	3	3	fair	fair	Suppressed, diminished leader, limbed up 4m, crown	conflict with required grading	remove	none		
12	Scotch Pine	subject site	30	3	3	fair	fair	Diminished leader, dead wood, ording root, limbed up 4m	conflict with required grading	remove	none		
13	Scotch Pine	subject site	50	5	5	good	good	Limbed up 4m	direct conflict with proposed site plan	remove	none		
14	Amur Maple	subject site	<30	4.5	4	poor	poor	Multistem 6, stems emerging from ground base of original (now dead) tree stump, significant rot, gnarly base	direct conflict with proposed site plan & poor condition	remove	none		
15	Eastern Red Cedar	subject site	30	2.5	5	good	good	Limbed up 5m, columnar leaders	direct conflict with proposed site plan	remove	none		
16	Norway Maple	subject site	32.12	6	5	good	good	Multistem 2, on slope within coniferous hedge	direct conflict with proposed site plan	remove	none		
17	Norway Maple	subject site	33.23, 16, 18, 6	5.5	5	fair	good	Multistem 5, primary union below grade, on slope, scraggly form	direct conflict with proposed site plan	remove	none		
18	Mulberry	subject site	10	4.5	4	fair	good	On slope, bent leader, suppressed	direct conflict with proposed site plan	remove	none		
19	Norway Spruce	subject site	48	4	5	good	good	Limbed up 15m, dead lower branches	direct conflict with proposed site plan	remove	none		
20	Norway Spruce	subject site	44	4	5	good	good	Limbed up 6m, dead lower branches	direct conflict with proposed site plan	remove	none		
21	Montana Maple	subject site	30	6	4	fair	fair	lean NE, suppressed, unbalanced crown	direct conflict with proposed site plan	remove	none		
28	Siberian Elm	subject site	30	5	4	fair	fair	Trunk grown through ex. chainlink fence, dead wood, scraggly form	rod damage expected, undesirable tree species and condition (grown through fence)	remove	none		
29	Siberian Elm	subject site	27	5	4	fair	fair	Trunk grown through ex. chainlink fence, dead wood, scraggly form, bulgy base	rod damage expected, undesirable tree species and condition (grown through fence)	remove	none		
30	Unknown Fruit	subject site	61, 9, 8	3.5	5	good	good	Multistem 4	significant root damage	remove	none		
31	Norway Maple	subject site	50	5	4	fair	fair	Heavily pruned, thin crown, creaking branches, dead wood	direct conflict with proposed site plan	remove	none		
32	Norway Maple	subject site	40	5.5	5	good	good	Minor bark cracking	significant root damage	remove	none		
33	Apple	subject site	37	5	5	good	good	Minor dead wood and epicormic growth	direct conflict with proposed site plan	remove	none		
34	Apple	subject site	38, 22, 9	6	4	fair	fair	Multistem 3, dead wood, scraggly form, half of root system under flagstone patio	direct conflict with proposed site plan	remove	none		
35	Royal Red Norway Maple	subject site	33	4	5	good	good	Slight lean NE	direct conflict with proposed site plan	remove	none		
36	Royal Red Norway Maple	subject site	47	5.5	5	good	good	Minor salt damage, lesions on trunk - may need to confirm canopy health after but break	conflict with removal of adjacent ex. driveway and necessary grading	remove	none		
37	Colorado Blue Spruce	subject site	25	2.5	5	good	good	Full form, branched to grade	conflict with required grading	remove	none		
38	Colorado Blue Spruce	subject site	25	2.5	5	good	good	Full form, branched to grade	conflict with required grading	remove	none		
39	Colorado Blue Spruce	subject site	25	2.5	5	good	good	Full form but a bit thin, branched to grade	conflict with required grading	remove	none		
40	Royal Red Norway Maple	subject site	15	2.5	5	good	good	Suppressed, heavy S	conflict with required grading	remove	none		
41	Colorado Blue Spruce	subject site	25	2.5	5	good	good	Full form, branched to grade	conflict with required grading	remove	none		
42	Columnar Blue Spruce	subject site	15	1	5	good	good	Limbed up 1m	not suitable for the landscape, opens up space for full development of tree #15	remove	none		
43	Columnar Blue Spruce	subject site	15	1	5	good	good	Limbed up 1m	not suitable for the landscape, opens up space for full development of tree #15	remove	none		
44	Columnar Blue Spruce	subject site	11	1	5	good	good	Limbed up 1m	not suitable for the landscape, opens up space for full development of tree #15	remove	none		
46	Honeylocust	subject site	10	2	2	good	good	Mostly dead	direct conflict with proposed site plan	remove	none		
48	Silver Maple	subject site	95	9	5	poor	poor	Minor dead wood, full form, excellent condition for a mature Silver Maple	direct conflict with proposed site plan	remove	none		
61	White Spruce	BOUNDARY	20	2	1	good	good	dead	dead tree	remove	dead CONSENT REQUIRED		
62	Apple	subject site	25	2.5	2	poor	poor	Significant vertical trunk wound with rot, dead limbs, heavily pruned	direct conflict with proposed site plan	remove	none		

**TREES & VEGETATION UNITS RECOMMENDED FOR PRESERVATION TREES (20), VEGETATION UNITS (3)**

GENERAL INFORMATION			SIZE		HEALTH & CONDITION		RECOMMENDATIONS				
ID#	COMMON NAME	LOCATION	DBH (cm)	CAMPY (RADIALS)	DOWNY (CONITON)	STRUCTURAL FORM	STRUCTURAL INTEGRITY	COMMENTS	EXPECTED CONSTRUCTION IMPACT (CRZ = critical root zone)	PRESEV. OR REMOVE	IMPACT MITIGATION CONSENT REQUIREMENTS
22	Norway Spruce	556 Geary Ave	-45	6	4	good	good	Limited visual access, limbed up 2m, dead lower branches	no impact to CRZ	preserve	tree protection fencing
23	Norway Maple	BOUNDARY subject site & 556 Geary Ave	15	4	4	fair	fair	Growing at fence line, slight lean N, suppressed, thin crown	no impact to CRZ	preserve	tree protection fencing
24	Norway Maple	BOUNDARY subject site & 556 Geary Ave	16	5	4	fair	fair	Trunk grown through ex. chainlink fence, at centre of fence line, slight lean N	no impact to CRZ	preserve	tree protection fencing
25	Maple	BOUNDARY subject site & 556 Geary Ave	16	3	4	fair	good	30m south of base of ex. fence	no impact to CRZ	preserve	tree protection fencing
26	Maple	556 Geary Ave	15	4	4	fair	good	On south of base of ex. fence	no impact to CRZ	preserve	tree protection fencing
27	Unknown Deciduous Tree	subject site & 556 Geary Ave	16	3	5	fair	good	30m south of base of ex. fence, scraggly form	no impact to CRZ	preserve	tree protection fencing
45	Royal Red Norway Maple	subject site	12	2.5	5	good	good	On slope	no impact to CRZ	preserve	tree protection fencing
46	Norway Maple	subject site	46	5	5	good	good	Full form, bottom of slope	9% of CRZ to be removed from W side of tree	preserve	preconstruction root pruning and tree protection fencing
47	Norway Maple	545 Stonebrook Cres	31	4.5	5	fair	good	Scraggly lower branches	no impact to CRZ	preserve	tree protection fencing
50	Norway Spruce	545 Stonebrook Cres	-45, 15	6	5	good	good	8% of CRZ to be removed from NW corner or tree	no impact to CRZ	preserve	tree protection fencing & root pruning
51	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	30, 26	3	5	fair	fair	Multistem 2, limbed up 6m, columnar leaders with included bark	8% of CRZ to be removed from NW corner or tree	preserve	tree protection fencing & root pruning
52	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	30	3	5	good	good	Limbed up 5m	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
53	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	37	3	4	good	good	Limbed up 6m, sparse crown	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
54	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	34	3	5	good	good	Limbed up 6m	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
55	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	46	4	5	good	good	Limbed up 6m, droopy branches	9% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
56	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	32	3	5	good	good	Limbed up 6m, a bit thin	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
57	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	30	4	5	good	good	Limbed up 6m	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
58	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	39	3	5	good	good	Limbed up 6m, a bit thin	9% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
59	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	32	4	5	good	good	Limbed up 6m	4% of CRZ to be removed from N side of tree	preserve	tree protection fencing & root pruning
60	White Spruce	BOUNDARY subject site & 531 Stonebrook Cres	18	2	2	good	good	Very thin crown	no impact to CRZ	preserve	tree protection fencing



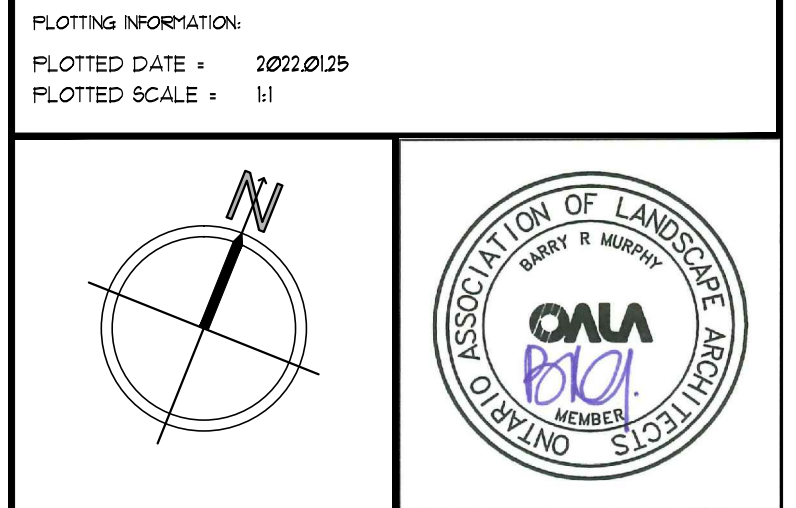
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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.
2022.02.25	ISSUED FOR ZBA	5.
2022.01.17	ISSUED FOR REVIEW	4.
2021.08.13	ISSUED FOR REVIEW	3.
2021.05.11	ISSUED FOR COORDINATION	2.
2021.04.29	ISSUED FOR REVIEW	1.



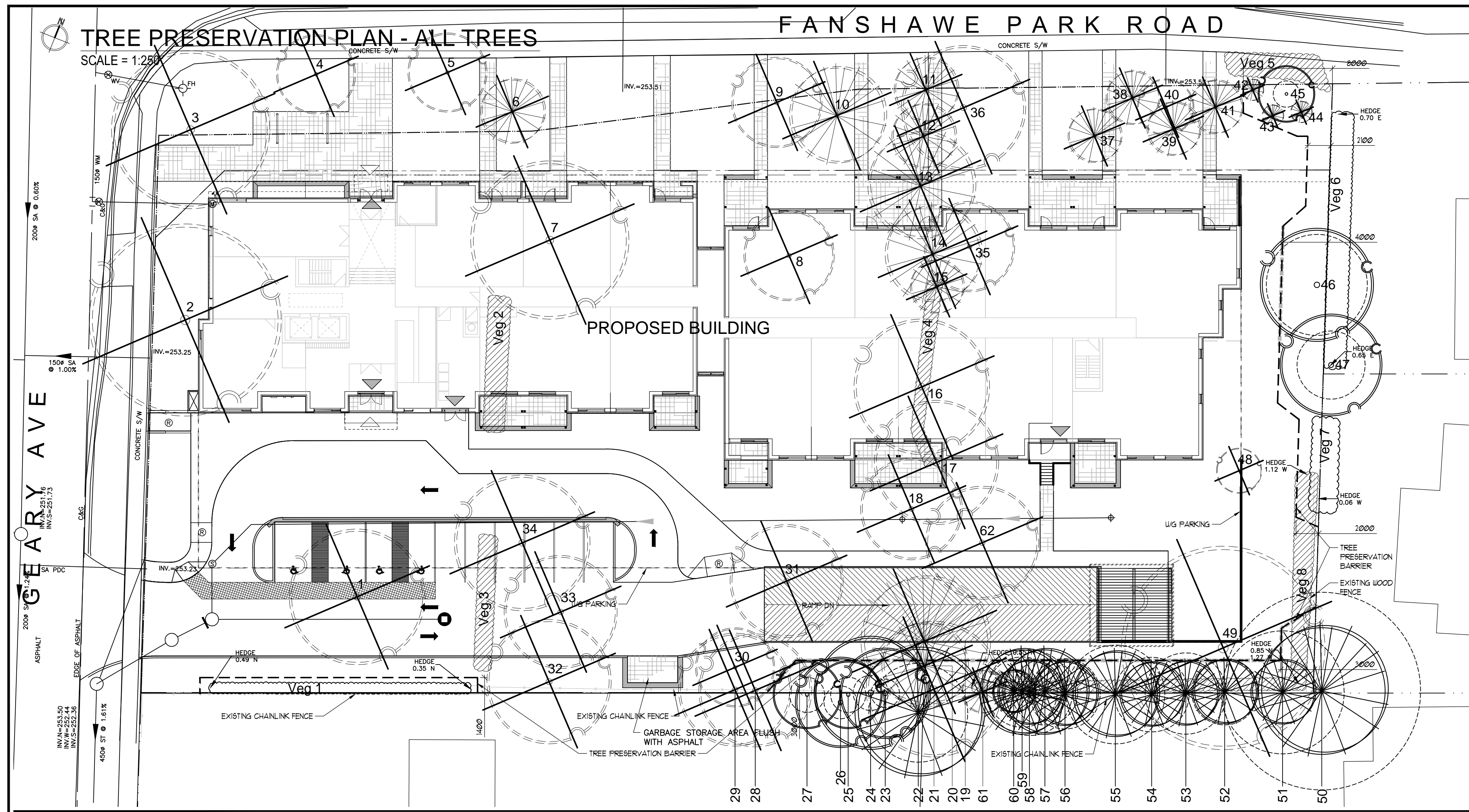
**FANSHAW PARK MIDRISE**  
517-525 FANSHAW PARK ROAD EAST  
LONDON, ONTARIO

**TREE PRESERVATION PLAN**

DATE: APRIL 2021 SCALE: AS NOTED DRAWING No. T-1

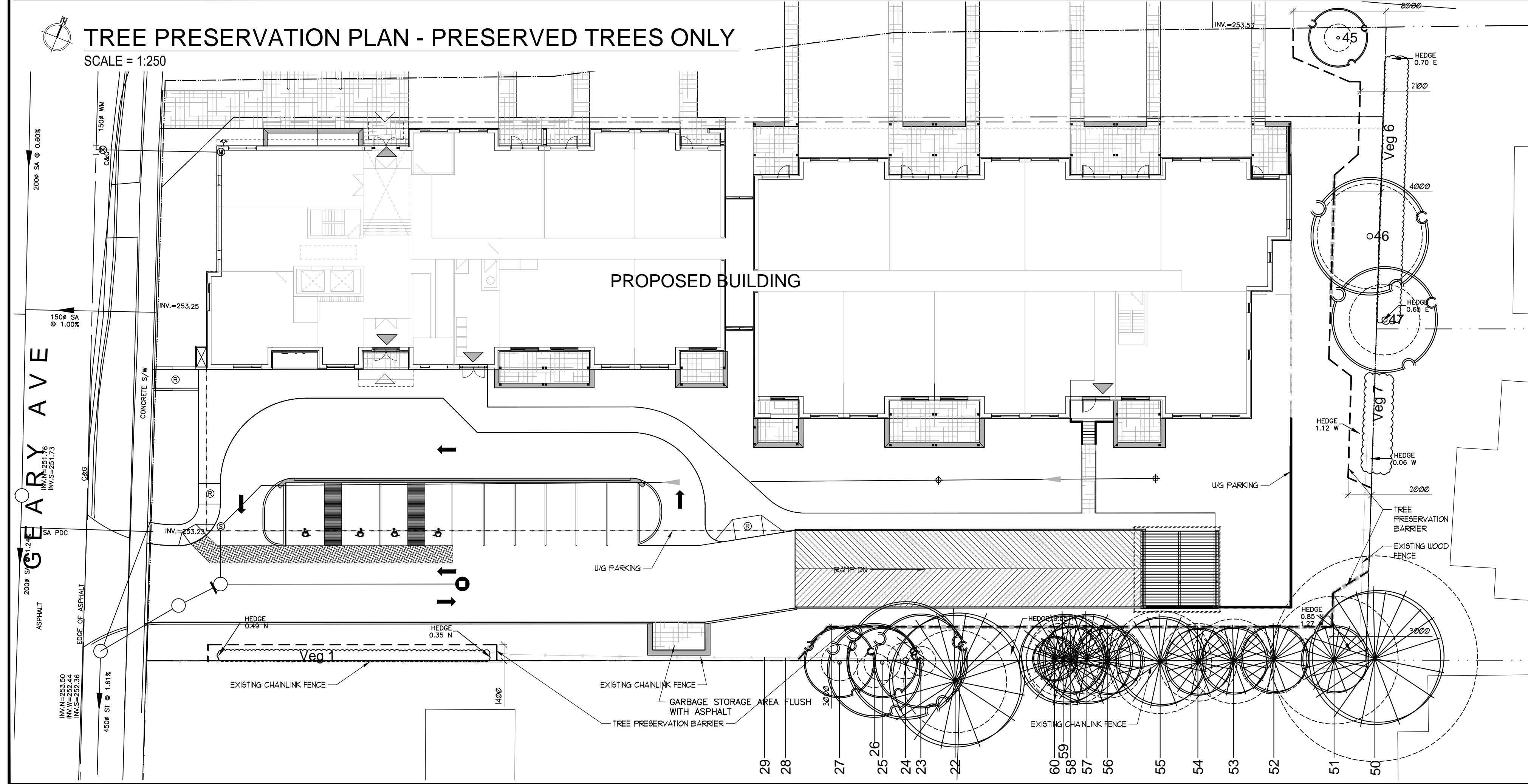
DRAWN: RCLA Inc. CHECKED BY: BRM

PROJECT No. 21-1151 ZBA



### LEGEND

- 5 EXISTING DECIDUOUS TREE TO BE PRESERVED (TREE NUMBER)
- 8 EXISTING DECIDUOUS TREE TO BE REMOVED (TREE NUMBER)
- 6 EXISTING CONIFEROUS TREE TO BE PRESERVED (TREE NUMBER)
- 9 EXISTING CONIFEROUS TREE TO BE REMOVED (TREE NUMBER)
- CRITICAL ROOT ZONE (AREA OF LAND WITHIN A RADIUS OF 10x FROM TRUNK FOR EVERY 1cm OF TRUNK DIAMETER)
- EXISTING VEGETATION UNIT TO BE PRESERVED
- EXISTING VEGETATION UNIT TO BE REMOVED
- TREE PROTECTION BARRIER
- PRE-CONSTRUCTION ROOT PRUNING

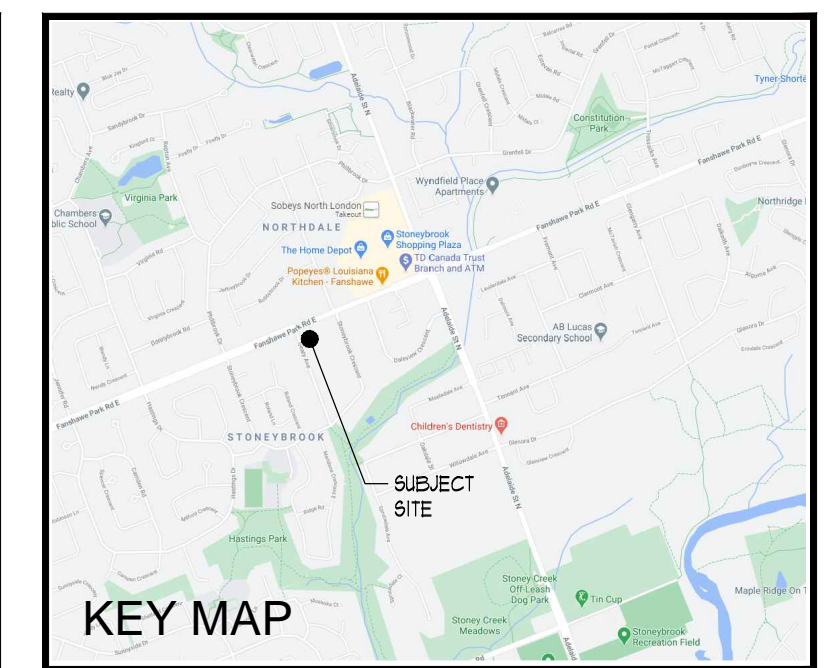


### TREES & VEGETATION UNITS RECOMMENDED FOR PRESERVATION (20), VEGETATION UNITS (3)

ID #	GENERAL INFORMATION		SIZE	HEALTH & CONDITION			RECOMMENDATIONS			
	COMMON NAME	LOCATION		COMPY (HEIGHT) (M)	STRUCTURAL (CROWN CONDITION)	STRENGTH (VITALITY)	COMMENTS	EXPECTED CONSTRUCTION IMPACT (CRZ = critical root zone)	NOTES (IMPACT MITIGATION / CONSENT REQUIREMENTS)	
22	Norway Spruce	1536 Geary Ave	45	6	4	good	limited visual access, limbed up 2m, dead lower branches	no impact to CRZ	preserve tree protection fencing	
23	Norway Maple	BOUNDARY subject site & 1536 Geary Ave	15	4	4	fair	growing at fence line, slight lean N, exposed; thin crown	no impact to CRZ	preserve tree protection fencing	
24	Norway Maple	BOUNDARY subject site & 1536 Geary Ave	16	5	4	fair	trunk growth through ex. chainlink fence, at centre of fence line, slight lean N	no impact to CRZ	preserve tree protection fencing	
25	Maple	BOUNDARY subject site & 1536 Geary Ave	16	3	4	fair	30m south of base of ex. fence	no impact to CRZ	preserve tree protection fencing	
26	Maple	1536 Geary Ave	15	4	4	fair	1m south of base of ex. fence	no impact to CRZ	preserve tree protection fencing	
27	Unknown Deciduous Tree	BOUNDARY subject site & 1536 Geary Ave	16	3	5	fair	40m south of base of ex. fence, scraggly form	no impact to CRZ	preserve tree protection fencing	
45	Royal Red Norway Maple	subject site	12	2.5	5	good	on slope	no impact to CRZ	preserve tree protection fencing	
46	Norway Maple	subject site	46	5	5	good	full form, bottom of slope	3% of CRZ to be removed from NW corner of tree	preserve tree protection fencing & root pruning	
47	Norway Maple	1545 Stonebrook Cres	31	4.5	5	fair	scraggly lower branches	no impact to CRZ	preserve tree protection fencing	
50	Norway Spruce	1545 Stonebrook Cres	45, 46	6	8	5	good	Multistem 2, limited visual access, limbed up 6m	3% of CRZ to be removed from NW corner of tree	preserve tree protection fencing & root pruning
51	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	30, 26	3	5	fair	Multistem 2, limbed up 6m, codominant leaders with included bark	3% of CRZ to be removed from NW corner of tree	preserve tree protection fencing & root pruning	
52	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	30	3	5	good	limbed up 5m	4% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
53	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	37	3	4	good	limbed up 6m, sparse crown	4% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
54	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	34	3	5	good	limbed up 6m	1% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
55	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	45	4	5	good	limbed up 6m, droopy branches	3% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
56	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	32	3	5	good	limbed up 6m, a bit thin	4% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
57	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	30	4	5	good	limbed up 6m	4% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
58	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	39	3	5	good	limbed up 6m, a bit thin	6% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
59	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	32	4	5	good	limbed up 6m	1% of CRZ to be removed from N side of tree	preserve tree protection fencing & root pruning	
60	White Spruce	BOUNDARY subject site & 1531 Stonebrook Cres	18	2	2	good	very thin crown	no impact to CRZ	preserve tree protection fencing	

VEGETATION UNITS	
Veg 1 Black Cedar Hedge	subject site <0 0.5 5 5 good good 125m long hedge, tightly pruned and very well maintained very minor root damage expected
Veg 5 Black Cedar Hedge	1545 Stonebrook Cres 10-25 1 4 4 fair good 25m long hedge, a bit loose, partially shaded out no impact expected
Veg 7 Black Cedar Hedge	1531 Stonebrook Cres -20 1 4 4 fair good 9m long hedge, loose and leggy very minor root damage expected



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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

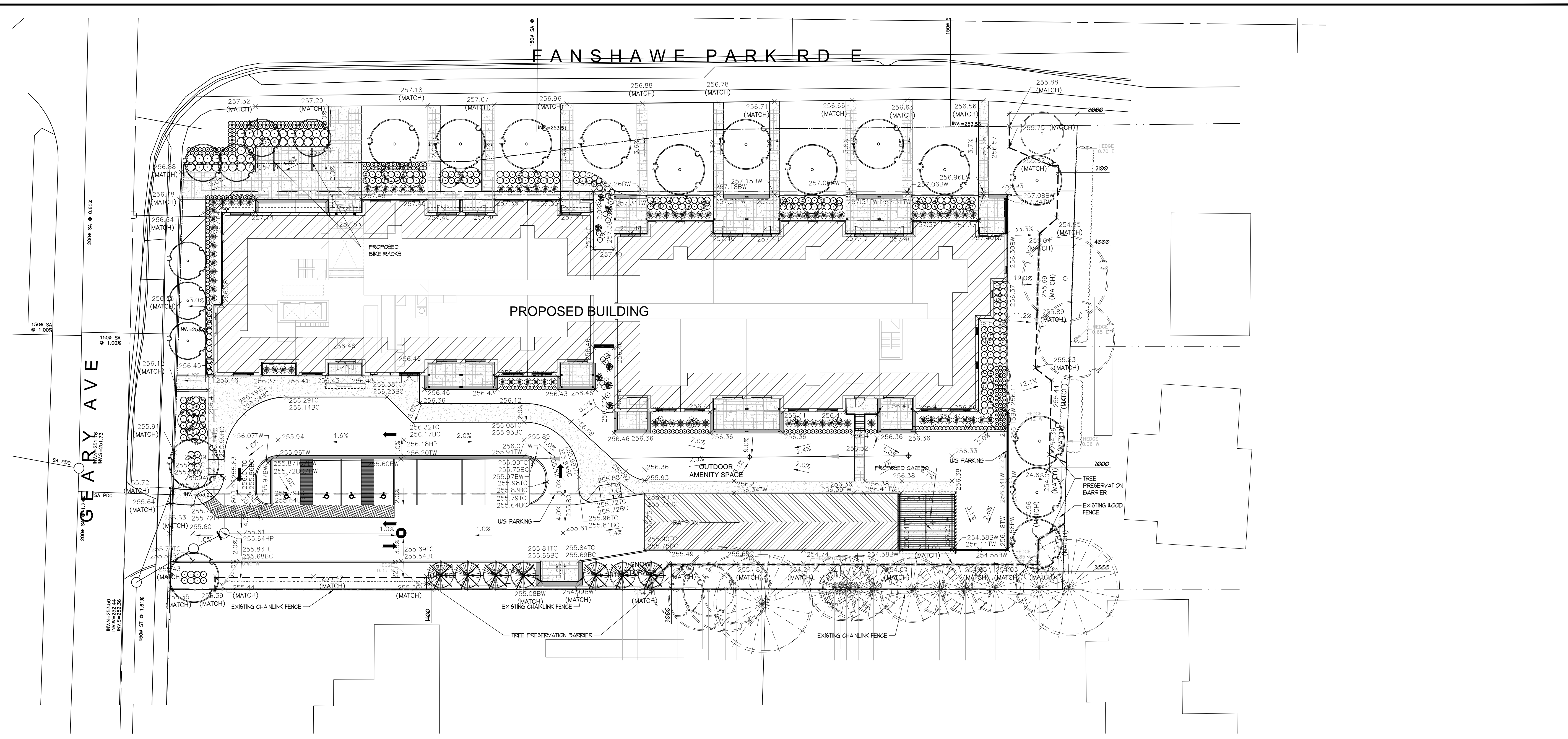
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2022.01.11	ISSUED FOR REVIEW	4.
2021.08.13	ISSUED FOR REVIEW	3.
2021.05.11	ISSUED FOR COORDINATION	2.
2021.04.29	ISSUED FOR REVIEW	1.

PLOTTING INFORMATION:  
 PLOTTED DATE = 2022.01.25  
 PLOTTED SCALE = 1:1

PROJECT TITLE:  
**FANSHAWE PARK MIDRISE**  
 517-525 FANSHAWE PARK ROAD EAST  
 LONDON, ONTARIO

DRAWING TITLE:  
**TREE PRESERVATION PLAN DETAILS**

DATE: APRIL 2021	SCALE: AS NOTED	DRAWING No.:
DRAWN: RCLA Inc.	CHECKED BY: BRM	<b>T-2</b>
PROJECT No. 21-115Li ZBA		



FANSHAWE PARK RD E

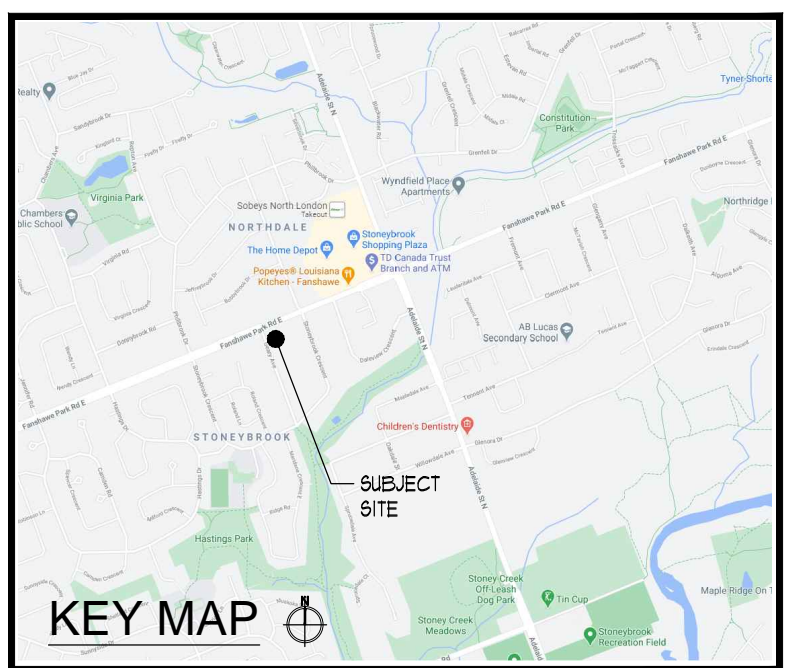
GEARY AVE

PROPOSED BUILDING

OUTDOOR AMENITY SPACE

CONCEPTUAL LANDSCAPE PLAN  
SCALE = 1:250

LEGEND	
	PROPOSED DECIDUOUS TREES
	PROPOSED CONIFEROUS TREES
	PROPOSED PLANTINGS
	EXISTING DECIDUOUS TREES TO REMAIN
	EXISTING CONIFEROUS TREES TO REMAIN
	EXISTING PLANTINGS TO REMAIN

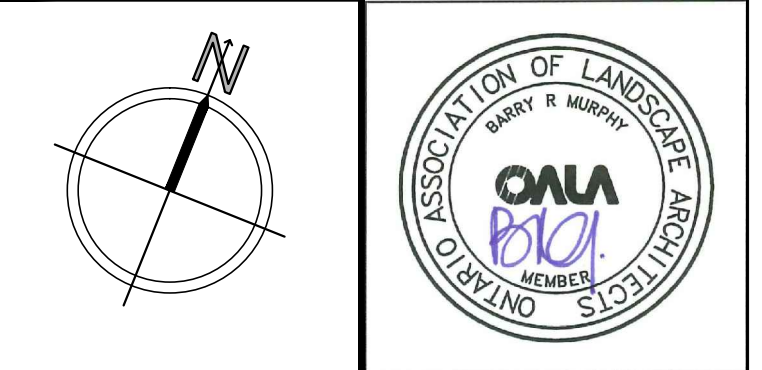


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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.
2022.01.25	ISSUED FOR ZBA	5.
2022.01.17	ISSUED FOR REVIEW	4.
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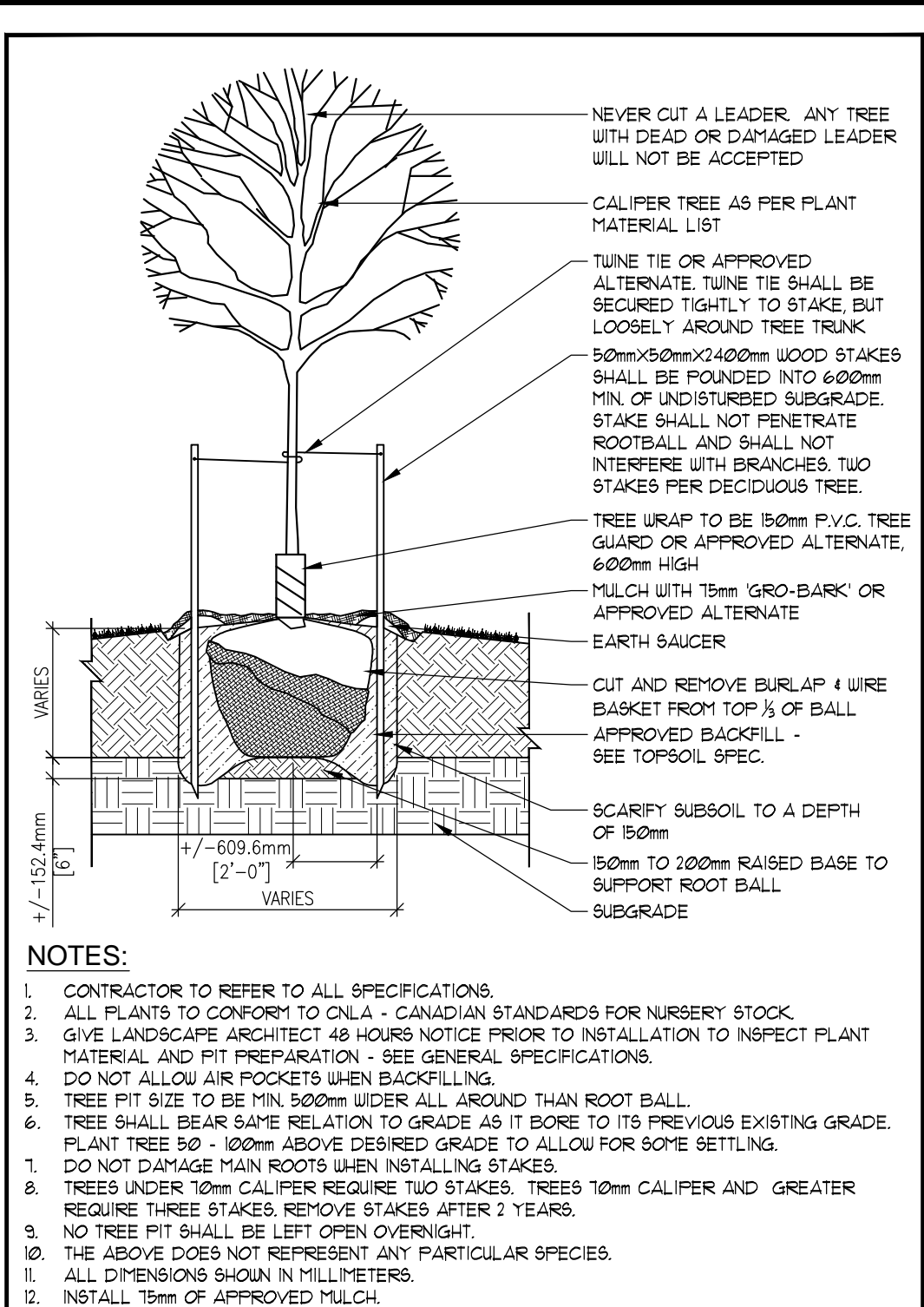
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PLOTTED SCALE = 1/1



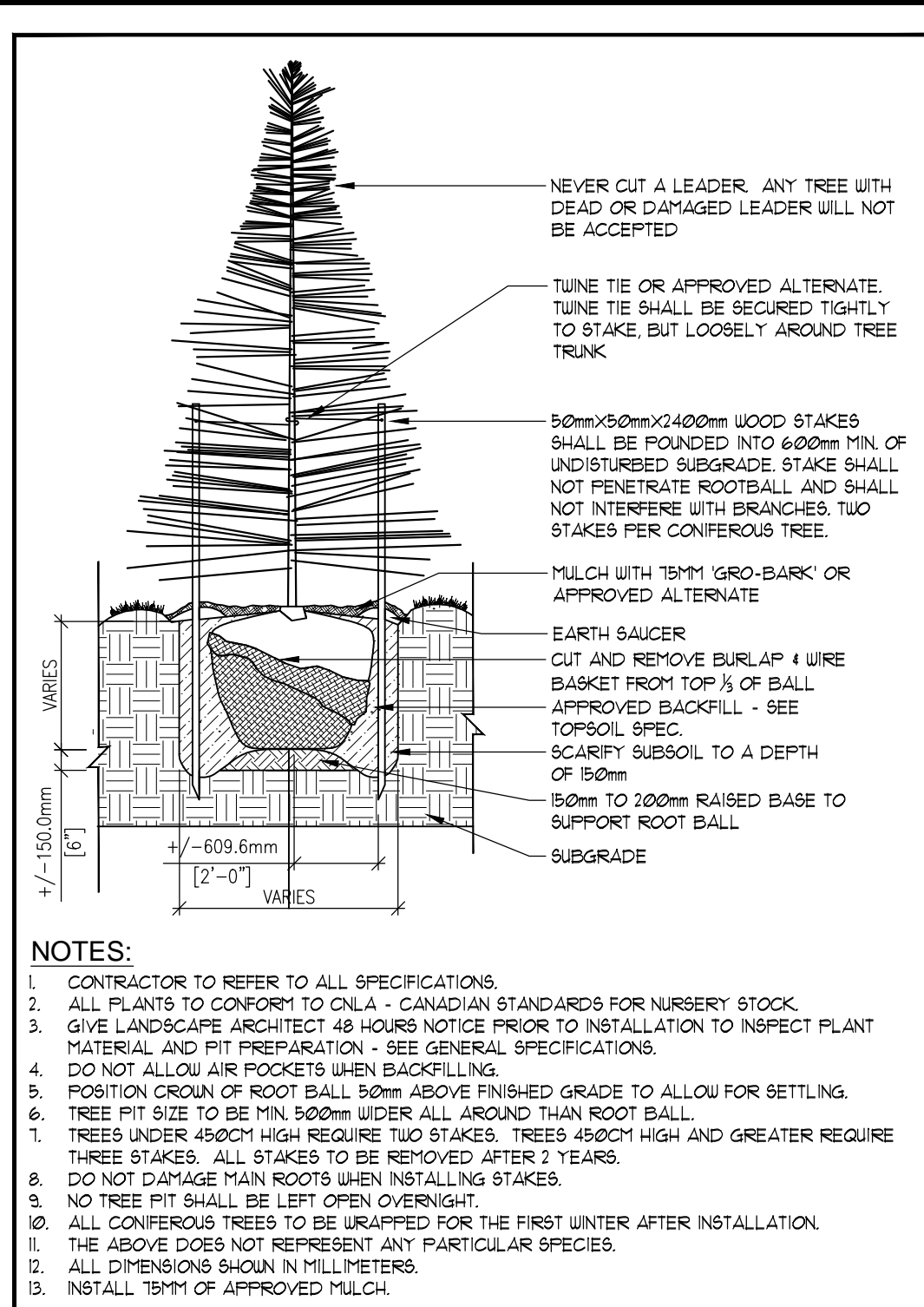
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FANSHAWE PARK  
MIDRISE  
517-525 FANSHAWE PARK ROAD EAST  
LONDON, ONTARIO

DRAWING TITLE:  
LANDSCAPE  
PLAN

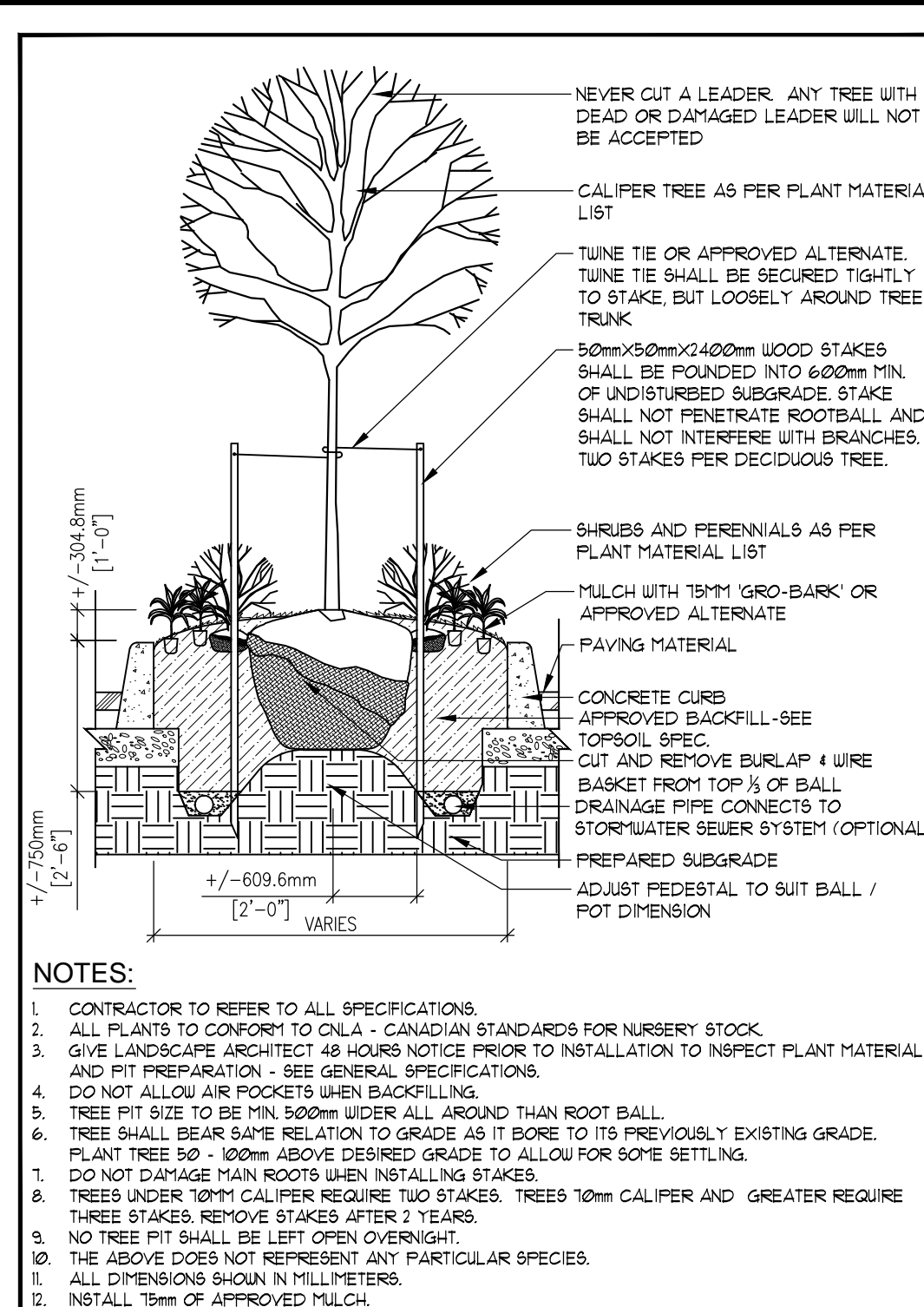
DATE: APRIL 2021	SCALE: AS NOTED	DRAWING No. L-1
DRAWN: RCLA Inc.	CHECKED BY: B.R.M.	
PROJECT No. 21-115Li ZBA		



DECIDUOUS TREE PLANTING DETAIL - N.T.S.



CONIFEROUS TREE PLANTING DETAIL - N.T.S.



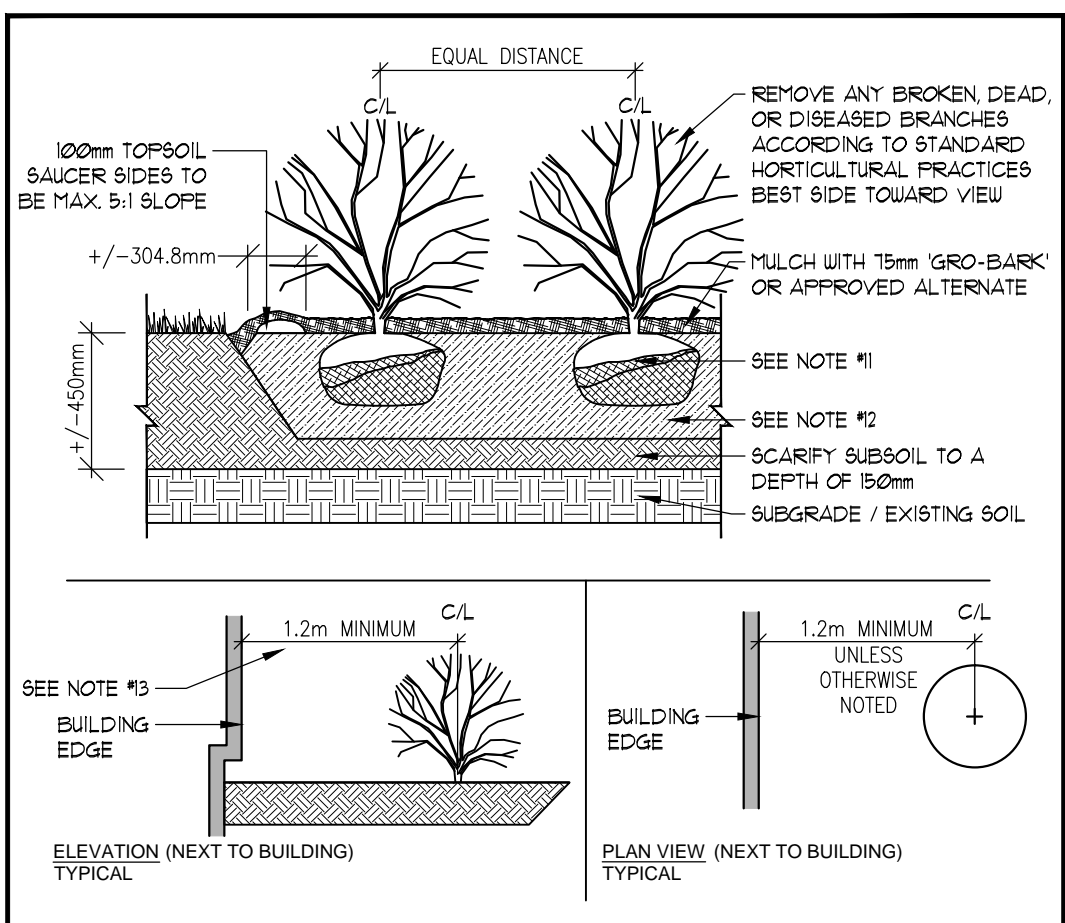
TYPICAL ISLAND PLANTING DETAIL - N.T.S.

GENERAL PLANTING SPECIFICATIONS:

- BASE INFORMATION SUPPLIED BY ZEDD ARCHITECTURE.
  - ENGINEERING INFORMATION SUPPLIED BY SBM.
  - CONTRACTOR TO MAKE THEMSELVES FAMILIAR WITH ALL RELATED SPECIFICATIONS.
  - CONTRACTORS ARE RESPONSIBLE FOR REVIEW OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SELECTED SUB-CONTRACTORS AS THEY PERTAIN TO WORK AS OUTLINED ON LANDSCAPE ARCHITECTURAL WORKING DRAWINGS AND SPECIFICATIONS.
  - REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT DURING TENDERING PROCESS. ERRORS AND/OR OMISSIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS UNTIL OWNER ACCEPTANCE OF PROJECT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING ON COMPLETION OF PROJECT FOR A SITE WORK COMPLETION CERTIFICATE AS WELL AS THE COMPLETION OF THE ACCEPTANCE OF PROJECT.
  - ALL WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR UNLESS OTHERWISE STATED. WARRANTY PERIOD WILL BEGIN ON FINAL ACCEPTANCE OF PROJECT.
  - ALL WORKMANSHIP TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARDS.
  - ALL NURSERY STOCK TO BE "NURSERY GROWN AND MUST COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION'S 'CANADIAN NURSERY STOCK STANDARD' LATEST EDITION.
  - ALL LANDSCAPING IS TO BE INSTALLED PRIOR TO THE END OF THE FIRST GROWING SEASON FOLLOWING THE OCCUPANCY OF THE SITE DEVELOPMENT UNLESS OTHERWISE STATED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND MUST SUPPLY THE LANDSCAPE ARCHITECT WITH COPIES OF LOCATE CERTIFICATES PRIOR TO COMMENCEMENT OF WORK.
- GRADING
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
  - ALL GRADING TO BE IN ACCORDANCE WITH SITE ENGINEERS DRAWINGS.
  - SOIL SHALL BE SCARIFIED FREE OF ALL STONES, ROOTS, BRANCHES LARGER THAN 1" (25mm) AND COMPACTED TO 95% S.P.D.
  - ALL SUBSOIL TO BE EXCAVATED TO A DEPTH OF 6" (150mm) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDPAN CONDITIONS.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF TOPSOIL TO APPROVE SUBBASE.
  - DIRECT ALL RAINWATER AND SURFACE WATER TO PLANTING BEDS AND TO THE DESIGNATED SWALES.
  - NOTIFY LANDSCAPE ARCHITECT IN WRITING OF ANY SUBSTANTIAL LET CONDITIONS.
- TOPSOIL
- AT THE CONTRACTORS EXPENSE A SOIL TEST IS TO BE COMPLETED BY A REPUTABLE LABORATORY. THE SOIL TEST IS TO BE COMPLETED AND IF NECESSARY, RECOMMENDATIONS FROM THE LABORATORY ARE TO BE INCLUDED. THE RESULTS OF SOIL TESTS AND RECOMMENDATIONS ARE TO BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL ONE WEEK PRIOR TO WORK COMMENCING.
  - TOPSOIL FOR PLANTING BEDS IS TO BE FERTILE, FINE-TEXTURED, LOAM TO A MINIMUM DEPTH OF 6" (150mm) AND A MINIMUM DEPTH OF 4" (100mm) FOR TURF AREAS - UNLESS OTHERWISE STATED - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND NOT LESS THAN 2% ORGANIC MATTER FOR SANDY LOAM TO A MAXIMUM OF 8% AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH FREE OF ROOTBALL CONTAMINATION, ROOTS AND STONES OVER 200mm DIAMETER REASONABLY FREE OF WEEDS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND HAVING A PH RANGING FROM 6.0 TO 7.0.
  - IF TOPSOIL IS TO BE STOCKPILED FOR USE ON SITE DEVELOPMENT, AVOID MIXING TOPSOIL WITH SUBSOIL. LIMIT HEIGHT OF STOCKPILE TO 3M TO RETAIN SOIL MICROORGANISMS AND SOIL VIABILITY AND FERTILITY.
  - IF APPLICABLE, ALL WORK IN ANY ROAD ALLOWANCE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE MUNICIPALITY. ENSURE A MINIMUM OF 100mm TOPSOIL IS INSTALLED IN BOULEVARDS.
  - PROTECT THE MUNICIPALITY OWNED ROAD ALLOWANCE(S)/BOULEVARD(S) FROM COMPACTION OR SOIL CONTAMINATION.

- MULCH
- ALL TREES, SHRUB PITS AND PLANTING AREAS ARE TO BE MULCHED UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO INSTALL 1" (25mm) OF GRO-BARK MEDIUM MULCH IN ALL AREAS.
  - ALTERNATIVES MAY BE ACCEPTED - CONTRACTOR TO PROVIDE 3 SAMPLES FOR WRITTEN APPROVAL TO THE LANDSCAPE ARCHITECT.
- PLANT MATERIALS
- CONTRACTOR TO VERIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S). REPORT ALL DISCREPANCIES AT TENDERING PROCESS.
  - SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONFIRMATION BY THE LANDSCAPE ARCHITECT.
  - PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS. ADJUSTMENTS ARE TO BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ADJUSTMENTS TO PLANTING WITHOUT CONSENT OF LANDSCAPE ARCHITECT AND/OR PROJECT MANAGER MAY NOT MEET INTENT OF DESIGN AND/OR MUNICIPAL APPROVALS. PLANT MATERIAL THAT HAS TO BE RELOCATED AS A RESULT WILL BE AT THE COST OF THE CONTRACTOR.
  - LANDSCAPE ARCHITECT TO INSPECT ALL PLANT MATERIAL ON SITE OR AT ITS SOURCE PRIOR TO INSTALLATION. CONTRACTOR IS TO GIVE LANDSCAPE ARCHITECT 48 (HRS) NOTICE FOR INSPECTION.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING IF ADVERSE WEATHER MAY IMPACT THE HEALTH OF THE PLANT MATERIALS AT TIME OF PLANTING. I.E. TEMPERATURE, PRECIPITATION.
  - ALL TREE PITS SHALL BE AT LEAST 2 FT. (600mm) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT THE SAME LEVEL AS SURROUNDING GRADE. A MINIMUM OF 6" (150mm) OF BACKFILL SHALL BE PLACED UNDER BALL. TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
  - SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 18" (450mm) AND FILLED WITH APPROVED BACKFILL MATERIAL. SHRUB BEDS ARE NOT TO BE LEFT OPEN OVER NIGHT.
  - ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA AND SHAPED TO RETAIN WATER (SEE DETAIL). EARTH SAUCER TO HAVE APPROVED MULCH INSTALLED TO A MINIMUM DEPTH OF 25" (635mm).
  - ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
  - ALL EVERGREENS ARE TO BE WRAPPED THE FIRST WINTER AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
  - ALL SHRUBS PLANTED WITHIN 1m OF SALTED ROADWAYS, PARKING AND SIDEWALKS TO BE PROTECTED WITH SILT FENCING THROUGHOUT THE FIRST WINTER AFTER INSTALLATION AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR (OPTIONAL).
  - DIRECT ALL RAINLEADERS AND SUMP LEADERS AWAY FROM PLANTING BEDS AND TO DESIGNATED DRAINAGE SWALES.
  - DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
  - CONTRACTOR IS TO REMOVE ALL STAKES AND GUY WIRES AFTER 2 FULL GROWING SEASONS.
- SOIL
- ALL LANDSCAPED AREAS TO BE SOODED TO THE STREET CURB (S) UNLESS OTHERWISE STATED.
  - CONTRACTOR TO ENSURE (WHERE APPLICABLE) ALL PLANTING BEDS ADJACENT TO TRAFFIC ISLANDS, INTERIOR SITE CURBING AND SIDEWALKS HAVE A 30% (10%) SOIL MAINTENANCE STRIP INSTALLED.
  - ANY SODDING OR WORKS ON LANDS ADJUTING THE PROPERTY FROM THE LOT LINES TO SIDEWALK AND CURBING SHALL BE COMPLETED OR REPAIRED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, CITY, AND/OR REGIONAL MUNICIPALITY UNLESS OTHERWISE STATED.
  - SOIL SHALL BE CERTIFIED #1 CULTIVATED TURF GRASS GROWN AND SOLD IN ACCORDANCE WITH THE CLASSIFICATIONS OF THE NURSERY SOIL GROWERS ASSOCIATION OF ONTARIO AT THE OF SALE IT SHALL HAVE A STRONG FIBROUS ROOT SYSTEM AND SHALL BE CUT IN PIECES APPROXIMATELY ONE 60YD (500 M2) IN AREA WITH THE SOIL PORTION BEING 3/4" (19mm).
  - SOIL TO BE FERTILIZED AT THE APPROPRIATE RATES AS INDICATED BY SOIL TESTS COMPLETED BY A REPUTABLE SOILS LABORATORY.
  - IF/ON INSTALLATION AREAS SHOULD BE WATERED SO AS TO SATURATE SOIL AND THE UPPER 4" (100mm) OF BACKFILL TOPSOIL. AFTER SOIL AND SOIL HAVE DRIED SUFFICIENTLY TO PREVENT DAMAGE, IT SHALL BE ROLLED WITH A ROLLER PROVIDING 1500 LBS. (68KG) PRESSURE PER SOFT.
  - CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND/OR CLIENT.

- WATERING
- DURING THE WARRANTY PERIOD, BETWEEN MAY 15 AND SEPTEMBER 15 OF EACH YEAR WATERING OF ALL PLANTS SHALL BE CARRIED OUT NO LESS THAN 6 TIMES PER YEAR IN ACCORDANCE WITH THE WATERING SCHEDULE TO BE DETERMINED BY THE OWNER UNLESS OTHERWISE STATED ON THE DRAWINGS. CRITICAL WATERING MONTHS ARE JUNE, JULY & AUGUST.
  - IF NO AUTOMATED IRRIGATION SYSTEM HAS BEEN PROVIDED FOR WATERING OPERATIONS, CONTRACTOR TO PROVIDE WATER TO THE SITE IF HOSE BIBS WITHIN THE BUILDING ENVELOPE ARE NOT AVAILABLE.
  - MANUAL WATERING SHOULD ENSURE DEEP WATERING OF TREES, SHRUBS, GROUND COVERS AND GRASSSED AREAS. WATERING OF GRASSSED AREAS TO COMPECE ON A REGULAR BASIS AND CONTINUE WITH INTENSITY DEPENDING ON AMOUNT OF RAINFALL. NEW SOD THAT HAS BEEN LAID SHOULD BE KEPT MOIST FOR 4 TO 5 WEEKS OR UNTIL IT HAS FIRMLY ROOTED INTO THE EXISTING SOIL.
  - ALL CONIFEROUS TREES SHALL BE WATERED IN LATE FALL, JUST PRIOR TO FREEZE-UP.
  - WATER SHALL BE APPLIED SO THAT THE WASHING OF THE SOIL OR DISLOGGING OF MULCH OR TREE GUARDS DOES NOT OCCUR. DAMAGE SHALL BE IMMEDIATELY REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- SEED
- ALL LANDSCAPED AREAS TO BE SEEDED TO THE STREET(S) CURB UNLESS OTHERWISE STATED.
  - ANY WORKS ON LANDS ADJUTING THE PROPERTY FROM THE LOT LINES TO SIDEWALK AND CURBING SHALL BE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, CITY, AND/OR REGIONAL MUNICIPALITY.
  - SEED TO BE:
    - 20 % KENTUCKY BLUE GRASS
    - 50 % CREEPING RED FESCUE
    - 20 % BARRY OR PINNACLE PERENNIAL RYEGRASS
    - 10 % ANNUAL RYEGRASS



SHRUB PLANTING DETAIL - N.T.S.

**RON KOUDYNS LANDSCAPE ARCHITECTS INC**

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THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION OR TENDER PURPOSES UNLESS SIGNED AND DATED BY BARRY R. MURPHY, O.A.L.A. C.S.L.A. LANDSCAPE ARCHITECT, LONDON, ONTARIO (519) 667-3322.

Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.
2022.01.25	ISSUED FOR ZBA	5.
2022.01.17	ISSUED FOR REVIEW	4.
2021.08.13	ISSUED FOR REVIEW	3.
2021.05.11	ISSUED FOR COORDINATION	2.
2021.04.29	ISSUED FOR REVIEW	1.

PLOTTING INFORMATION:

PLOTTED DATE: 2022.01.25

PLOTTED SCALE: 1:1

PROJECT TITLE:

**FANSHAWE PARK MIDRISE**

517-525 FANSHAWE PARK ROAD EAST  
LONDON, ONTARIO

DRAWING TITLE:

**LANDSCAPE DETAILS**

DATE: APRIL 2021	SCALE: AS NOTED	DRAWING No.:
DRAWN: RCLA Inc.	CHECKED BY: BRM	<b>L-2</b>
PROJECT No.:	21-1151 ZBA	