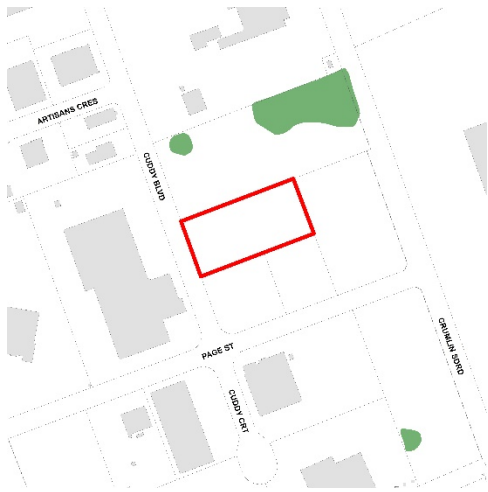




NOTICE OF PLANNING APPLICATION

Zoning By-Law Amendment

6 Cuddy Boulevard



File: Z-9171
Applicant: 6 Cuddy Inc.

What is Proposed?

Zoning amendment to allow:

- A concrete and asphalt batching plant

LEARN MORE & PROVIDE INPUT

Please provide any comments by **March 4, 2020**

Melanie Vivian

mvivian@london.ca

519-661-CITY (2489) ext. 7547

Development Services, City of London, 300 Dufferin Avenue, 6th Floor,
London ON PO BOX 5035 N6A 4L9

File: Z-9171

london.ca/planapps

You may also discuss any concerns you have with your Ward Councillor:

Mohamed Salih

msalih@london.ca

519-661-CITY (2489) ext. 4003

**If you are a landlord, please post a copy of this notice where your tenants can see it.
We want to make sure they have a chance to take part.**

Date of Notice: February 12, 2020

Application Details

Commonly Used Planning Terms are available at london.ca/planapps

Requested Zoning By-law Amendment

To change the zoning from a General Industrial (GI1) Zone to a General Industrial Special Provision (GI1(_)) Zone to permit the development of a concrete and asphalt batching plant. Changes to the currently permitted land uses and development regulations are summarized below. The complete Zoning By-law is available at london.ca/planapps

Current Zoning

Zone: General Industrial (GI1) Zone

Permitted Uses: Auction establishments; automobile body shop; automobile repair garages; building or contracting establishments; dry cleaning and laundry plants; food, tobacco and beverage processing industries; manufacturing and assembly industries; printing, reproduction and data processing industries; processed goods industries; repair and rental establishments; research and development establishments; service and repair establishments; service trades; storage depots; terminal centres; transport terminals; truck sales and service establishments; warehouse establishments; and wholesale establishments.

Requested Zoning

Zone: General Industrial Special Provision (GI1(_)) Zone

Permitted Uses: As identified in “Permitted Uses” above

Special Provision: Add a concrete and asphalt batching plant as a permitted use

The City may also consider additional special provisions related to establishing a parking rate for the proposed use.

Planning Policies

Any change to the Zoning By-law must conform to the policies of the Official Plan, London’s long-range planning document. These lands are currently designated as General Industrial in the Official Plan, which permits any industrial use that includes assembling, fabricating, manufacturing, processing, and repairing activities; service trades; public and private utilities and related facilities; large storage facilities, such as wholesale and warehouse establishments, contractors yards, transportation terminals, and heavy equipment sales and service; and source recycling facilities as the main uses.

The subject lands are in the Heavy Industrial Place Type in *The London Plan*, a range of industrial uses that may impose impacts on surrounding land uses due to their emissions such as noise, odour, particulates, and vibration, may be permitted.

How Can You Participate in the Planning Process?

You have received this Notice because someone has applied to change the zoning of land located within 120 metres of a property you own, or your landlord has posted the notice of application in your building. The City reviews and makes decisions on such planning applications in accordance with the requirements of the *Planning Act*. The ways you can participate in the City’s planning review and decision making process are summarized below. For more detailed information about the public process, go to the [Participating in the Planning Process](http://london.ca/participating-in-the-planning-process) page at london.ca

See More Information

You can review additional information and material about this application by:

- visiting Development Services at 300 Dufferin Ave, 6th floor, Monday to Friday between 8:30am and 4:30pm;
- contacting the City’s Planner listed on the first page of this Notice; or
- viewing the application-specific page at london.ca/planapps

Reply to this Notice of Application

We are inviting your comments on the requested changes at this time so that we can consider them as we review the application and prepare a report that will include Development Services staff’s recommendation to the City’s Planning and Environment Committee. Planning considerations usually include such matters as land use, development intensity, and form of development.

Attend a Future Public Participation Meeting

The Planning and Environment Committee will consider the requested zoning changes on a date that has not yet been scheduled. The City will send you another notice inviting you to

attend this meeting, which is required by the *Planning Act*. You will also be invited to provide your comments at this public participation meeting. The Planning and Environment Committee will make a recommendation to Council, which will make its decision at a future Council meeting.

What Are Your Legal Rights?

Notification of Council Decision

If you wish to be notified of the decision of the City of London on the proposed zoning by-law amendment, you must make a written request to the City Clerk, 300 Dufferin Ave., P.O. Box 5035, London, ON, N6A 4L9, or at docservices@london.ca. You will also be notified if you speak to the Planning and Environment Committee at the public meeting about this application and leave your name and address with the Secretary of the Committee.

Right to Appeal to the Local Planning Appeal Tribunal

If a person or public body would otherwise have an ability to appeal the decision of the Council of the Corporation of the City of London to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of London before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

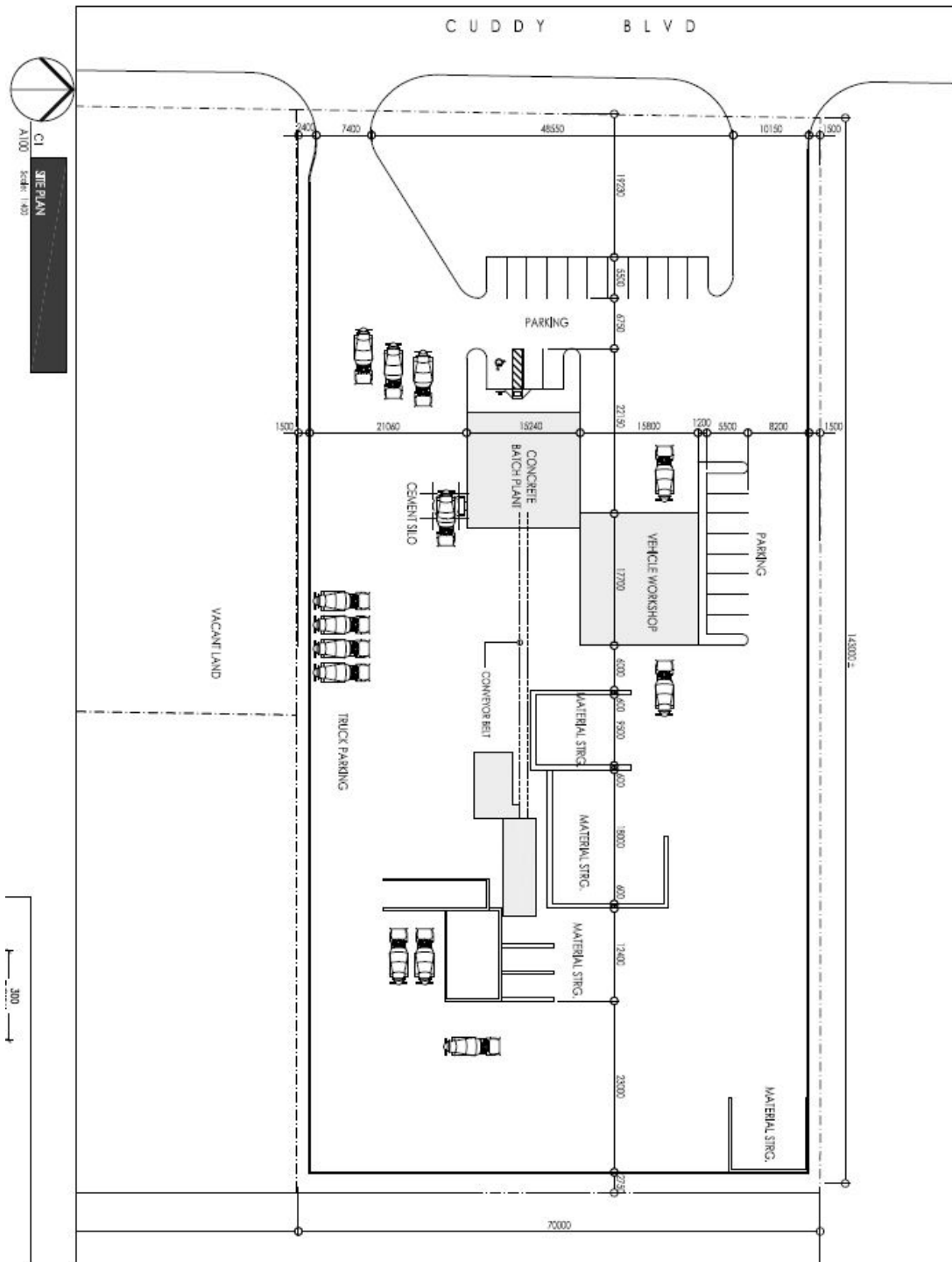
For more information go to <http://elto.gov.on.ca/tribunals/lpat/about-lpat/>

Notice of Collection of Personal Information

Personal information collected and recorded at the Public Participation Meeting, or through written submissions on this subject, is collected under the authority of the *Municipal Act*, 2001, as amended, and the *Planning Act*, 1990 R.S.O. 1990, c.P.13 and will be used by Members of Council and City of London staff in their consideration of this matter. The written submissions, including names and contact information and the associated reports arising from the public participation process, will be made available to the public, including publishing on the City's website. Video recordings of the Public Participation Meeting may also be posted to the City of London's website. Questions about this collection should be referred to Cathy Saunders, City Clerk, 519-661-CITY(2489) ext. 4937.

Accessibility – Alternative accessible formats or communication supports are available upon request. Please contact accessibility@london.ca or 519-661-CITY(2489) extension 2425 for more information.

Site Concept



C1 SITE PLAN
SCALE: 1:400



C2 SITE DATA
SCALE: N/A

SITE DATA: EXISTING G11 ZONE		PROPOSED
REG'D. / MAX. / MIN.		PROPOSED
EXISTING GENERAL INDUSTRIAL (G11) ZONE		CONCRETE MANUFACTURING
PROPOSED USE		
LOT AREA	239150 M ² (N/A)	1018050 M ² (1018HA)
LOT FRONTAGE	507M (N/A)	7033M
FRONT YARD SETBACK	13.5M (N/A)	40.17M
MINOR SETBACK	1.2M (PER 5M OF MAIN BUILDING HEIGHT OR REDUCTION THEREOF FOR BUILDINGS BETWEEN 0.25 TO 1.75M HEIGHT) 12M (MIN FOR BUILDINGS 3.0M TO 5.0M HEIGHT)	14.5 M NORTH-SIDE 73.4 M REAR YARD SETBACK (MAX LOCAL SETBACK) 57.9 M REAR YARD SETBACK (SINGLE BUILDING)
LANDSCAPED OPEN SPACE (R ₁ / MIN.)	5%	15%
LOT COVERAGE & OPEN SPACE (COMBINED) (R ₂ / MAX)	75%	15.5%
BUILDING HEIGHT (MAX)	51M	25 M (CONCRETE) / 19 M (WOOD FRAME STRUCTURE)
PARKING		22 SPACES PROPOSED

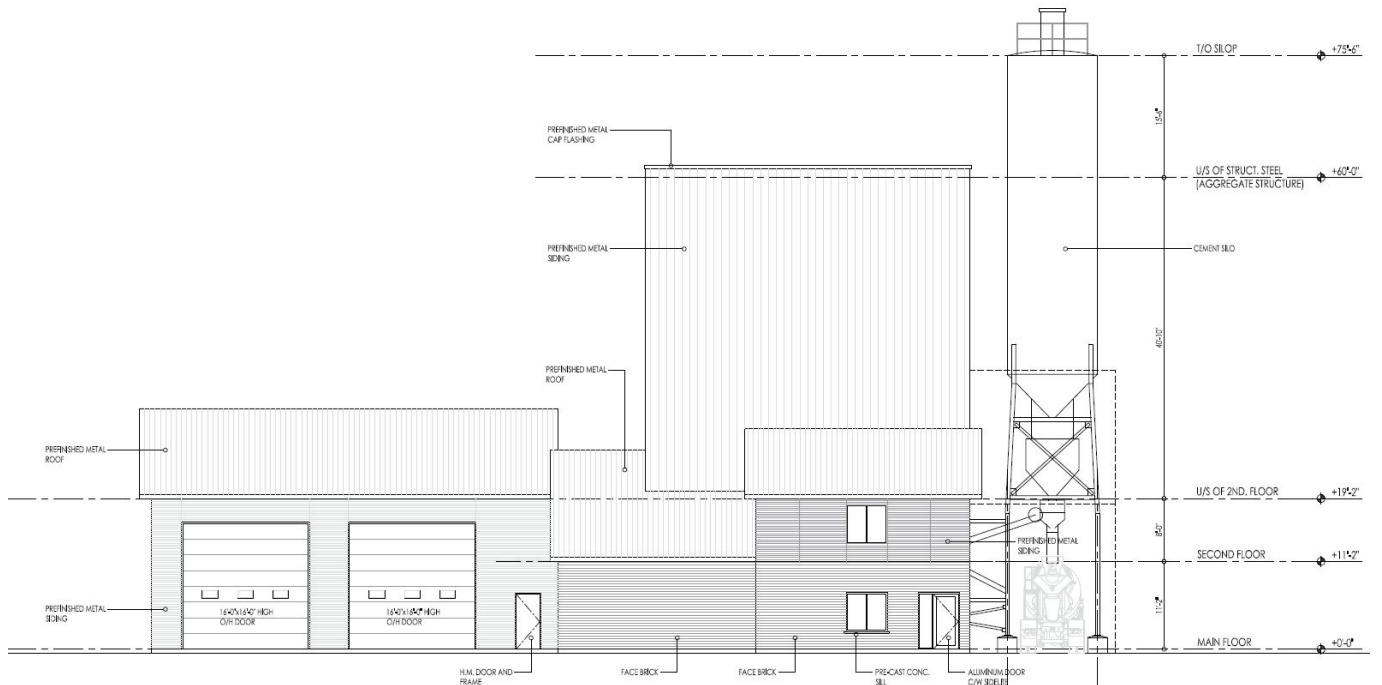
C3 SITE LEGEND
SCALE: N/A

	MAIN ENTRANCE		FIRE ROUTE
	EXIT		NEW FENCE
	BARRIER FREE PARKING SYMBOL		FIRE HYDRANT - REFER TO CIVIL DWG
	VEHICULAR DIRECTION ARROW		NEW CONCRETE SUMP/PAVEMENT (SHRINK GROOVE FINISH)
	BARRIER FREE PATH OF TRAVEL PARKING MARKING		TREE (REFER TO LANDSCAPE PLAN)
			LIGHT STANDARD - REFER TO ELECT. DWG

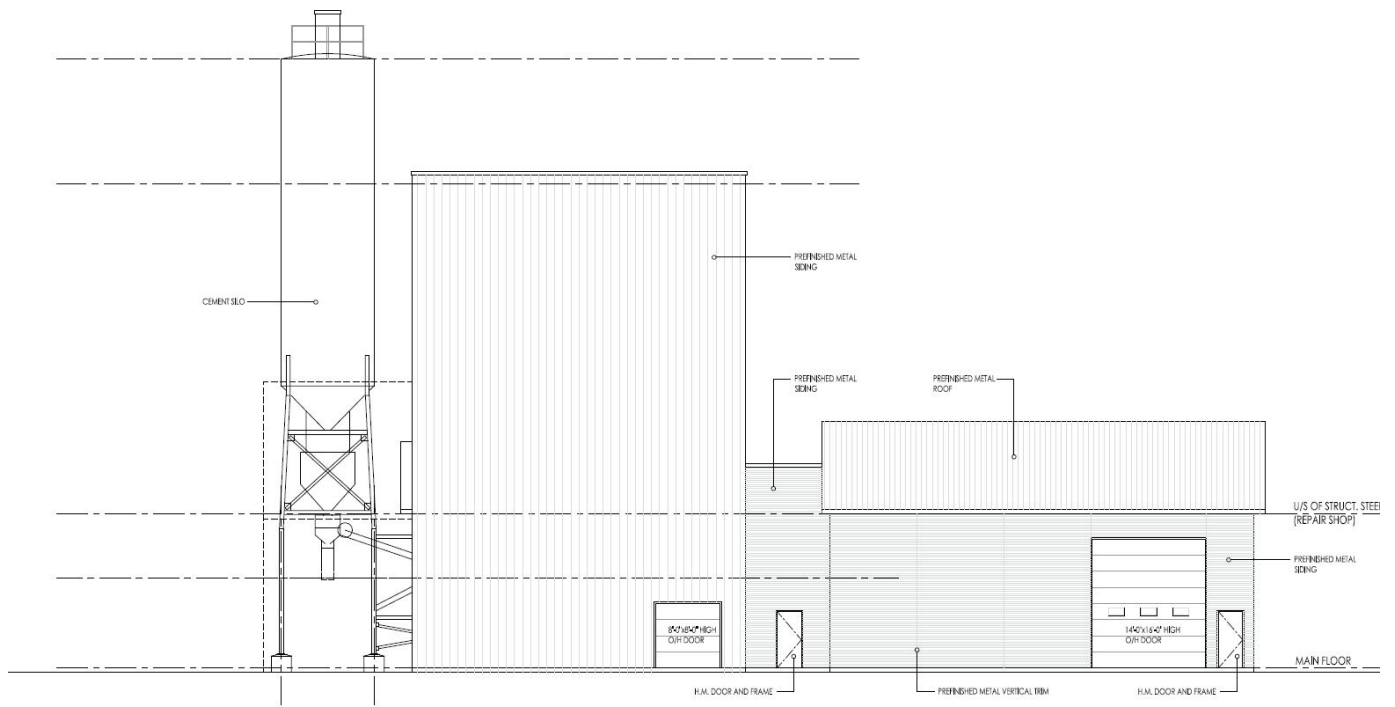
Proposed site concept

The above image represents the applicant's proposal as submitted and may change.

Building Renderings



North elevation



South elevation

The above images represent the applicant's proposal as submitted and may change.